

**WATER ARTERIAL TRANSMISSION AND GRID MAIN
CONSTRUCTION AND REIMBURSEMENT AGREEMENT**

STATE OF TEXAS §
 §
COUNTY OF NUECES §

This Water Arterial Transmission and Grid Main Construction and Reimbursement Agreement ("Agreement") is entered into between the City of Corpus Christi ("City"), a Texas home-rule municipality, and **LM & JM Investments, LLC**, ("Developer/Owner"), a Texas Limited Corporation.

WHEREAS, the Developer/Owner, in compliance with the City's Unified Development Code ("UDC"), has a plat, approved by the Planning Commission on **December 14, 2022** to develop a tract of land, to wit: approximately **87.076** acres known as **London Ranch Estates Subdivision located at CR 22 and CR 49** as shown in the attached **Exhibit 1**, the content of such exhibit being incorporated by reference into this Agreement;

WHEREAS, under the UDC, the Developer/Owner is responsible for construction of the Arterial Transmission and Grid main extension ("Water Improvements");

WHEREAS, under the UDC, the Developer/Owner is eligible for reimbursement of the Developer/Owner's costs for the construction of Water Improvements;

WHEREAS, it is in the best interests of the City to have the Water Improvements be constructed to its ultimate capacity under the City's applicable Master Plan;

WHEREAS, Section 8.5.1.C. of the UDC authorizes the acceptance of applications to be eligible for reimbursement in the future when certain funds become fully available in the Arterial Transmission and Grid Main Line Trust Fund and are appropriated by the City Council; and

WHEREAS, Developer/Owner has submitted an application for reimbursement of the costs of extending Water Improvements, as shown in **Exhibit 2**, the content of such exhibit being incorporated by reference into this Agreement.

WHEREAS, the Water Arterial Transmission and Grid Main Trust Fund does not currently have sufficient funds to fully reimburse Developer/Owner for Water Improvements; and

WHEREAS, Developer/Owner may be paid when assets of the Water Arterial Transmission and Grid Main Trust Fund are sufficient, authorized for such purpose, and Developer/Owner has priority per UDC §8.5.1. C.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained in this Agreement, the parties do covenant and agree as follows:

1. TRUSTEE LIABILITY.

- a. The City is executing this agreement as trustee of the Water Trust Fund pursuant to UDC §8.5. The City is acting as trustee to further its governmental functions of providing water and sewer service. Texas Constitution Article 11, Section 3 prohibits the City from becoming a subscriber to the capital of any private corporation or association, or make any appropriation or donation to the same, or in anywise loan its credit. As such, the City's participation as Trustee does not create a loan of its credit. Execution of this agreement constitutes a promise to pay only to the extent that the assets and future assets of the trust are sufficient for such purpose and it is expressly agreed that any judgment will only be satisfied out of the assets of the trust and not out of the City's assets. The City is excluded from personal liability.
- b. The Water Arterial Transmission and Grid Main Trust Fund was established by Ordinance No. 17092 to encouraging the orderly development of subdivisions within and surrounding the City of Corpus Christi, Texas and continues pursuant Texas Local Government Code §395.001(4)(C). The revenue generated for funding and continuation of the Water Arterial Transmission and Grid Main Trust Fund is subject to legislation of the State of Texas and the City of Corpus Christi. Nothing in this agreement guarantees neither the continuation nor future revenues of the Water Arterial Transmission and Grid Main Trust Fund. The City is not liable for modification or termination of the Water Arterial Transmission and Grid Main Trust Fund. The Developer/Owner agrees that any modification or termination of the Water Arterial Transmission and Grid Main Trust Fund is a legislative action and does not constitute a breach of trust, an act of bad faith, an intentional or reckless indifference to the interest of a beneficiary, or a profit derived by the trustee from a breach of trust.

2. PLANS AND SPECIFICATIONS

- a. Developer/Owner shall contract with a professional engineer licensed in the State of Texas and acceptable to the City's Development Services Engineer to prepare plans and specifications for the Water Improvements, as shown in the attached **Exhibit 3**, the content of such exhibit being incorporated by reference into this Agreement, with the following minimum requirements:

Item #	OFF-SITE SITE WATER	Qty.	Unit	Unit Cost	Estimate
1	12" C900 Class PVC Water Line (Open Cut)	8,314	LF	\$126.00	\$1,047,564.00
2	Standard Fire Hydrant Assembly (w/ Valve & Tee)	2	EA	\$1,350.00	\$2,700.00
3	12x2 MJ TAP CAP	2	EA	\$3,410.00	\$6,820.00
4	2X48 GALV RDY CUT PIPE TBE	2	EA	\$1,020.00	\$2,040.00
5	12" DI MJ GATELV	14	EA	\$8,160.00	\$114,240.00
6	12" MJ TEE	1	EA	\$7,080.00	\$7,080.00
7	3' 6" FIRE HYD	2	EA	\$10,500.00	\$21,000.00
8	12" 90BENDS, 45S, LONG SLV 12X12, FASTITE	8	EA	\$3,000.00	\$24,000.00
9	16"X12" TAPS SLV	1	EA	\$16,200.00	\$16,200.00
10	20" DIA CASING 1/4" WALL 12X20 SPASERS	123	EA	\$252.00	\$30,996.00
11	8" DI GATE VALV	2	EA	\$2,940.00	\$5,880.00
12	6 MJ C153 90 BEND	2	EA	\$2,860.00	\$5,720.00
13	6 DI MJ GATE VALVE	2	EA	\$2,100.00	\$4,200.00
14	TIE INN TO 16" PIPE, VALVE AND 45'S	1	EA	\$7,800.00	\$7,800.00
15	6X13 MJSOL HYD ADPT	2	EA	\$1,620.00	\$3,240.00
16	Testing & Chlorination	8,314	LF	\$1.00	\$8,314.00
17	Maintenance Bond - Utilities (2-Year, 10%)	1	LS	\$112,131.60	\$112,131.60
				Subtotal	\$1,419,925.60
				10 % Contingency	\$141,992.56
				Total	\$1,561,918.16
				Water Acre Fee Credit	\$75,758.73
				Total Reimbursement from Trust Fund	\$1,486,159.43

- b. The plan must be in compliance with the City's master plans.
- c. The plans and specifications must comply with City Water Distribution Standards and Standard Specifications.
- d. Before the Developer/Owner starts construction the plans and specifications must be approved by the City's Development Services Engineer.

3. REIMBURSEMENT

- a. The cost for the Water Improvements less \$75,758.73 lot/acreage fee credit is **\$1,486,159.43**. Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund and the appropriation of funds, the City will reimburse the developer, the reasonable actual cost of the Water Improvements up to an amount not to exceed **\$1,486,159.43** as shown in the attached **Exhibit 4**, the contents of such exhibit being incorporated by reference into this Agreement.
- b. Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund per the UDC, this agreement, and the appropriation of funds, the City agrees to reimburse the Developer/Owner on a monthly basis upon invoicing for work performed. The submitted invoice shall be deemed administratively complete by the City prior to payment. The reimbursement will be made no later than 30-days from the date of the City's administrative approval of the invoice. Developer/Owner shall submit all required performance bonds and proof of required insurance under the provisions of this Agreement.
- c. Cost-supporting documentation to be submitted shall include:
 1. Summary of Costs and Work Performed on form provided by the Development Services Department,
 2. Contractor and professional services invoices detailing work performed,
 3. The first reimbursement request requires submittal of invoices for work performed. Future disbursements shall provide evidence of payment by the developer/owner through a cancelled check or bank ACH for the previous submittal. The final reimbursement request shall require evidence that all invoices to date have been paid.
- d. To be eligible for reimbursement, the work must be constructed in a good and workmanlike manner and must have been inspected and accepted by the City. The City agrees to conduct periodic inspections and approve the progress of the work at key points during construction.
- e. The final 5% of the total contract reimbursement amount will be held as retainage until such time the City issues acceptance of public infrastructure in accordance with Unified Development Code.
- f. In the event that this Agreement is terminated by the City at a time when there has been a partial completion and partial payment for the improvements, then the City shall only reimburse Developer/Owner for its costs that were legitimately incurred towards the completion of the improvements that have been inspected and accepted by the City up to the time that there is an uncured default by the Developer/Owner.

4. PAYMENTS, CREDITS AND DEFERRED REIMBURSEMENT.

- a. All payments, credits, priority of reimbursement, and deferred reimbursement shall be made in accordance with UDC §8.5. Developer/Owner understands and agrees that if funds are not available in the Water Arterial Transmission and Grid Main Trust Fund, that reimbursement will not be made until such funds are available, appropriated, and Developer/Owner has priority per UDC §8.5.1. Pursuant UDC §8.5.1. C., priority is determined according to the date the reimbursement agreement is approved by the City Council.
- b. Payments will not be paid when funds are not available in the Water Arterial Transmission and Grid Main Trust Fund. Payments may be made when monies are available in and appropriated from the Water Arterial Transmission and Grid Main Trust Fund and the Developer/Owner has priority in accordance with UDC §8.5.1. C.
- c. If the developer is owed funds from the Water Arterial Transmission and Grid Main Trust Fund, the developer will be given credit for lot or acreage fees that are due on subsequent final plats filed with the County Clerk in accordance with UDC §8.5.1. C. The amounts credited will be deducted from the outstanding amounts owed to the developer by the Water Arterial Transmission and Grid Main Trust Fund until the total amount owed has been paid, provided that the lands being platted are within or contiguous to the boundaries of the preliminary plat of the originally developed property, the land will be served by the water line for which the credit was given, and an extension of the line was not required to serve the land.

5. DEVELOPER/OWNER TO COMPLETE IMPROVEMENTS

Developer/Owner shall award a contract and complete the Water Improvements, under the approved plans and specifications within 24 months from the date of City Council approval of this agreement.

6. NOTICES

- a. Any notice or other communication required or permitted to be given under this Agreement must be given to the other Party in writing at the following address:

- 1. If to the Developer/Owner:

**LM & JM Investments, LLC
P.O. Box 270245
Corpus Christi, Texas 78427**

- 2. If to the City:

City of Corpus Christi
Attn: Director, Development Services Department
2406 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

with a copy to:

City of Corpus Christi
Attn: Assistant City Manager, Business Support Services
1201 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

- b. Notice may be made by United States Postal Service, First Class Mail, Certified, Return Receipt Requested, postage prepaid; by a commercial delivery service that provides proof of delivery, delivery prepaid; or by personal delivery.
- c. Either party may change the address for notices by giving notice of the change under the provisions of this section.

7. REQUIRED CONSTRUCTION

Developer/Owner shall construct the Water Improvements in compliance with the City's UDC, the City's Infrastructure Design Manual, and all local, state and federal laws, codes and regulations, in accordance with the plans and specifications submitted to the City's Development Services Department and reviewed and approved by the City's Development Services Engineer.

8. SITE IMPROVEMENTS

Prior to the start of construction of the Water Improvements, Developer/Owner shall acquire and dedicate to the City the required additional utility easements "Easements", if necessary for the completion of the Water Improvements. If any of the property needed for the Easements is owned by a third party and Developer/Owner is unable to acquire the Easements through reasonable efforts, then the City may use its powers of eminent domain to acquire the Easements. Developer will be responsible for cost of acquisition, payable from the reimbursement agreed to in this agreement.

9. PLATTING FEES

Developer/Owner shall pay to the City the required acreage fees and pro-rata fees as required by the UDC.

10. TIME IS OF THE ESSENCE. Time is of the essence in the performance of this contract.

11. PROMPT AND GOOD FAITH ACTIONS

The parties shall act promptly and in good faith in performing their duties or obligations under this Agreement. If this Agreement calls for review or inspections by the City, then the City's reviews or inspections must be completed thoroughly and promptly.

12. DEFAULT

The following events shall constitute default:

- a. Developer/Owner fails to engage a professional engineer for the preparation of plans and specifications by the 10th calendar day after the date of approval of this Agreement by the City Council.
- b. Developer/Owner's professional engineer fails to submit the plans and specifications to the City's Director of Engineering Services by the 40th calendar day after the date of approval by City Council.
- c. Developer/Owner fails to award a contract for the construction of the project, according to the approved plans and specifications, by the 70th calendar day after the date of approval by City Council.
- d. Developer/Owner's contractor does not reasonably pursue construction of the Water Improvements under the approved plans and specifications.
- e. Developer/Owner's contractor fails to complete construction of the Water Improvements, under the approved plans and specifications as provided in section 4 of this agreement.
- f. Either the City or Developer/Owner otherwise fails to comply with its duties or obligations under this Agreement.

13. NOTICE AND CURE

- a. In the event of a default by either party under this Agreement, the non-defaulting party shall deliver notice of the default, in writing, to the defaulting party stating, in detail the nature of the default and the requirements to cure such default.
- b. After delivery of the default notice, the defaulting party has 15 business days from the delivery of the default notice ("Cure Period") to cure the default.
- c. In the event the default is not cured by the defaulting party within the Cure Period, then the non-defaulting party may pursue its remedies in this section.

- d. Should Developer/Owner fail to perform any obligation or duty of this Agreement, the City shall give notice to Developer/Owner, at the address stated in section 6, of the need to perform the obligation or duty, and should Developer/Owner fail to perform the required obligation or duty within 15 days of receipt of the notice, the City may perform the obligation or duty, charging the cost of such performance to Developer/Owner by reducing the reimbursement amount due Developer/Owner.
- e. In the event of an uncured default by the Developer/Owner, after the appropriate notice and cure period, the City has all its common law remedies and the City may:
 - 1. Terminate this Agreement after the required notice and opportunity to cure the default;
 - 2. Refuse to record a related plat or issue any certificate of occupancy for any structure to be served by the project; and/or
 - 3. Perform any obligation or duty of the Developer/Owner under this agreement and charge the cost of such performance to Developer/Owner. Developer/Owner shall pay to City the reasonable and necessary cost of the performance within 30 days from the date Developer/Owner receives notice of the cost of performance. In the event that Developer/Owner pays the City under the preceding sentence, and is not otherwise in default under this Agreement, then the Agreement shall be considered in effect and no longer in default.
- f. In the event of an uncured default by the City after the appropriate notice and cure period, the Developer/Owner has all its remedies at law or equity for such default.

14. FORCE MAJEURE

- a. The term "force majeure" as employed in this Agreement means and refers to acts of God; strikes, lockouts, or other industrial disturbances; acts of public enemies; insurrections; riots; epidemic; landslides; lightning; earthquakes; fires; hurricanes; storms; floods; washouts; droughts; arrests; civil disturbances; explosions; or other causes not reasonably within the control of the party claiming the inability.
- b. If, by reason of force majeure, either party is rendered wholly or partially unable to carry out its obligations under this Agreement, then the party claiming force majeure shall give written notice of the full particulars of the force majeure to the other party within ten (10) business days after the occurrence or waive the right to claim it as a justifiable reason for delay.

The obligations of the party giving the required notice, to the extent affected by the force majeure, are suspended during the continuance of the inability claimed, but for no longer period, and the party shall endeavor to remove or overcome such inability with all reasonable dispatch.

15. THIRD-PARTY BENEFICIARY

Developer/Owner's contracts with the professional engineer for the preparation of the plans and specifications for the construction of the Water Improvements contracts for testing services, and with the contractor for the construction of the Water Improvements must provide that the City is a third-party beneficiary of each contract.

16. PERFORMANCE AND PAYMENT BONDS

Developer/Owner shall, before beginning the work that is the subject of this Agreement, furnish a performance bond payable to the City of Corpus Christi if the contract is in excess of \$100,000 and a payment bond if the contract is in excess of \$50,000. Bonds furnished must meet the requirements of Texas Insurance Code 3503, Texas Government Code 2253, and all other applicable laws and regulations. The performance or payment bond must name the City as an obligee. If the Developer/Owner is not an obligor, then Developer/Owner shall be named as a joint obligee. The bond must clearly and prominently display on the bond or on an attachment to the bond:

(1) the name, mailing address, physical address, and telephone number, including the area code, of the surety company to which any notice of claim should be sent; or

(2) the toll-free telephone number maintained by the Texas Department of Insurance under Subchapter B, Chapter 521, Insurance Code, and a statement that the address of the surety company to which any notice of claim should be sent may be obtained from the Texas Department of Insurance by calling the toll-free telephone number.

17. DEDICATION OF WATER IMPROVEMENTS.

Upon completion of the construction, dedication of Water Improvements will be subject to City inspection and approval

18. WARRANTY

Developer/Owner shall fully warranty the workmanship of and function of the Water Improvements and the construction thereof for a period of one year from and after the date of acceptance of the facilities by the City's Director of Engineering Services.

19. INDEMNIFICATION

Developer/Owner covenants to fully indemnify, save and hold harmless the City of Corpus Christi, its officers, employees, and agents, ("indemnitees") against any and all liability, damage, loss, claims, demands suits and causes of action of any nature whatsoever asserted against or recovered from city on account of injury or damage to person including, without limitation on the foregoing, workers compensation and death claims, or property loss or damage of any other kind whatsoever, to the extent any injury, damage, or loss may be incident to, arise out of, be caused by, or be in any way connected with, either proximately or remotely, wholly or in part, the Developer/Owner's failure to comply with its obligations under this agreement or to provide city water service to the development, including injury, loss, or damage which arise out of or are in any manner connected with, or are claimed to arise out of or be in any manner connected with the construction, installation, existence, operation, use, maintenance, repair, restoration, or removal of the public improvements associated with the development described above, including the injury, loss or damage caused by the sole or contributory negligence of the indemnitees or any of them, regardless of whether the injury, damage, loss, violation, exercise of rights, act, or omission is caused or is claimed to be caused by the contributing or concurrent negligence of indemnitees, or any of them, but not if caused by the sole negligence of indemnitees, or any of them, unmixed with the fault of any other person or entity, and including all expenses of litigation, court costs, and attorneys fees, which arise, or are claimed to arise, out of or in connection with the asserted or recovered incident.

This indemnity specifically includes all claims, damages, and liabilities of whatever nature, foreseen or unforeseen, under any hazardous substance laws, including but not limited to the following:

(a) all fees incurred in defending any action or proceeding brought by a public or private entity and arising from the presence, containment, use, manufacture, handling, creating, storage, treatment, discharge, release or burial on the property or the transportation to or from the property of any hazardous substance. The fees for which the developer/owner shall be responsible under this subparagraph shall include but shall not be limited to the fees charged by (i) attorneys, (ii) environmental consultants, (iii) engineers, (iv) surveyors, and (v) expert witnesses.

(b) any costs incurred attributable to (i) the breach of any warranty or representation made by Developer/Owner in this agreement, or (ii) any cleanup, detoxification, remediation, or other type of response action taken with respect to any hazardous substance on or under the property regardless of whether or not that action was mandated by the federal, state or local government.

This indemnity shall survive the expiration or earlier termination of the agreement.

20. ASSIGNMENT OF AGREEMENT

This Agreement or any rights under this Agreement may not be assigned by the Developer/Owner to another without the written approval and consent of the City's City Manager.

21. DISCLOSURE OF INTERESTS

Developer/Owner agrees, in compliance with the Corpus Christi Code of Ordinance Sec. 2-349, to complete, as part of this Agreement, the Disclosure of Interests form attached hereto as **Exhibit 5**.

22. CERTIFICATE OF INTERESTED PARTIES.

Developer/Owner agrees to comply with Texas Government Code section 2252.908 and complete Form 1295 Certificate of Interested Parties as part of this agreement.

Form 1295 requires disclosure of "interested parties" with respect to entities that enter contracts with cities. These interested parties include:

(1) persons with a "controlling interest" in the entity, which includes:

- a. an ownership interest or participating interest in a business entity by virtue of units, percentage, shares, stock or otherwise that exceeds 10 percent;
- b. membership on the board of directors or other governing body of a business entity of which the board or other governing body is composed of not more than 10 members; or
- c. service as an officer of a business entity that has four or fewer officers, or service as one of the four officers most highly compensated by a business entity that has more than four officers.

(2) a person who actively participates in facilitating a contract or negotiating the terms of a contract with a governmental entity or state agency, including a broker, intermediary, adviser or attorney for the business entity.

Form 1295 must be electronically filed with the Texas Ethics Commission at https://www.ethics.state.tx.us/whatsnew/elf_info_form1295.htm. The form must then be printed, signed, notarized and filed with the City. For more information, please review the Texas Ethics Commission Rules at <https://www.ethics.state.tx.us/legal/ch46.html>.

23. CONFLICT OF INTEREST.

Developer/Owner agrees to comply with Chapter 176 of the Texas Local Government Code and file Form CIQ with the City Secretary's Office, if required. For more information and to determine if you need to file a Form CIQ, please review the information on the City Secretary's website at <http://www.cctexas.com/government/city-secretary/conflict-disclosure/index>

24. AUTHORITY.

All signatories signing this Agreement warrant and guarantee that they have the authority to act on behalf of the entity represented and make this Agreement binding and enforceable by their signature.

25. EFFECTIVE DATE

This Agreement shall be executed in one original, which shall be considered one instrument. *This Agreement becomes effective and is binding upon, and inures to the benefit of the City and Developer/Owner from and after the date that all original copies have been executed by all signatories.

Remainder of page intentionally left blank; signature page to follow.

EXECUTED IN ONE ORIGINAL this _____ day of _____, 20__.

ATTEST:

CITY OF CORPUS CHRISTI

Rebecca Huerta
City Secretary

Albert J. Raymond III, AIA, CBO
Director of Development Services

APPROVED AS TO LEGAL FORM:

Buck Brice (Date)
Deputy City Attorney
For City Attorney

DEVELOPER/OWNER:

**LM & JM Investments, LLC
P.O. Box 270345
Corpus Christi, Texas 78427**

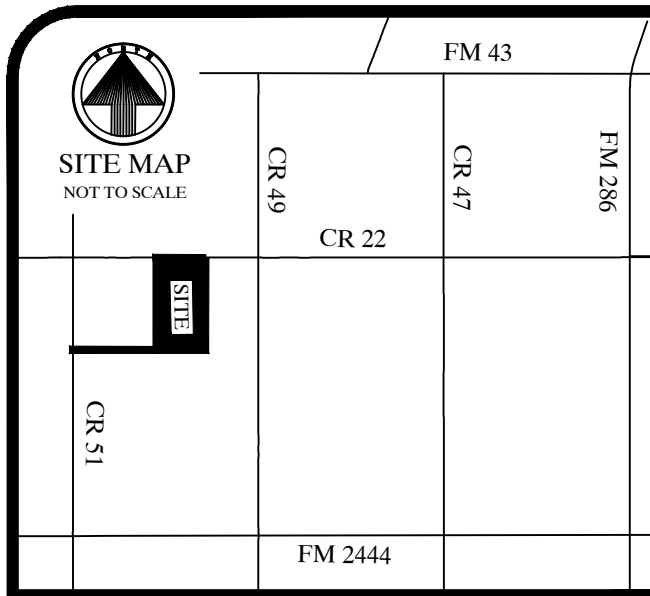
By: _____
**Linda Mikulencak
General Partner**

**STATE OF TEXAS §
 §
COUNTY OF _____ §**

This instrument was acknowledged before me on _____,
20____, by **Linda Mikulencak of LM & JM Investments, LLC**, a General Partner, on
behalf of said corporation.

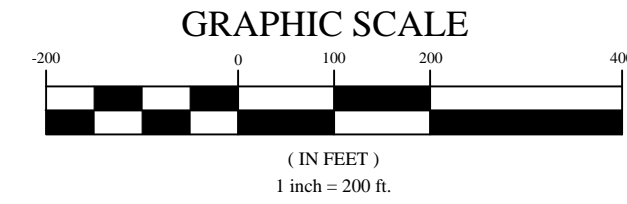
Notary Public's Signature

Exhibit 1



PRELIMINARY PLAT OF LONDON RANCH ESTATES

A 87.076 ACRE TRACT BEING OUT OF A 169.367 ACRE TRACT SURVEYED BY BRISTER SURVEYING AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 202004490, REAL PROPERTY RECORDS OF NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT BEING OUT OF A 177.66 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2007010966, DEED RECORDS NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT ALSO BEING A PORTION OF A 153.23 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 199035420, OFFICIAL RECORDS NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT ALSO BEING OUT OF THE NORTH HALF OF SECTION 11 "LAURELES FARM TRACTS" AS SHOWN ON A PLAT RECORDED IN VOLUME 3, PAGE 15, MAP RECORDS NUECES COUNTY, TEXAS.



Brister Surveying
 4455 South Padre Island Drive Suite 51
 Corpus Christi, Texas 78411
 Office 361-850-1800
 Fax 361-850-1802
 bristersurveying@corpus.twebc.com
 Firm Registration No. 10072800

Line Table		
Line #	Distance	Bearing
L1	35.36'	N45° 49' 57"W
L2	35.36'	N44° 10' 03"E
L3	35.36'	N45° 49' 57"W
L4	35.36'	N44° 10' 03"E
L5	35.36'	N45° 49' 57"W
L6	35.36'	N44° 10' 03"E
L7	35.36'	N45° 49' 57"W
L8	35.36'	N44° 10' 03"E
L9	35.36'	N45° 49' 57"W
L10	35.36'	N44° 10' 03"E
L11	35.36'	N45° 49' 57"W
L12	13.50'	N00° 49' 57"W
L13	70.70'	S44° 10' 35"W
L14	35.36'	S45° 49' 57"E
L15	35.36'	S44° 10' 03"W
L16	21.21'	N45° 49' 57"W
L17	21.21'	N44° 10' 03"E
L18	35.36'	S45° 49' 57"E
L19	35.36'	S44° 10' 03"W
L20	21.21'	N45° 49' 57"W
L21	21.21'	N44° 10' 03"E
L22	35.36'	S45° 49' 57"E
L23	35.36'	S44° 10' 03"W
L24	21.21'	N45° 49' 57"W
L25	21.21'	N44° 10' 03"E
L26	35.36'	S45° 49' 57"E
L27	35.36'	S44° 10' 03"W
L28	21.21'	N45° 49' 57"W
L29	21.21'	N44° 10' 03"E
L30	35.36'	S45° 49' 57"E
L31	35.36'	S44° 10' 03"W
L32	21.21'	N45° 49' 57"W
L33	21.21'	N44° 10' 03"E
L34	35.36'	S45° 49' 57"E
L35	35.36'	S44° 10' 03"W
L36	31.53'	N89° 11' 07"E
L37	25.12'	N89° 10' 03"E
L38	25.08'	N89° 10' 03"E
L39	25.02'	N89° 10' 03"E
L40	24.98'	N89° 10' 03"E
L41	35.36'	N44° 10' 03"E
L42	70.72'	N45° 49' 25"W
L43	24.00'	N00° 48' 53"W
L44	70.72'	S45° 49' 25"E
L45	70.70'	N44° 10' 35"E

Curve Table				
Curve #	Length	Radius	Delta	Chord
C1	18.66'	20.00'	53° 28' 13"	S62° 25' 56"W, 17.99'
C2	19.66'	64.00'	17° 36' 04"	S44° 29' 51"W, 19.58'
C3	84.70'	64.00'	75° 49' 23"	N88° 47' 25"W, 78.65'
C4	55.90'	64.00'	50° 02' 46"	N25° 51' 20"W, 54.14'
C5	55.90'	64.00'	50° 02' 46"	N24° 11' 26"E, 54.14'
C6	84.70'	64.00'	75° 49' 23"	N87° 07' 30"E, 78.65'
C7	19.66'	64.00'	17° 36' 04"	S46° 09' 46"E, 19.58'
C8	18.66'	20.00'	53° 28' 13"	S64° 05' 51"E, 17.99'
C9	18.66'	20.00'	53° 28' 13"	S62° 25' 56"W, 17.99'
C10	19.66'	64.00'	17° 36' 04"	S44° 29' 51"W, 19.58'
C11	84.70'	64.00'	75° 49' 23"	N88° 47' 25"W, 78.65'
C12	55.90'	64.00'	50° 02' 46"	N25° 51' 20"W, 54.14'
C13	55.90'	64.00'	50° 02' 46"	N24° 11' 26"E, 54.14'
C14	84.70'	64.00'	75° 49' 23"	N87° 07' 30"E, 78.65'
C15	19.66'	64.00'	17° 36' 04"	S46° 09' 46"E, 19.58'
C16	18.66'	20.00'	53° 28' 13"	S64° 05' 51"E, 17.99'
C17	18.66'	20.00'	53° 28' 13"	S62° 25' 56"W, 17.99'
C18	19.66'	64.00'	17° 36' 04"	S44° 29' 51"W, 19.58'
C19	84.70'	64.00'	75° 49' 23"	N88° 47' 25"W, 78.65'
C20	196.50'	64.00'	175° 54' 55"	N37° 04' 44"E, 127.92'
C22	19.66'	64.00'	17° 36' 04"	S46° 09' 46"E, 19.58'
C23	18.66'	20.00'	53° 28' 13"	S64° 05' 51"E, 17.99'
C24	18.66'	20.00'	53° 28' 13"	S62° 25' 56"W, 17.99'
C25	19.66'	64.00'	17° 36' 04"	S44° 29' 51"W, 19.58'
C26	196.50'	64.00'	175° 54' 55"	S38° 44' 39"E, 127.92'
C28	84.70'	64.00'	75° 49' 23"	N87° 07' 30"E, 78.65'
C29	19.66'	64.00'	17° 36' 04"	S46° 09' 46"E, 19.58'
C30	18.66'	20.00'	53° 28' 13"	S64° 05' 51"E, 17.99'
C31	18.66'	20.00'	53° 28' 13"	S62° 25' 56"W, 17.99'
C32	19.66'	64.00'	17° 36' 04"	S44° 29' 51"W, 19.58'
C33	84.70'	64.00'	75° 49' 23"	N88° 47' 25"W, 78.65'
C34	55.90'	64.00'	50° 02' 46"	N25° 51' 20"W, 54.14'
C35	55.90'	64.00'	50° 02' 46"	N24° 11' 26"E, 54.14'
C36	84.70'	64.00'	75° 49' 23"	N87° 07' 30"E, 78.65'
C37	19.66'	64.00'	17° 36' 04"	S46° 09' 46"E, 19.58'
C38	18.66'	20.00'	53° 28' 13"	S64° 05' 51"E, 17.99'
C39	18.66'	20.00'	53° 28' 13"	S62° 25' 56"W, 17.99'
C40	19.66'	64.00'	17° 36' 04"	S44° 29' 51"W, 19.58'
C41	84.70'	64.00'	75° 49' 23"	N88° 47' 25"W, 78.65'
C42	55.90'	64.00'	50° 02' 46"	N25° 51' 20"W, 54.14'
C43	100.53'	64.00'	90° 00' 00"	N44° 10' 03"E, 90.51'
C44	59.73'	64.00'	53° 28' 13"	S64° 05' 51"E, 57.58'
C45	18.66'	20.00'	53° 28' 13"	S64° 05' 51"E, 17.99'

Curve Table				
Curve #	Length	Radius	Delta	Chord
C46	18.66'	20.00'	53° 28' 13"	S62° 33' 08"W, 17.99'
C47	19.66'	64.00'	17° 36' 04"	S44° 37' 03"W, 19.58'
C48	81.19'	64.00'	72° 41' 21"	S89° 45' 46"W, 75.86'
C49	59.40'	64.00'	53° 10' 48"	N27° 18' 10"W, 57.29'
C50	60.60'	64.00'	54° 14' 58"	N26° 24' 43"E, 58.36'
C51	80.00'	64.00'	71° 37' 11"	N89° 20' 48"E, 74.89'
C52	19.66'	64.00'	17° 36' 04"	S46° 02' 34"E, 19.58'
C53	18.66'	20.00'	53° 28' 13"	S63° 58' 39"E, 17.99'
C54	18.66'	20.00'	53° 28' 13"	S62° 33' 08"W, 17.99'
C55	19.66'	64.00'	17° 36' 04"	S44° 37' 03"W, 19.58'
C56	81.19'	64.00'	72° 41' 21"	S89° 45' 46"W, 75.86'
C57	59.40'	64.00'	53° 10' 48"	N27° 18' 10"W, 57.29'
C58	60.60'	64.00'	54° 14' 58"	N26° 24' 43"E, 58.36'
C59	80.00'	64.00'	71° 37' 11"	N89° 20' 48"E, 74.89'
C60	19.66'	64.00'	17° 36' 04"	S46° 02' 34"E, 19.58'
C61	18.66'	20.00'	53° 28' 13"	S63° 58' 39"E, 17.99'
C62	18.66'	20.00'	53° 28' 13"	S62° 33' 08"W, 17.99'
C63	19.66'	64.00'	17° 36' 04"	S44° 37' 03"W, 19.58'
C64	81.19'	64.00'	72° 41' 21"	S89° 45' 46"W, 75.86'
C65	59.40'	64.00'	53° 10' 48"	N27° 18' 10"W, 57.29'
C66	60.60'	64.00'	54° 14' 58"	N26° 24' 43"E, 58.36'
C67	80.00'	64.00'	71° 37' 11"	N89° 20' 48"E, 74.89'
C68	19.66'	64.00'	17° 36' 04"	S46° 02' 34"E, 19.58'
C69	18.66'	20.00'	53° 28' 13"	S63° 58' 39"E, 17.99'
C70	18.66'	20.00'	53° 28' 13"	S62° 33' 08"W, 17.99'
C71	19.66'	64.00'	17° 36' 04"	S44° 37' 03"W, 19.58'
C72	81.19'	64.00'	72° 41' 21"	S89° 45' 46"W, 75.86'
C73	59.40'	64.00'	53° 10' 48"	N27° 18' 10"W, 57.29'
C74	60.60'	64.00'	54° 14' 58"	N26° 24' 43"E, 58.36'
C75	80.00'	64.00'	71° 37' 11"	N89° 20' 48"E, 74.89'
C76	19.66'	64.00'	17° 36' 04"	S46° 02' 34"E, 19.58'
C77	18.66'	20.00'	53° 28' 13"	S63° 58' 39"E, 17.99'
C78	18.66'	20.00'	53° 28' 13"	S62° 33' 08"W, 17.99'
C79	19.66'	64.00'	17° 36' 04"	S44° 37' 03"W, 19.58'
C80	81.19'	64.00'	72° 41' 21"	S89° 45' 46"W, 75.86'
C81	59.40'	64.00'	53° 10' 48"	N27° 18' 10"W, 57.29'
C82	60.60'	64.00'	54° 14' 58"	N26° 24' 43"E, 58.36'
C83	80.00'	64.00'	71° 37' 11"	N89° 13' 36"E, 74.89'
C84	19.66'	64.00'	17° 36' 04"	S46° 09' 46"E, 19.58'
C85	18.66'	20.00'	53° 28' 13"	S64° 05' 51"E, 17.99'
C86	18.66'	20.00'	53° 28' 13"	S62° 33' 08"E, 17.99'
C87	86.23'	64.00'	77° 11' 57"	S74° 24' 59"W, 79.86'
C88	48.77'	64.00'	43° 39' 25"	N45° 09' 20"W, 47.59'
C89	49.19'	64.00'	44° 02' 11"	N01° 18' 32"W, 47.99'
C90	54.92'	64.00'	49° 10' 03"	N45° 17' 35"E, 53.25'
C91	61.75'	64.00'	55° 16' 47"	S82° 29' 00"E, 59.38'
C92	19.66'	64.00'	17° 36' 04"	S46° 02' 34"E, 19.58'
C93	18.66'	20.00'	53° 28' 13"	S63° 58' 39"E, 17.99'

LEGEND:
 B.L. = BUILDING LINE
 CL = CENTERLINE
 DOC. NO. = DOCUMENT NUMBER
 M.R.N.C.T. = MAP RECORDS OF NUECES COUNTY, TEXAS
 O.R.N.C.T. = OFFICIAL RECORDS NUECES COUNTY, TEXAS
 PG. = PAGE
 S.F. = SQUARE FEET
 U.E. = UTILITY EASEMENT
 VOL. = VOLUME
 Y.R. = YARD REQUIREMENT

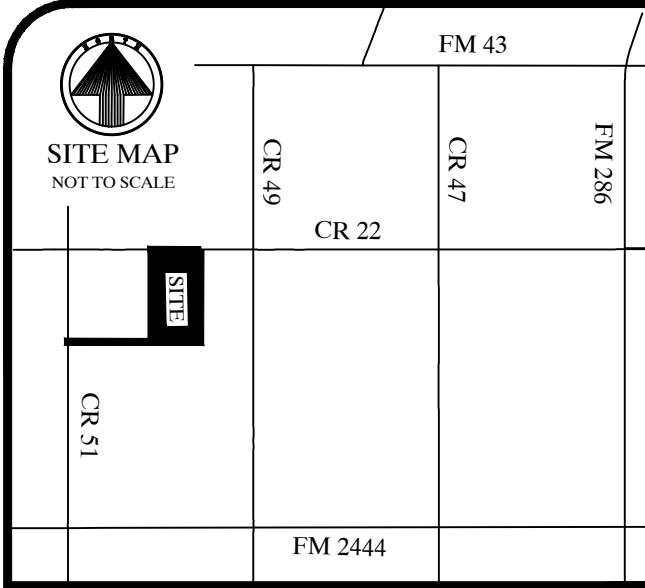
NOTES:

- THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48355C 0515 G, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- BEARINGS ARE BASED ON GLOBAL POSITIONING SYSTEM, TEXAS STATE PLAIN NAD 83 (93), TEXAS SOUTH ZONE 4205.
- THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
- SET 5/8" RE-BAR WITH CAPS STAMPED "BRISTER SURVEYING" UNLESS NOTED OTHERWISE.
- THE TOTAL PLATTED AREA IS 87.076 ACRES INCLUDING STREET DEDICATION.
- SUBDIVIDER SHALL PROVIDE SEPTIC SYSTEMS TO ALL LOTS.
- SEPTIC SYSTEMS SHALL BE APPROVED BY THE CITY/ COUNTY HEALTH DEPARTMENT.
- SUBDIVIDER SHALL PROVIDE WATER SERVICE TO ALL LOTS.
- NO MORE THAN ONE SINGLE FAMILY DWELLING ALLOWED PER LOT.
- LOTS SHALL NOT BE FURTHER SUBDIVIDED.
- FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 37.5'.
- NO DRIVEWAY ACCESS WILL BE ALLOWED FROM CR 20A OR CR 22.
- THE PLACEMENT OF UTILITY LINES WITHIN THE ROAD RIGHT OF WAY SHALL CONFORM WITH THE NUECES COUNTY ACCOMMODATIONS OF UTILITY LINE FACILITIES WITHIN COUNTY RIGHT OF WAY. (FOLLOW CHAPTER 1 SECTION 11.7.1(D))
- ALL STREETS, ROADSIDE DITCHES, DETENTION PONDS, LIFT STATIONS AND UNDERGROUND STORM DRAINS SHALL BE MAINTAINED BY THE SUBDIVISION DEVELOPER AND/OR THE HOMEOWNERS ASSOCIATION.
- THERE ARE 108 LOTS AND 1 NON-BUILDABLE POND LOT.
- PARCEL IS WITHIN THE CITY LIMITS OF CORPUS CHRISTI.
- THIS PROPERTY WILL HAVE INDIVIDUAL OSSF.
- ALL LOTS TO MEET RS-22 ZONING DISTRICT STANDARDS.
- THIS SUBDIVISION CONTAINS PRIVATE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, STREETS, FACILITIES AND EASEMENTS THAT HAVE NOT BEEN DEDICATED TO THE PUBLIC OR ACCEPTED BY THE CITY OF CORPUS CHRISTI OR ANY OTHER LOCAL GOVERNMENT AGENCY AS PUBLIC RIGHTS-OF-WAY. THE CITY OF CORPUS CHRISTI HAS NO OBLIGATION, NOR DOES ANY OTHER LOCAL GOVERNMENT AGENCY HAVE ANY OBLIGATION, TO MAINTAIN, REPAIR, INSTALL OR CONSTRUCT PRIVATE IMPROVEMENTS WITHIN THE SUBDIVISION AND SHALL AGREE TO INDEMNIFY, AGENCY FROM ALL CLAIMS, DAMAGES AND LOSSES ARISING OUT OF THE CONSTRUCTION, RECONSTRUCTION, MAINTENANCE AND OPERATION OF THE PRIVATE IMPROVEMENTS.
- LOT 1, BLOCK 4 IS FOR PRIVATE STREETS WITH LONDON RANCH DRIVE BEING A PUBLIC ACCESS EASEMENT.

approved by Planning Commission on
 December 14, 2022

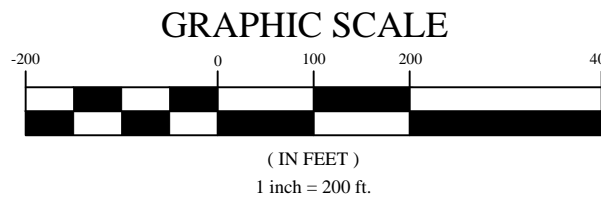


SITE MAP
NOT TO SCALE



PRELIMINARY PLAT OF LONDON RANCH ESTATES

A 87.076 ACRE TRACT BEING OUT OF A 169.367 ACRE TRACT SURVEYED BY BRISTER SURVEYING AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 202004490, REAL PROPERTY RECORDS OF NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT BEING OUT OF A 177.66 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2007010966, DEED RECORDS NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT ALSO BEING A PORTION OF A 153.23 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 199035420, OFFICIAL RECORDS NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT ALSO BEING OUT OF THE NORTH HALF OF SECTION 11 "LAURELES FARM TRACTS" AS SHOWN ON A PLAT RECORDED IN VOLUME 3, PAGE 15, MAP RECORDS NUECES COUNTY, TEXAS.



Brister Surveying

4455 South Padre Island Drive Suite 51
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
bristersurveying@corpustx.tbwc.com
Firm Registration No. 10072800

PROPERTY OWNER
LM & JM INVESTMENTS, LLC
P.O. BOX 270245
CORPUS CHRISTI, TX 78427
(361) 537 - 5664

SURVEYOR
RONALD E. BRISTER

ENGINEER
SCOTT WILLIAMS
1705 W. NORTHWEST HWY. STE. 255
(469) 758-5069
SCOTT.WILLIAMS@LYNNNGROUP.COM

SECTION 12
LAURELES FARM TRACTS
VOL. 3, PG. 15
M.R.N.C.T.

COUNTY ROAD 51
40' RIGHT OF WAY

SECTION 1
LAURELES FARM TRACTS
VOL. 3, PG. 15
M.R.N.C.T.

TRACT 2
CL LEHMAN ENTERPRISES, LLC
DOC. NO. 2010016415
O.R.N.C.T.

10.10 ACRES
JOHNNY FERNANDEZ
ET AL.
DOC. NO. 2010045395
O.R.N.C.T.

10.15 ACRES, MELISSA FLORES
DOC. NO. 2005039814, O.R.N.C.T.

40.00 ACRES
MELISSA FLORES
DOC. NO. 2005039814
O.R.N.C.T.

NW CORNER OF SECTION 11
LAURELES FARM TRACTS
VOL. 3, PG. 15
M.R.N.C.T.

312.90 ACRES
MPM DEVELOPMENT, L.P.
DOC. NO. 2020022145
O.R.N.C.T.

NOTE: WEST PROPERTY
BOUNDARY IS
APPROXIMATELY 1495FT FROM
THE WEST BOUNDARY OF FEMA
FLOOD PANEL 48355C.0515G

13.32 ACRES
HOUSTON PIPE LINE COMPANY
DOC. NO. 916681
O.R.N.C.T.

37.5' R.O.W. DEDICATION
1.498 ACRES
65,247 S.F.

89.9 ACRES
JULIUS J. ZDANSKY
DOC. NO. C-43688-2
W.R.N.C.T.

LOT 1
(PRIVATE)
138,223 S.F.
12' DEEP
DETENTION POND
856.00'

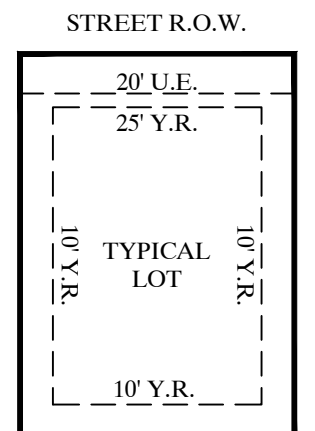
80.00 ACRES
SUPERIOR H & H
DEVELOPMENT, LLC
DOC. NO. 2021010174
O.P.R.N.C.T.

COUNTY ROAD 22
40' RIGHT OF WAY

317.18 ACRES
RODDFIELD & HOLLY, LLC
DOC. NO. 2015038582
O.P.R.N.C.T.

BENCHMARK NO. 2
LAT = N27° 40' 24.54"
LONG = W97° 29' 45.86"
ELEV = 36.99'

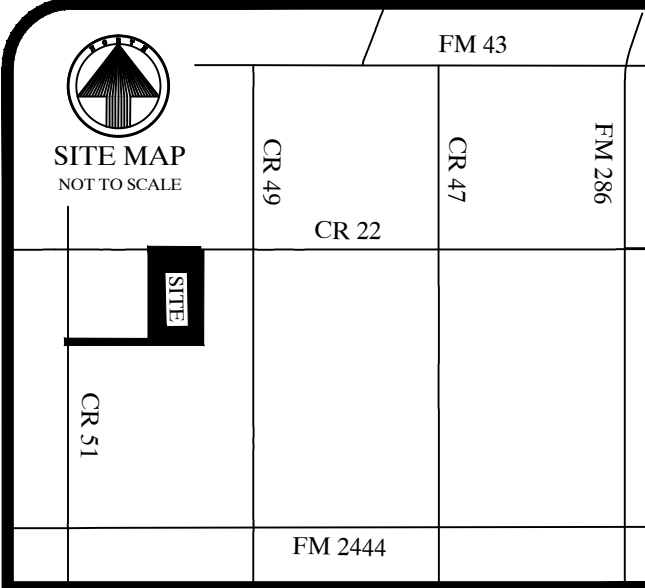
TYPICAL LOT YARD REQUIREMENT
25' Y.R. & 20' U.E. ARE GRANTED ALONG
THE FRONT LINES OF EACH LOT & A 10' Y.R.
ALONG THE SIDES & BACK OF LOT LINES



- ⊙ = FOUND 5/8" RE-BAR
- = FOUND COTTON-SPINDLE
- = SET 5/8" RE-BAR

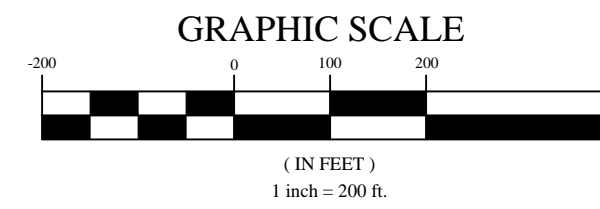


SITE MAP
NOT TO SCALE

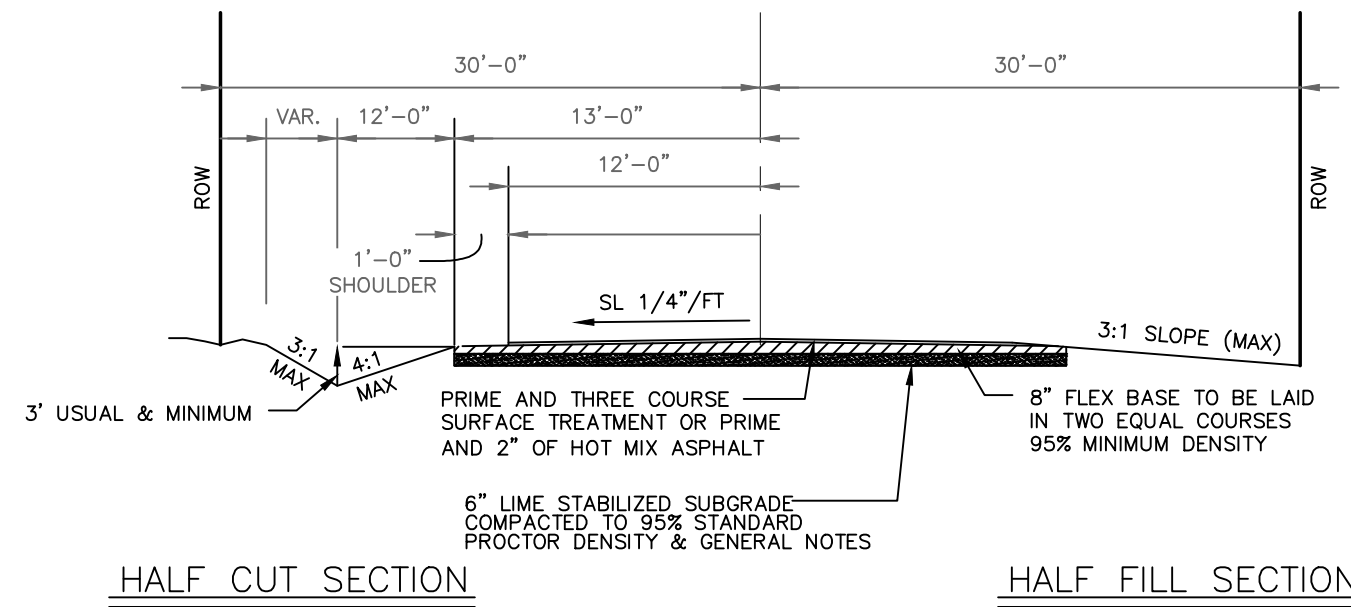
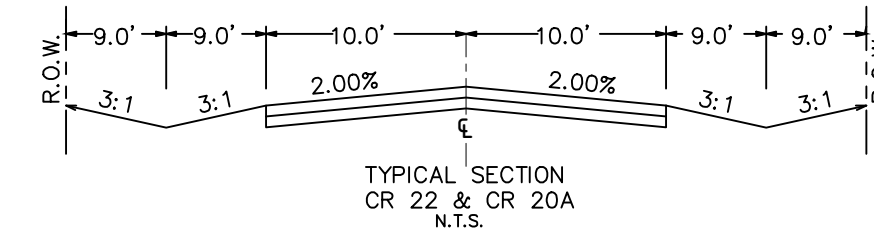
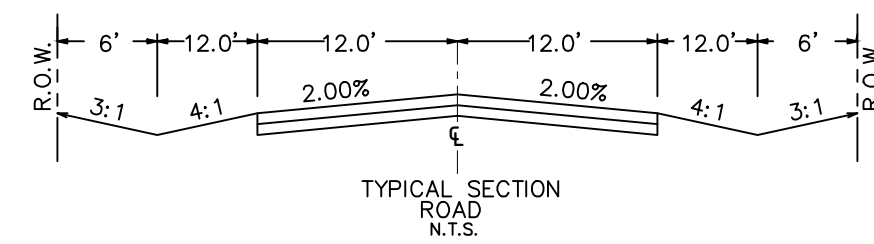
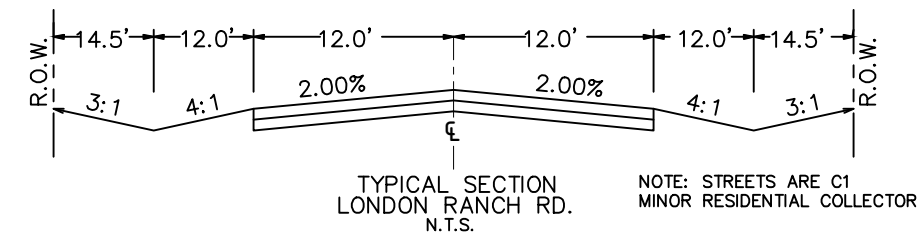


PRELIMINARY PLAT OF LONDON RANCH ESTATES

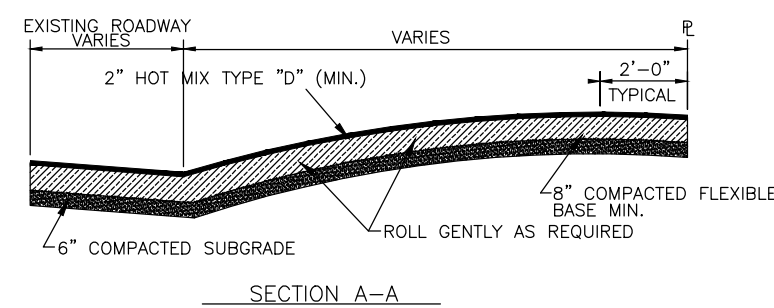
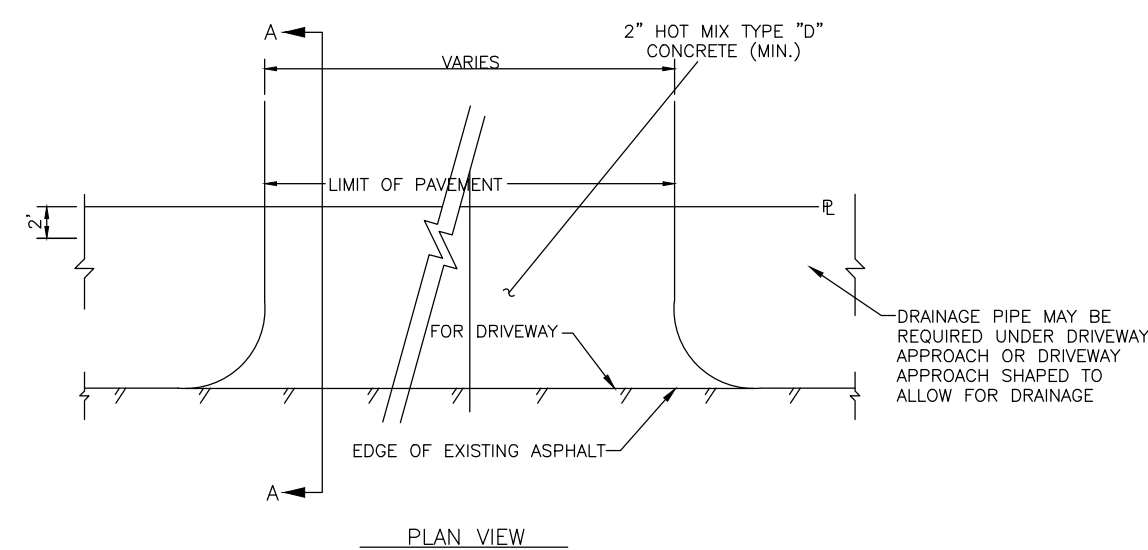
A 87.076 ACRE TRACT BEING OUT OF A 169.367 ACRE TRACT SURVEYED BY BRISTER SURVEYING AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 202004490, REAL PROPERTY RECORDS OF NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT BEING OUT OF A 177.66 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2007010966, DEED RECORDS NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT ALSO BEING A PORTION OF A 153.23 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 199035420, OFFICIAL RECORDS NUECES COUNTY, TEXAS. SAID 169.367 ACRE TRACT ALSO BEING OUT OF THE NORTH HALF OF SECTION 11 "LAURELES FARM TRACTS" AS SHOWN ON A PLAT RECORDED IN VOLUME 3, PAGE 15, MAP RECORDS NUECES COUNTY, TEXAS.



Brister Surveying
4455 South Padre Island Drive Suite 51
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
bristersurveying@corpus.twebc.com
Firm Registration No. 10072800



TYPICAL ROADWAY SECTION



ASPHALT DRIVEWAY

Exhibit 2



Reimbursement Agreement Application



2406 Leopard St. Corpus Christi, TX 78408 | Phone: 361.826.3240 | Fax: 361.826.4375 | contractsandagreements@cctexas.com

Date of Application: 8-2-23

Approved Plat Name: London Ranch

Public Improvements Deferred: off site water

Approved Public Improvement Plans: Y N

Cost Estimate for Deferred Public Improvements: \$1,240,347.60

Ownership and authorized signatories to enter into the agreement:
LM + JM Investments LLC

Contact Information

Name: Linda Mikuleneak

E-mail address: mikuleneak9@aol.com

Phone Number: 361-215-0661

Preferred Method of Contact: Email Phone Other

If other, provide detail:

Company Name entering into the agreement: LM + JM Investments LLC

Company Address: PO Box 270245
C.C. TX 78427

Applicant's Signature & Title

Submit Application Electronically to: contractsandagreements@cctexas.com

Mail to:
Development Services
Attn: Business Manager
2406 Leopard St. Suite 100
Corpus Christi, Texas 78408

Exhibit 3

PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES COUNTY, TEXAS

CITY STANDARD SPECIFICATIONS

THE FOLLOWING CITY OF CORPUS CHRISTI STANDARD SPECIFICATIONS OF WHICH CAN BE OBTAINED FROM THE CITY OF CORPUS CHRISTI WEBSITE (WWW.CITYOFCORPUSCHRISTI.COM) SHALL BE UTILIZED FOR THIS PROJECT. CONTRACTOR SHALL PRINT AND OBTAIN COPIES OF THESE SPECIFICATIONS PRIOR TO BEGAINING WORK AND PRIOR TO CONSTRUCTION OF THE WORK. THE WORD "TYPICAL" AS USED IN SAID CITY STANDARD SPECIFICATIONS SHALL REFER TO BASS & WELSH ENGINEERING.

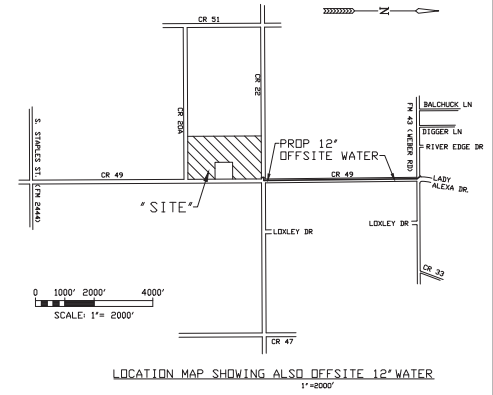
021002	SITE CLEANING AND STRIPPING
021040	SITE GRADING
022000	EXCAVATION AND BACKFILL FOR UTILITIES
022021	CONTROL OF GROUND WATER
022022	CONTROL OF GROUND WATER
022040	STREET EXCAVATION
022060	CHANNEL EXCAVATION
022080	EMBANKMENT
022100	SELECT MATERIAL
022120	SELECT MATERIAL
022140	LIME STABILIZATION
022160	CURED LIMESTONE FLEXIBLE BASE
024004	ASPHALTS, OILS AND EMULSIONS
024012	PRIME COAT
024024	HOT MIX ASPHALTIC CONCRETE PAVEMENT
024028	PAVEMENT
024034	CONCRETE CURB RAMPS
024062	TEMPORARY TRAFFIC CONTROLS DURING CONSTRUCTION
026001	WATER LINE RISER ASSEMBLIES
026002	HYDROSTATIC TESTING OF PRESSURE SYSTEMS
026009	TAPPING SLEEVES AND TAPPING VALVES
026026	DUCTILE IRON PIPE AND FITTINGS
026210	PVC PIPE - AWWA C900/C905 PRESSURE PIPE FOR MUNICIPAL WATER MAINS AND WASTEWATER FORCE MAINS
026402	WATER LINES
026404	WATER SERVICE LINES
026411	GATE VALVES FOR WATER LINES
026416	FIRE HYDRANTS
027022	MANHOLES
028020	SEEDING
030020	PORTLAND CEMENT CONCRETE
030020	REINFORCING STEEL
030020	CONCRETE STRUCTURES
034000	FRAMES, GRATES, RINGS AND COVERS

LEGEND - EXISTING FACILITIES AND APPURTENANCES

AP	ASPHALT PAVEMENT
B*AL	8" AIR LIQUIDE PETROLEUM PIPELINE
⊙	BLOCK NO. 1
4" C & D	4" R/C CURB AND OUTER
4" CW	4" R/C WALK
D.E.	DRAINAGE EASEMENT
20"E	20" ENTERPRISE PRODUCTS PETROLEUM PIPELINE
EP	EDGE OF PAVEMENT
M.R.	MAP RECORDS
18" ROP	18" REINFORCED CONCRETE PIPE
LH	LEFT
MT	MANHOLE
PC	POINT OF CURVATURE (BEGINNING OF CURVE)
R/W	RIGHT-OF-WAY LINE
R/W	RIGHT-OF-WAY LINE
R/5S	8" SANITARY SEWER LINE
U.E.	UTILITY EASEMENT
W	8" WATER LINE
Y.R.	YARD REQUIREMENT
60'±	SPOT ELEVATION POINT OF "X"

LEGEND - PROPOSED FACILITIES AND APPURTENANCES

—	CENTERLINE	RT	RIGHT OF WAY
↔	DRAINAGE DIRECTION OR DIMENSION ARROW	RW	RIGHT
—	FINISHED GROUND ELEVATION	S = 0.3%	LONGITUDINAL SLOPE
⬆	FIRE HYDRANT SYMBOL	SSF	SEDMIMENTATION SCREENING FENCE ALSO KNOWN AS SALT FENCE OR TEMPORARY SEDIMENT CONTROL FENCE
⬆	FLOW LINE OR INVERT ELEVATION	STO	STORM SEWER (DRAINAGE)
GB	GRADE BREAK (CHANGE OF DRAINAGE DIRECTION OR SLOPE)	TOPS	TOP SIGN
M.R.	MAP RECORDS	TOP OF SLOPE	TOP OF SLOPE (AT BOTTOM)
18" ROP	18" REINFORCED CONCRETE PIPE	↑	WATER VALVE SYMBOL
LH	LEFT	WSD	DOUBLE WATER SERVICE (1" PIPE, FITTINGS, CORPORATION STOP AND ANGLE METER VALVES)
MT	MANHOLE	WSS	SINGLE WATER SERVICE (1" PIPE, FITTINGS, CORPORATION STOP AND ANGLE METER VALVE)
PC	POINT OF CURVATURE (BEGINNING OF CURVE)	WTR	WATER OR WATER PIPE
R/W	RIGHT-OF-WAY LINE	WTR	PROPOSED CAP AND 2" RISER (WATER)
R/W	RIGHT-OF-WAY LINE		
R/5S	8" SANITARY SEWER LINE		
U.E.	UTILITY EASEMENT		
W	8" WATER LINE		
Y.R.	YARD REQUIREMENT		
60'±	SPOT ELEVATION POINT OF "X"		



LOCATION MAP SHOWING ALSO OFFSITE 12" WATER
1"=200'

SHEET INDEX

SHEET 1	COVER SHEET AND MISCELLANEOUS INFORMATION
SHEET 2	WATER BASE MAP
SHEET 3	PAVING, GRADING AND DRAINAGE PLAN AND PROFILE
SHEET 4	PAVING, GRADING AND DRAINAGE PLAN AND PROFILE
SHEET 5	PAVING, GRADING AND DRAINAGE PLAN AND PROFILE
SHEET 6	PAVING, GRADING AND DRAINAGE PLAN AND PROFILE
SHEET 7	WATER PLAN, STORM WATER POLLUTION PREVENTION PLAN
SHEET 8	WATER PLAN, STORM WATER POLLUTION PREVENTION PLAN
SHEET 9	WATER PLAN, STORM WATER POLLUTION PREVENTION PLAN
SHEET 10	WATER PLAN, STORM WATER POLLUTION PREVENTION PLAN, CONCRETE THRUST BLOCK DETAILS AND ESTIMATE SUMMARY
SHEET 11	SIGNAGE AND LIGHTING PLAN
SHEET 12	SIGNAGE AND LIGHTING PLAN
SHEET 13	SIGNAGE AND LIGHTING PLAN
SHEET 14	SIGNAGE AND LIGHTING PLAN
SHEET 15	STREET AND DRAINAGE DETAILS AND STORM WATER DETENTION DATA
SHEET 16	CITY CROSSWALK, PAVEMENT MARKINGS AND STREET NAME BLADE SIGN DETAILS
SHEET 17	TXDOT SIGN MOUNTING DETAILS: SMALL ROADSIDE SIGNS TRIANGULAR SLIPBASE SYSTEM
SHEET 18	TXDOT TYPICAL SIGN REQUIREMENTS, TSR(4)-13
SHEET 19	OFFSITE WATER PLAN
SHEET 20	OFFSITE WATER PLAN
SHEET 21	OFFSITE WATER PLAN AND PROFILE

PAVING, GRADING AND DRAINAGE NOTES

- ALL PROPOSED ASPHALT PAVING IS SHOWN POCHED (SHADED).
- PROR TO ANY EARTHWORK, ALL TREES, VEGETATION, ORGANIC MATERIAL, AND ANY DELICIOUS SUBSTANCES SHALL BE REMOVED FROM THE ENTIRE PROJECT SITE EXCEPT TREES 6" DIAMETER AND LARGER OUTSIDE OF PROPOSED STREET PAVING WHICH SHALL BE LEFT IN PLACE (DAMAGED AFTER REMOVAL OF ALL VEGETATION, ORGANIC MATERIAL, DELICIOUS SUBSTANCES, APPROPRIATE TREES, ETC., CONTRACTOR MAY BEGIN DAYWORK CUT AND FILL OPERATIONS FOR LOT GRADING AND DAYWORK ASSOCIATED WITH STREETS.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND ALL STEEL REINFORCING SHALL BE GRADE 60 (60,000 PSI YIELD STRENGTH) IN ACCORDANCE WITH ASTM A 615.
- REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS II, STANDARD STRENGTH, STORM SEWER MANHOLES SHALL BE PRE-CAST CONCRETE.
- ALL STATIONING IS MEASURED ALONG THE CENTERLINES OF STREETS.
- LINEARLY INTERPOLATE BETWEEN GRADES AS SHOWN TO DETERMINE A PROPOSED GRADE AT ANY PARTICULAR POINT.
- CONTRACTOR SHALL MEET ALL GOVERNMENTAL ONE-CALL AND OTHER REGULATIONS WITH REGARD TO EXISTING UNDERGROUND FACILITIES AND PIPELINES.
- NO SEPARATE PAY FOR PRIME COAT (PAY FOR IN THE ESTABLISHED UNIT PRICE FOR HMA).
- GEOTEXTILE FABRIC MATERIAL IS REQUIRED FOR WRAPPING RCP PIPE JOINTS AND SHALL MEET REQUIREMENTS OF MSHTO M28B.
- CONTRACTOR SHALL MEET ALL OTHER BACKFILL TO 95% STANDARD PROCTOR DENSITY WITHIN THREE PERCENTAGE POINTS OF OPTIMUM MOISTURE.
- SAFETY END TREATMENTS (SETS) SHALL HAVE 6:1 TAPER AND SHALL MEET TXDOT STANDARD SPECIFICATIONS AND DETAILS. PAY FOR ANY PORTION OF PIPE WITHIN SET AS PART OF SET (NO SEPARATE PAY FOR ANY PIPE WITHIN SET).
- PLACE EARTH EXCAVATED FROM DRAINAGE RIGHTS-OF-WAY/LAKES ON LOTS AND GRADE TO DRAIN AS INDICATED.

CITY STANDARD DETAIL SHEETS

THE FOLLOWING SHEETS ARE INCLUDED HEREIN BY REFERENCE AND SHALL BE USED ON THIS PROJECT. CONTRACTOR SHALL OBTAIN THESE SHEETS FROM THE CITY OF CORPUS CHRISTI (AT [HTTP://ENGINEERCC.COM/STANDARD-DETAILS](http://ENGINEERCC.COM/STANDARD-DETAILS)) FOR BIDDING AND CONSTRUCTION PURPOSES.

STANDARD WATER DETAILS, 4 SHEETS

STORM WATER STANDARD DETAILS, 3 SHEETS

STORM WATER POLLUTION PREVENTION, 3 SHEETS

WATER NOTES

- ALL WATER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF CORPUS CHRISTI WATER DISTRIBUTION STANDARDS IN EFFECT AS OF FEBRUARY 1, 2022.
- PROVIDE THROUGH BLOCKS AT ALL 4", 6", 8" AND 12" WATER FITTINGS. IN ADDITION PROVIDE JOINT RESTRAINT, PIPE TO PIPE AND PIPE TO FITTINGS WHERE SHOWN. JOINT RESTRAINT SHALL BE PROVIDED AS RECOMMENDED BY ERB IRON USING THEIR FITTINGS AND JOISTS AND AS APPROVED BY THE CITY. CONTRACTOR SHALL VERIFY ALL JOINT RESTRAINT LENGTHS BEFORE INSTALLATION OF SAME.
- PROVIDE CAST IRON BODIES AND PVC PIPE EXTENSIONS WITH CONCRETE AT GATE VALVES PURSUANT TO STANDARD WATER DETAILS.
- CONSTRUCT WATER RISERS AT END CAPS ON PIPES AND 2" BLOW-OFF VALVES FOR FILLING AND TESTING PURPOSES PURSUANT TO DETAILS AS SHOWN IN STANDARD WATER DETAILS.
- CONSTRUCT WATER SERVICE LINES AND CONNECTIONS PURSUANT TO THE NOTES AND DETAILS AS SHOWN IN STANDARD WATER DETAILS.
- ALL WATER MAINS 4" AND LARGER SHALL BE D1818 PVC WITH DUCTILE IRON MECHANICAL JOINT FITTINGS AND SHALL BE BEDDED IN (EXPOSED) H SAND TO 6" ALL AROUND PIPE (020210 AND 026402).
- ALL WATER SERVICE LINES SHALL BE 1" DIAMETER FOR SINGLE AND DOUBLE WATER SERVICES.
- PLACE FIRE INDICATORS ON SIDE OF WATER MAIN AWAY FROM STREET AND EE.
- THE LOCATION OF UTILITY LINES WITHIN THE ROAD RIGHT OF WAY SHALL CONFORM WITH THE NUECES COUNTY ACCORDANCING OF UTILITY LINE FACILITIES WITHIN COUNTY RIGHT OF WAY.
- PROPOSED WATER LINES SHALL BE A MINIMUM OF 36 INCHES BELOW THE PROPOSED DITCH FLOW LINES OR 60 INCHES BELOW THE CENTER LINES OF STREETS, WHICHEVER IS GREATER.
- PROPOSED WATER LINES SHALL BE A MINIMUM OF 36 INCHES BELOW THE PROPOSED DITCH FLOW LINES OR 60 INCHES BELOW THE CENTER LINES OF STREETS, WHICHEVER IS GREATER.
- PAY FOR ALL STORM WATER POLLUTION PREVENTION MEASURES, SOLID WASTE DISPOSAL, SOIL TRACKING, SEEDING, ETC., AS PART OF "STORM WATER POLLUTION PREVENTION".
- UPON COMPLETION OF IMPROVEMENTS HEREOF, ALL DISTURBED AREAS SHALL BE GRASS SEEDING IN ACCORDANCE WITH CITY STANDARD SPECIFICATION 026220 "SEEDING".
- THE APPLICABLE PERMIT CAN BE FOUND ON THE TCEQ WEB SITE AT [HTTPS://WWW.TCEQ.TEXAS.GOV/ASSETS/PUBLIC/PERMITTING/2018/000000_000000_000000.pdf](https://www.tceq.texas.gov/assets/public/permitting/2018/000000_000000_000000.pdf)
- CONTRACTOR SHALL PROVIDE A TCEQ COMPLIANT STORM WATER POLLUTION PREVENTION PLAN TO THE CITY PRIOR TO THE START OF CONSTRUCTION.

CALL BEFORE YOU DIG!

811

THE LONE STAR NOTIFICATION COMPANY AT 1-800-669-8344

PETROLEUM PIPELINE NOTES

- CONTRACTOR SHALL DO NO WORK NOR EXCAVATION WITHIN ANY PETROLEUM PIPELINE EASEMENT WITHOUT A REPRESENTATIVE FROM THE PIPELINE COMPANY SITE OBSERVING THE WORK.
- ALL EXCAVATION WITHIN 5' OF ENTERPRISE PIPELINES SHALL BE DONE BY HAND (NO MACHINES).

GENERAL NOTES

- IF A PARTICIPATION AGREEMENT AND/OR REIMBURSEMENT ARE BEING REQUESTED BY THE DEVELOPER/ENGINEER, THEN PRIOR TO START OF CONSTRUCTION, CITY COUNCIL MUST APPROVE SAID AGREEMENT.
- THIS WORK WILL BE INSPECTED BY THE CITY'S CONSTRUCTION INSPECTION DIVISION. CONSTRUCTION INSPECTION SHOULD BE CONTACTED AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION. THE NUMBER TO CONTACT CONSTRUCTION INSPECTION IS (361) 626-1738. CONTACT ALSO NUECES COUNTY PUBLIC WORKS (361) 888-0490.
- DEVELOPER/DEVELOPER'S AGENT SHALL ENSURE THAT BEST MANAGEMENT PRACTICES TO MINIMIZE EROSION AND SEDIMENTATION ARE BEING USED AND THAT ANY AND ALL TCEQ PERMITS WHERE NEEDED HAVE BEEN OBTAINED.
- DEVELOPER/DEVELOPER'S AGENT SHALL ENSURE THAT TRAFFIC CONTROL MEASURES ARE IMPLEMENTED AS NEEDED. ANY WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY'S TRAFFIC ENGINEERING DIVISION.
- ANY WORK AFFECTING TXDOT RIGHT-OF-WAY REQUIRES REVIEW, APPROVAL, AND/OR PERMIT AS APPLICABLE.
- ALL PUBLIC IMPROVEMENTS SHALL BE WARRANTED BY THE DEVELOPER PER UNLIMITED DEVELOPMENT CODE (UDC) SECTION 6.1.8 FROM THE DATE OF ACCEPTANCE OF THOSE IMPROVEMENTS BY THE DIRECTOR OF ENGINEERING PER SUBDIVISION CONSTRUCTION AGREEMENT WITH NUECES COUNTY. ALL IMPROVEMENTS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF ACCEPTANCE OF THOSE IMPROVEMENTS BY THE NUECES COUNTY COMMISSIONERS COURT.
- APPROVAL FOR PUBLIC IMPROVEMENTS PERTINENT TO PLATING REQUIREMENTS OF A FINAL PLAN SHALL EXPIRE IF THE FINAL PLAN EXPIRES. A FINAL PLAN EXPIRES 90 MONTHS FROM THE DATE OF ITS APPROVAL BY PLANNING COMMISSION IF IMPROVEMENTS HAVE NOT BEEN INITIATED AND SUBSTANTIAL PROGRESS CONTINUED TOWARDS COMPLETION UNLESS AN EXTENSION HAS BEEN GRANTED BY ENGINEERING SERVICES.
- APPROVAL FOR PUBLIC IMPROVEMENTS ASSOCIATED WITH A BUILDING PERMIT SHALL EXPIRE IF THE BUILDING PERMIT EXPIRES. A BUILDING PERMIT EXPIRES 180 DAYS FROM THE DATE OF ISSUANCE UNLESS AN EXTENSION HAS BEEN GRANTED BY BUILDING SERVICES.
- A CITY OF CORPUS CHRISTI AND NUECES COUNTY PERMIT IS REQUIRED FOR ANY EXCAVATION IN PUBLIC RIGHT OF WAY. EXCAVATION MEANS AN ACTIVITY THAT CUTS, PENETRATES, OR BORES UNDER ANY PORTION OF THE PUBLIC WAY THAT HAS BEEN IMPROVED WITH A FINISHED SURFACE FOR STREET, SIDEWALK, SUBGRADE CHANGE, OR RELATED PUBLIC TRANSPORTATION INFRASTRUCTURE PURPOSES. PERMITS WILL NOT BE ISSUED FOR EXCAVATION IN ANY PUBLIC WAY THAT HAS BEEN CONSTRUCTED, RECONSTRUCTED, REPAIRED, OR RESURFACED IN THE PRECEDING PERIOD OF FIVE YEARS FROM THE DATE OF ACCEPTANCE BY THE PUBLIC WORKS CONSTRUCTION ENTITY.
- ANY EXCAVATIONS ALLOWED BY THE DIRECTOR OF DEVELOPMENT SERVICES ON CONCRETE STREETS MUST BE PERFORMED IN SUCH A WAY THE ENTIRE CONCRETE PANEL IS REPLACED.
- ELECTRICAL CASINGS SHALL BE PVC SCHEDULE 40 PIPE, SOLVENT WELD, CAPPED EACH END WITHOUT SOLVENT WELD AT END CAPS. CASINGS ARE FOR FUTURE ELECTRICAL WIRE/CABLES TO BE INSERTED BY OTHERS. SIZE OF CASINGS AND PLACEMENT LOCATIONS SHALL BE MADE PURSUANT TO THE REQUIREMENTS OF CIP. PLACE ELECTRICAL CASINGS AND BACKFILL IN ACCORDANCE WITH ALL REQUIREMENTS FOR SANITARY SEWER SERVICE LINES. INSTALL CASING PIPES WITH A MINIMUM OF 4" OF COVER OVER FINISHED SURFACE. CONTRACTOR SHALL CONTACT CIP TO DETERMINE THE LOCATION OF CASINGS REQUIRED BY AEP.
- SUBSIDIARY WORK IN THE COURSE OF FINISHING OR CONSTRUCTING A COMPLETE WORK OR IMPROVEMENT, CERTAIN WORK MAY BE NECESSARY WHICH IS SUBSIDIARY TO THE ITEMS WHICH ARE ESTABLISHED AS PAY ITEMS. SOME SUCH SUBSIDIARY WORK MAY BE SHOWN AND SPECIFIED IN DETAIL IN THE PLANS AND SPECIFICATIONS. OTHER WORK MAY BE LESS COMPLETELY SHOWN. OTHER SUCH WORK WHICH IS ESSENTIALLY NECESSARY FOR THE SATISFACTORY COMPLETION OF THE WORK AS A WHOLE MAY NOT BE NOTED ON THE PLANS OR IN THE SPECIFICATIONS. IT SHALL BE THE DUTY OF THE CONTRACTOR TO OBTAIN ALL SUCH SUBSIDIARY WORK AS IT IS FULLY SHOWN, AND THE COST OF SUCH WORK SHALL BE MADE SUBSIDIARY TO THE ESTABLISHED PAY ITEM.

BENCH MARK
TOP OF IRON ROD, EL. 23.11 AT REAR OF LOT 5, B.L.# 6, SEE SHEET 3, CENTER OF SHEET

BENCH MARK
TOP OF IRON ROD WITH CAP, EL. 24.34 AT REAR OF LOT 13, B.L.# 6, SEE SHEET 5, FAR LEFT CENTER



06/12/23

By: A. Whitmore, P.E., CFM, CPM
Whitmore, P.E., CFM, CPM
Date: 2023.06.13 10:01:38:007

OWNERS:
SUPERIOR H & H DEVELOPMENT, LLC
4833 SARATOGA BLVD., PMB 423
CORPUS CHRISTI, TX 78413
765-7241



BASS AND WELSH ENGINEERING TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES NUECES CO., TX			
COVER SHEET AND MISCELLANEOUS INFORMATION			
DRN.	FLY SCALE	SCALE (S)	CON. NO.
N. WELSH	1" = 60'	AS SHOWN	CS-040
	SCALE (P)	AS SHOWN	JOB NO.
	SCALE (V)	AS SHOWN	2023P
	DATE PLOTTED	06/23/23	SHEET 11 OF 21



WATER BASE MAP
1"=100'



0 50' 100' 200'
SCALE: 1"= 100'

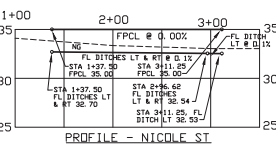
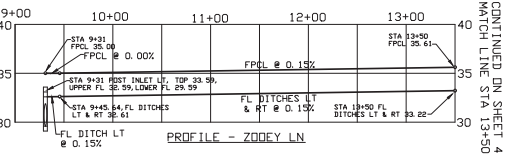
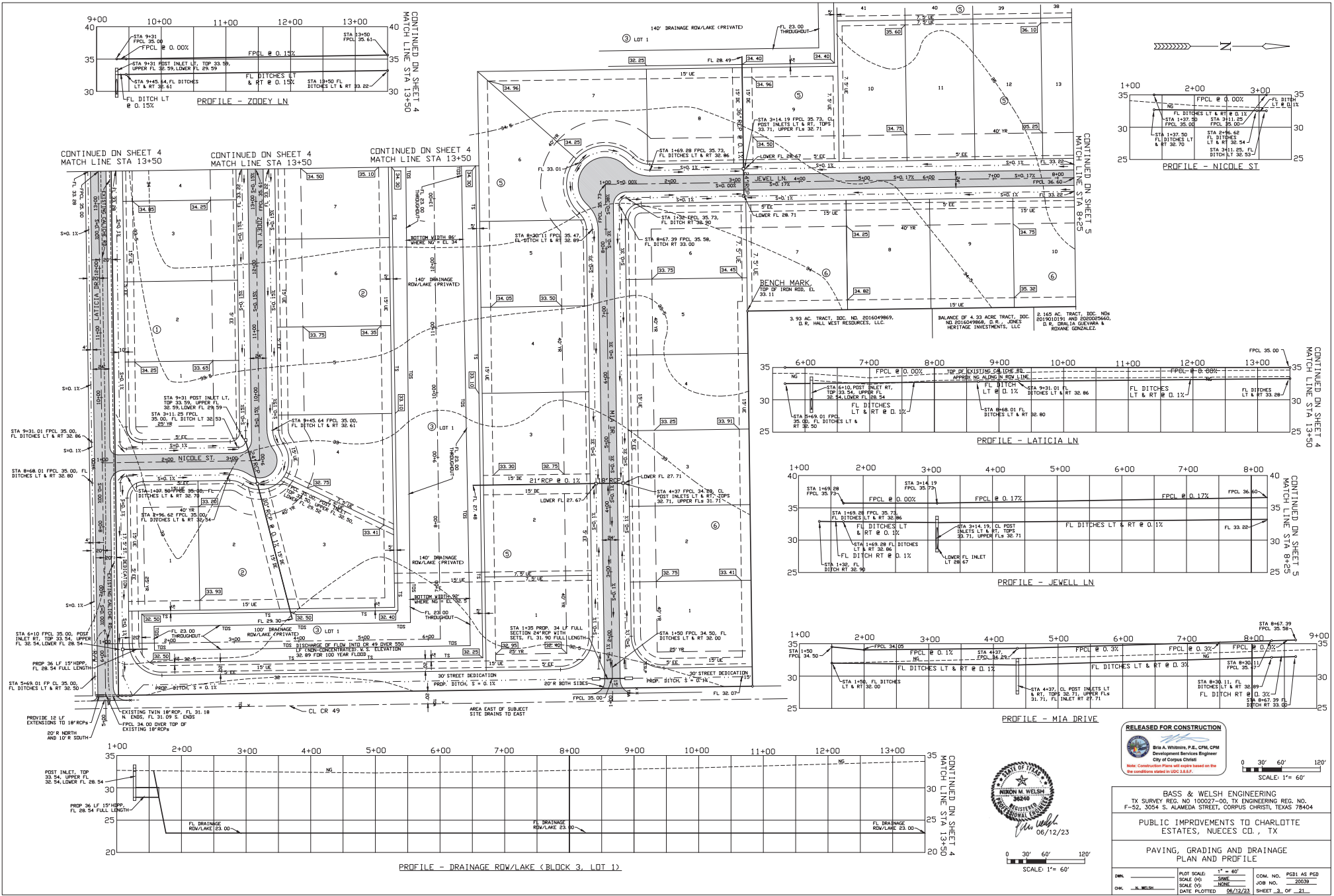
BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX

WATER BASE MAP



DRN	PLAT SCALE: 1" = 100'	COM. NO.	BASE MAP
CHK	SCALE (H): NONE	JOB NO.	20532
	SCALE (V): NONE	SHEET # OF 21	
	DATE PLOTTED: 06/12/23		

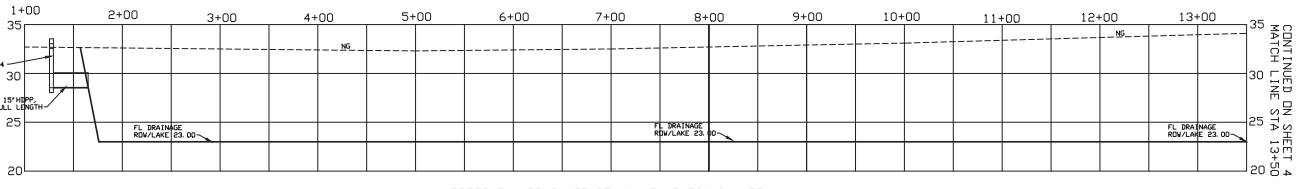
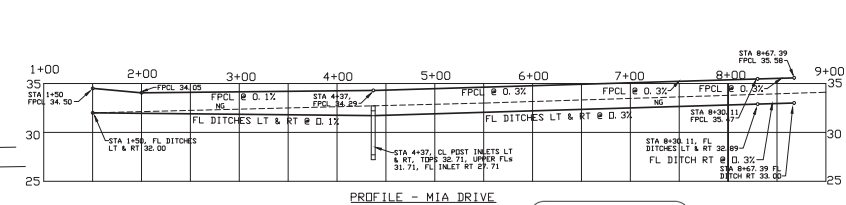
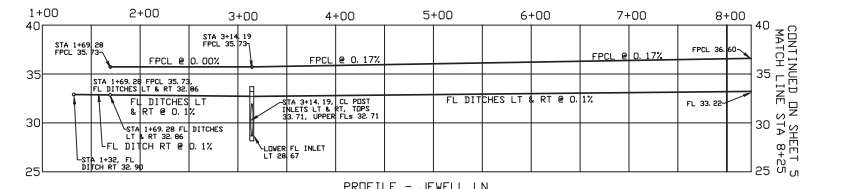
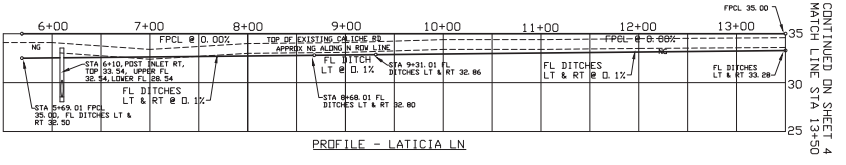


CONTINUED ON SHEET 4
MATCH LINE STA 13+50

CONTINUED ON SHEET 4
MATCH LINE STA 13+50

CONTINUED ON SHEET 4
MATCH LINE STA 13+50

CONTINUED ON SHEET 5
MATCH LINE STA 13+50



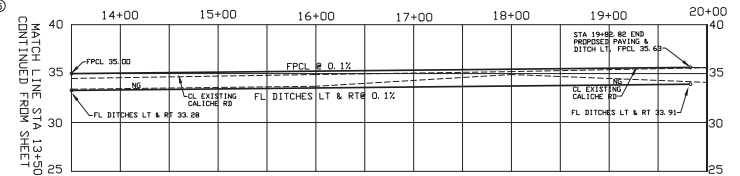
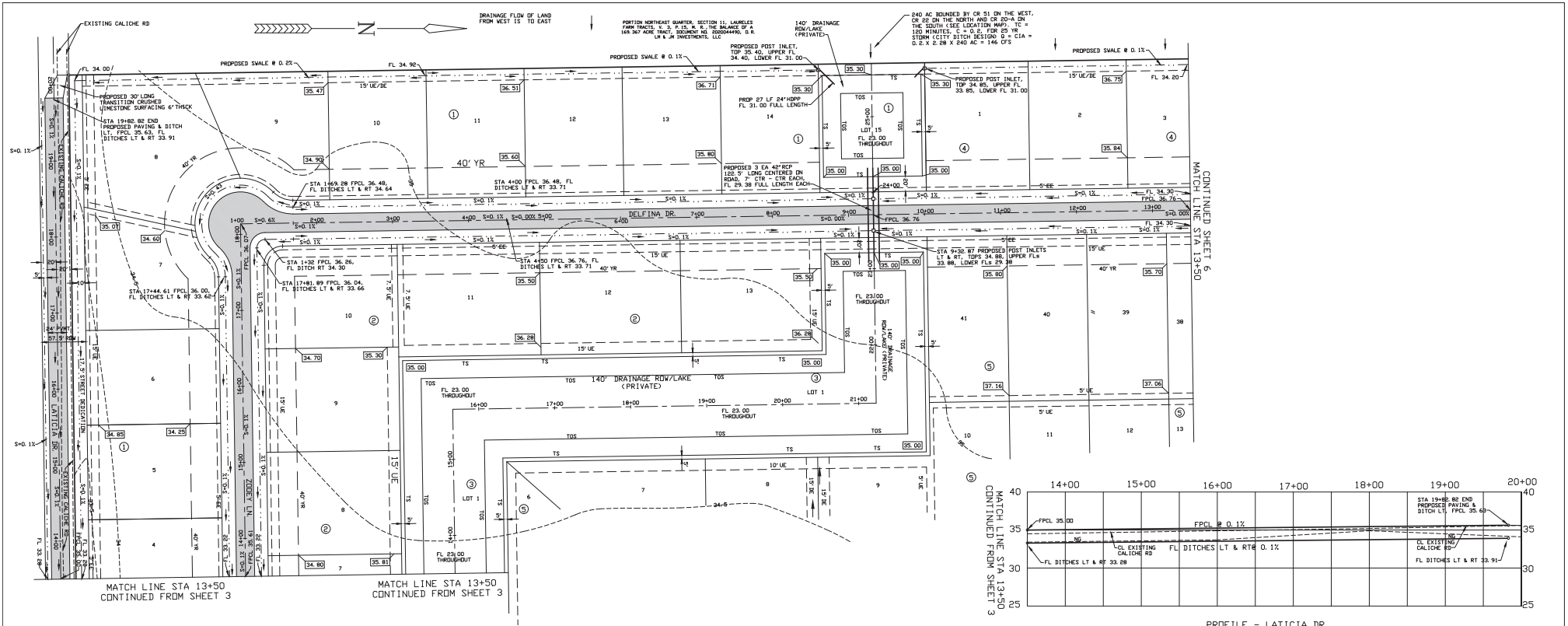
RELEASED FOR CONSTRUCTION
 Rita A. Williams, P.E., CPE, CPM
 Development Services Engineer
 City of Corpus Christi
 Note: Construction items will require based on the conditions noted in CDD 3.8.1.F.



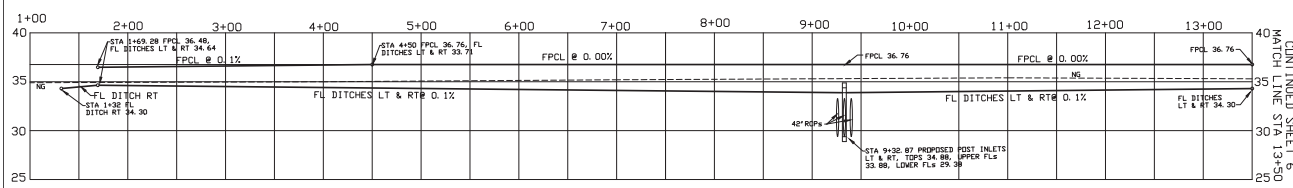
BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3004 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
 PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX

PAVING, GRADING AND DRAINAGE PLAN AND PROFILE
 DATE PLOTTED: 06/12/23
 SHEET: 3 OF 21

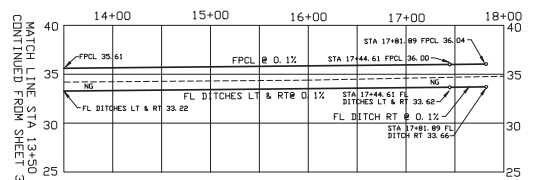
SCALE: 1" = 60'
 PLOT SCALE: 1" = 60'
 SCALE 0%: NONE
 SCALE 0%: NONE
 DATE PLOTTED: 06/12/23
 SHEET: 3 OF 21



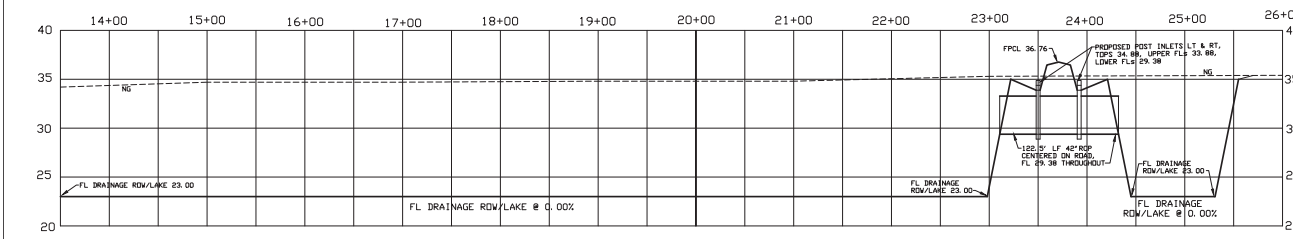
PROFILE - LATICIA DR



PROFILE - DELFINA DR



PROFILE - ZODEY LN



PROFILE - 140' DRAINAGE ROW/LAKE

RELEASED FOR CONSTRUCTION
 Bria A. Whitmore, P.E., CPEM, CPSS
 Development Services Engineer
 City of Corpus Christi
 Note: Construction Plans and copies based on the
 file location noted in UCC 212.7.

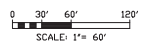
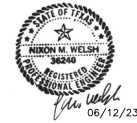
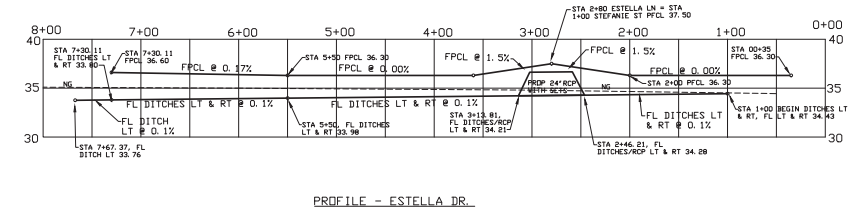
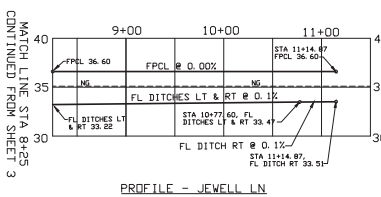
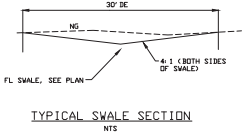
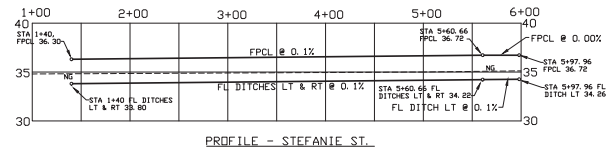
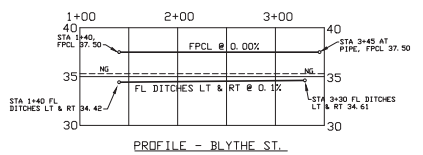
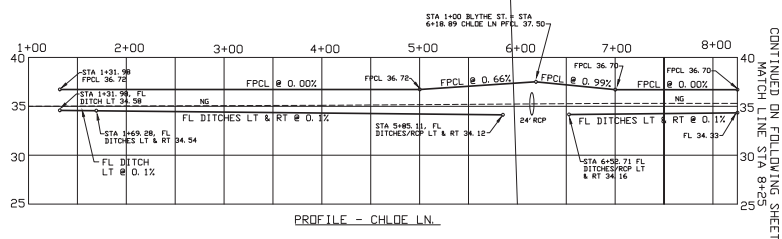
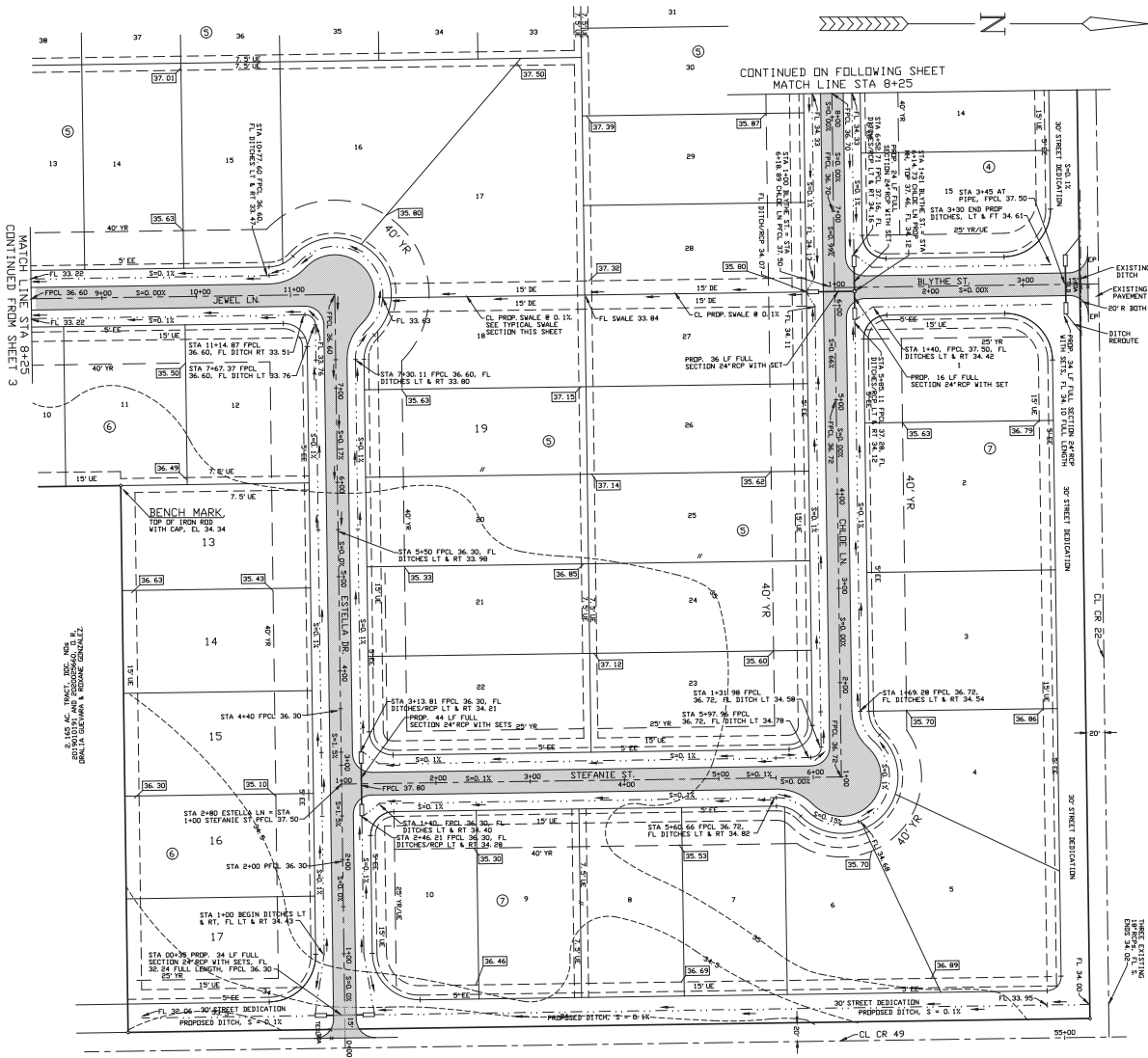


BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO.
 F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO CHARLOTTE
 ESTATES, NUECES CO., TX
 PAVING, GRADING AND DRAINAGE
 PLAN AND PROFILE

DATE PLOTTED: 06/12/23
 SHEET 4 OF 21

1" = 60'
 SCALE: 1" = 60'



RELEASED FOR CONSTRUCTION
 Brian A. Whitmore, P.E., CFM, CFM
 Development Services Engineer
 City of Corpus Christi
 Note: Construction Plans shall comply based on the conditions stated in CDC 18.6.F.

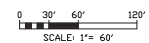
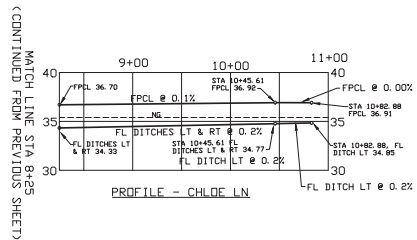
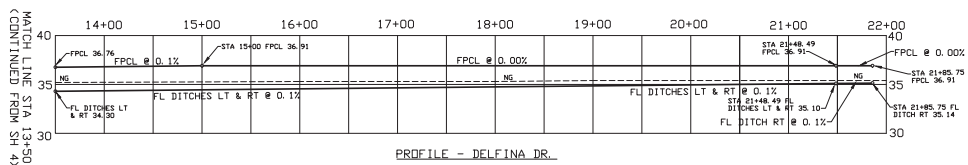
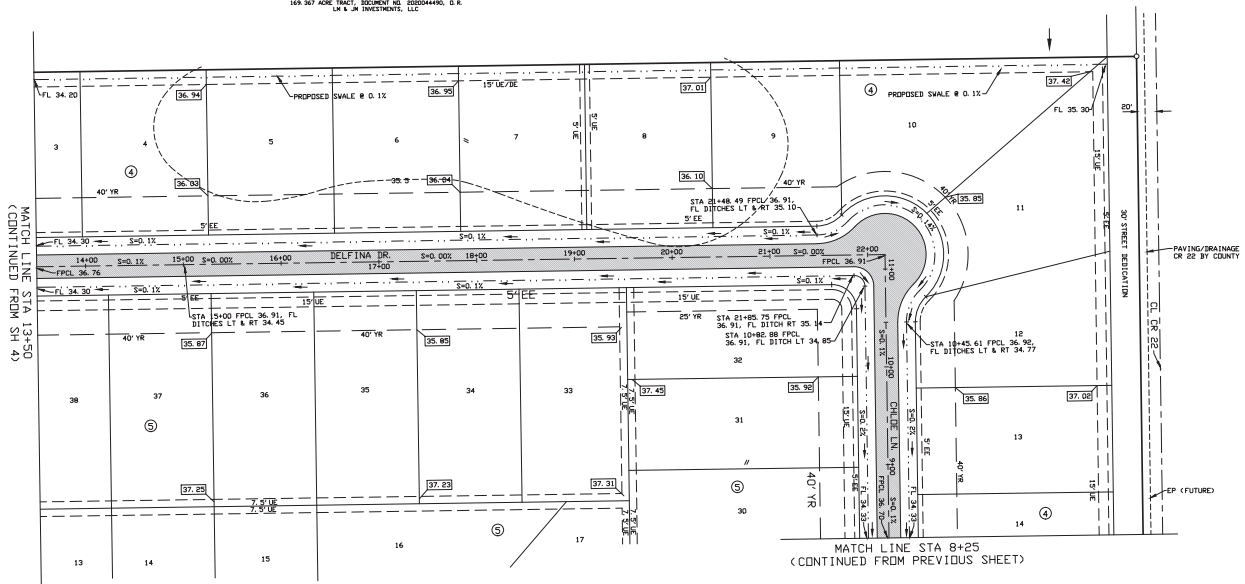
BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-62, 3024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX

PAVING, GRADING AND DRAINAGE PLAN AND PROFILE

DWN: _____ 1" = 60' COM. NO. P039 AS PFD
 SCALE (P): SAME JOB NO. 20339
 CHK: M. WELSH DATE PLOTTED: 06/12/23 SHEET 3 OF 21

PORTION NORTHEAST QUARTER, SECTION 11, LABELLES FROM TRACT 14-1, P. 13 & 14, THE ISLAND OF 4 1/4 ACRES, TRACT, DOCUMENT NO. E83004440, D.B. 14 & 24 INVESTMENTS, L.L.C.



RELEASED FOR CONSTRUCTION
 Bria A. Whitmore, P.E., CPM, CPSI
 Development Services Engineer
 City of Corpus Christi
 Note: Construction Plans and apply based on the conditions stated in UDC 2.8.6.7.

Nixon M. Welsh
 06/12/23

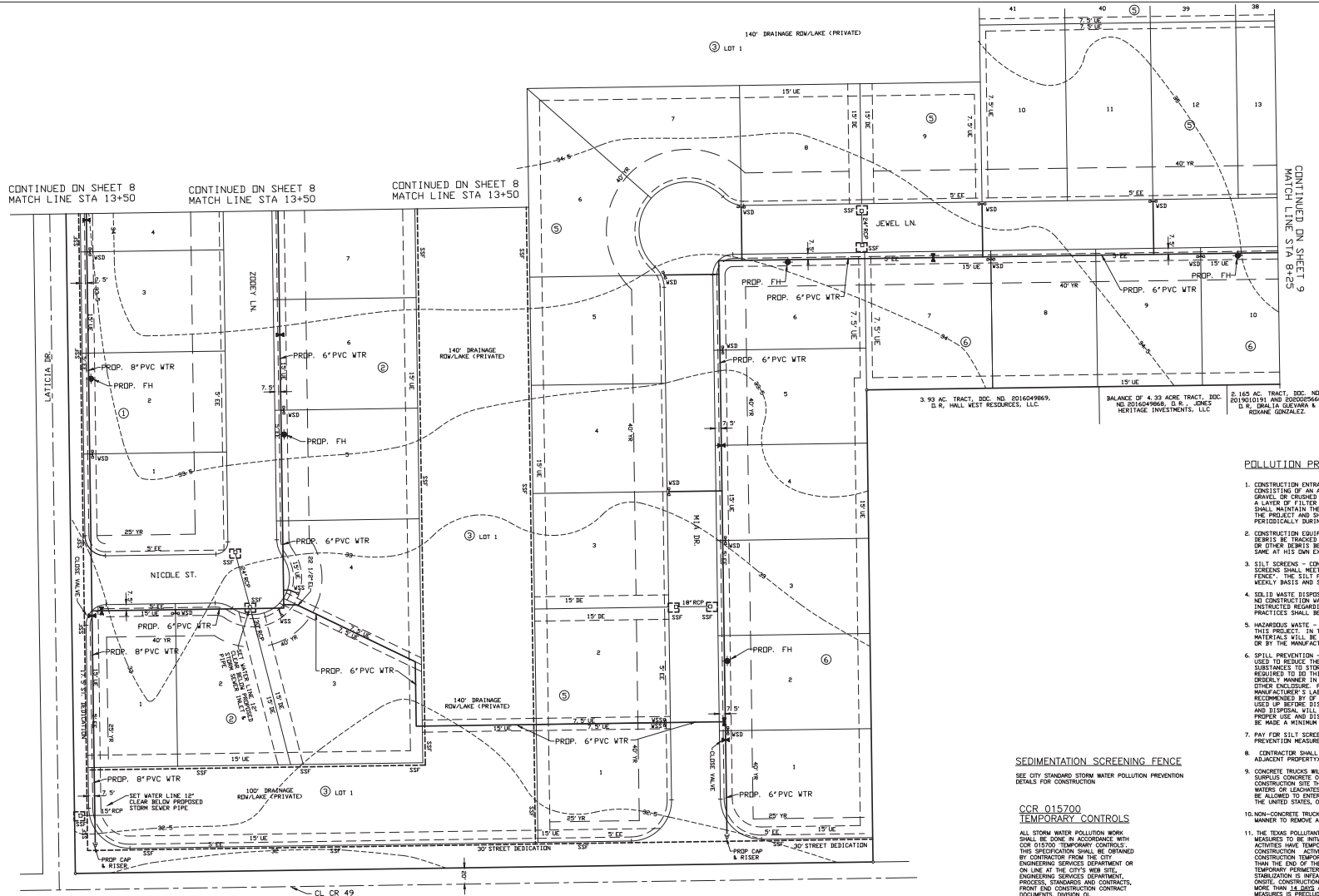
BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX			
PAVING, GRADING AND DRAINAGE PLAN AND PROFILE			
PLOT SCALE: 1" = 60' SCALE (P): SAME SCALE (D): NONE DATE PLOTTED: 06/12/23	COM. NO.: PGM AS REQ JOB NO.: 22032 SHEET 6 OF 21		

CONTINUED ON SHEET 8
MATCH LINE STA 13+50

CONTINUED ON SHEET 8
MATCH LINE STA 13+50

CONTINUED ON SHEET 8
MATCH LINE STA 13+50

CONTINUED ON SHEET 9
MATCH LINE STA 8+25



POLLUTION PREVENTION NOTES

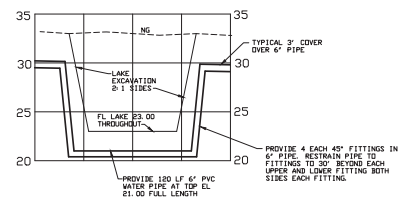
1. CONSTRUCTION ENTRANCE - CONSTRUCT A PROPOSED 8'0" X 30' CONSTRUCTION ENTRANCE CONSISTING OF AN AREA SURFACED WITH CRUSH STONE OR GRAVEL OF SIZE # 2 TO # 4. THE GRAVEL OR CRUSHED STONE SHALL BE PLACED IN A MINIMUM 6" THICK LAYER AND SHALL OVERLAY A LAYER OF FILTER FABRIC MEETING THE SAME REQUIREMENTS AS FOR SILT FENCE. CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE IN GOOD CONDITION THROUGHOUT THE DURATION OF THE PROJECT AND SHALL REMOVE MUD OR OTHER DEBRIS FROM THE CONSTRUCTION ENTRANCE PERIODICALLY DURING THE PROJECT.
2. CONSTRUCTION EQUIPMENT TRACKING - CONTRACTORS SHALL ENSURE THAT NO MUD OR ANY OTHER DEBRIS BE TRACKED ONTO ANY PAVED STREETS IN THE AREA OF THIS PROJECT. SHOULD ANY MUD OR OTHER DEBRIS BE TRACKED ONTO PAVED STREETS, CONTRACTOR SHALL IMMEDIATELY CLEANUP THE TRACKING DEBRIS.
3. SILT SCREENS - CONSTRUCT SILT SCREENS AS SHOWN IN THE PLAN. ALL SILT SCREENS SHALL MEET THE REQUIREMENTS OF CITY STANDARD SPECIFICATION GEARED "SILT FENCE". THE SILT FENCES SHALL BE INSPECTED THROUGHOUT THE CONSTRUCTION PERIOD ON A WEEKLY BASIS AND SHALL BE REPAIRED/REPLACED AS NECESSARY.
4. SOLID WASTE DISPOSAL - ALL TRASH AND DEBRIS WILL BE HAULED TO AN APPROVED LANDFILL. NO CONSTRUCTION WASTE MATERIAL WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED AT THE JOB SITE.
5. HAZARDOUS WASTE - NO HAZARDOUS WASTE IS EXPECTED TO BE GENERATED OR ENCOUNTERED IN THIS PROJECT. IN THE EVENT THAT HAZARDOUS WASTE IS ENCOUNTERED, ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.
6. SPILL PREVENTION - THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THIS JOB. ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABELS. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS REQUIREMENTS OF THE MANUFACTURER'S LABELS SO REQUIRE. PRODUCTS WILL BE USED UP BEFORE DISPOSING THE CONTAINER. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON-SITE. FUELING OF CONSTRUCTION VEHICLES SHALL BE MADE A MINIMUM OF 250' AWAY FROM ANY DRAINAGE INLET OR SCALE.
7. PAY FOR SILT SCREEN FENCES, STABILIZED CONSTRUCTION ENTRANCE AND ALL POLLUTION PREVENTION MEASURES OF ALL TYPES IN UNIT PRICE OF "STORM WATER POLLUTION PREVENTION".
8. CONTRACTOR SHALL ENSURE DUST ON THE SITE IS CONTROLLED (NOT ALLOWED TO BLOW TO ADJACENT PROPERTY) BY EMPLOYING BARRIERS DURING CONSTRUCTION.
9. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT ANYWHERE ON THE PROJECT SITE UNLESS THE SURPLUS CONCRETE OR DRAIN WASH WATER IN CONCRETE TRUCKS IS DISCHARGED AT A FACILITY ON THE CONSTRUCTION SITE THAT WILL RETAIN ALL CONCRETE WASH WATERS OR LEACHATES, INCLUDING ANY WASH WATERS OR LEACHATES MIXED WITH STORM WATER. CONCRETE WASH WATERS AND LEACHATES MAY NOT BE ALLOWED TO ENTER THE MUNICIPAL SEPARATE STORM SEWER SYSTEM, CITY STREETS, THE WATERS OF THE UNITED STATES, OR GROUND WATERS.
10. NON-CONCRETE TRUCK VEHICLES SHALL BE WASHED AT THE STABILIZED CONSTRUCTION ENTRANCE IN A MANNER TO REMOVE ALL MUD AND DEBRIS FROM THE TIRES.
11. THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) GENERAL PERMIT REQUIRES STABILIZATION MEASURES TO BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY IS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARILY CEASED MEANS CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARILY CEASED MEANS CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED BUT WILL BE REINITIATED WITHIN THE NEXT WORKING DAY, EXCEPT WHERE TEMPORARY STABILIZATION IS INFEASIBLE, BUT MORE THAN 14 DAYS AFTER INITIATION, EXCEPT WHERE THE INITIATION OF PERMANENT STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS. STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.

SEDIMENTATION SCREENING FENCE

SEE CITY STANDARD STORM WATER POLLUTION PREVENTION DETAILS FOR CONSTRUCTION

**CCR 015700
TEMPORARY CONTROLS**

ALL STORM WATER POLLUTION WORK SHALL BE DONE AS ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR CONSTRUCTION. THIS SPECIFICATION SHALL BE OBTAINED BY CONTRACTOR FROM THE CITY ENGINEERING SERVICES DEPARTMENT OR ON LINE AT THE CITY'S WEB SITE. ENGINEERING SERVICES DEPARTMENT, PROCESS STANDARDS AND CONTRACTS, FRONT END CONSTRUCTION CONTRACT DOCUMENTS, DIVISION 04.



PROFILE - WATER CROSSING OF 140" DRAINAGE ROW/LAKE BETWEEN BLOCKS 2 & 5 (ABOVE)



RELEASED FOR CONSTRUCTION

Bria A. Whitmore, P.E., CPM, CPM
Development Services Engineer
City of Corpus Christi

Note: Construction Plans will expire based on the fee conditions stated in CCR 015700.

0 30' 60' 120'

SCALE: 1" = 60'

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3004 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX

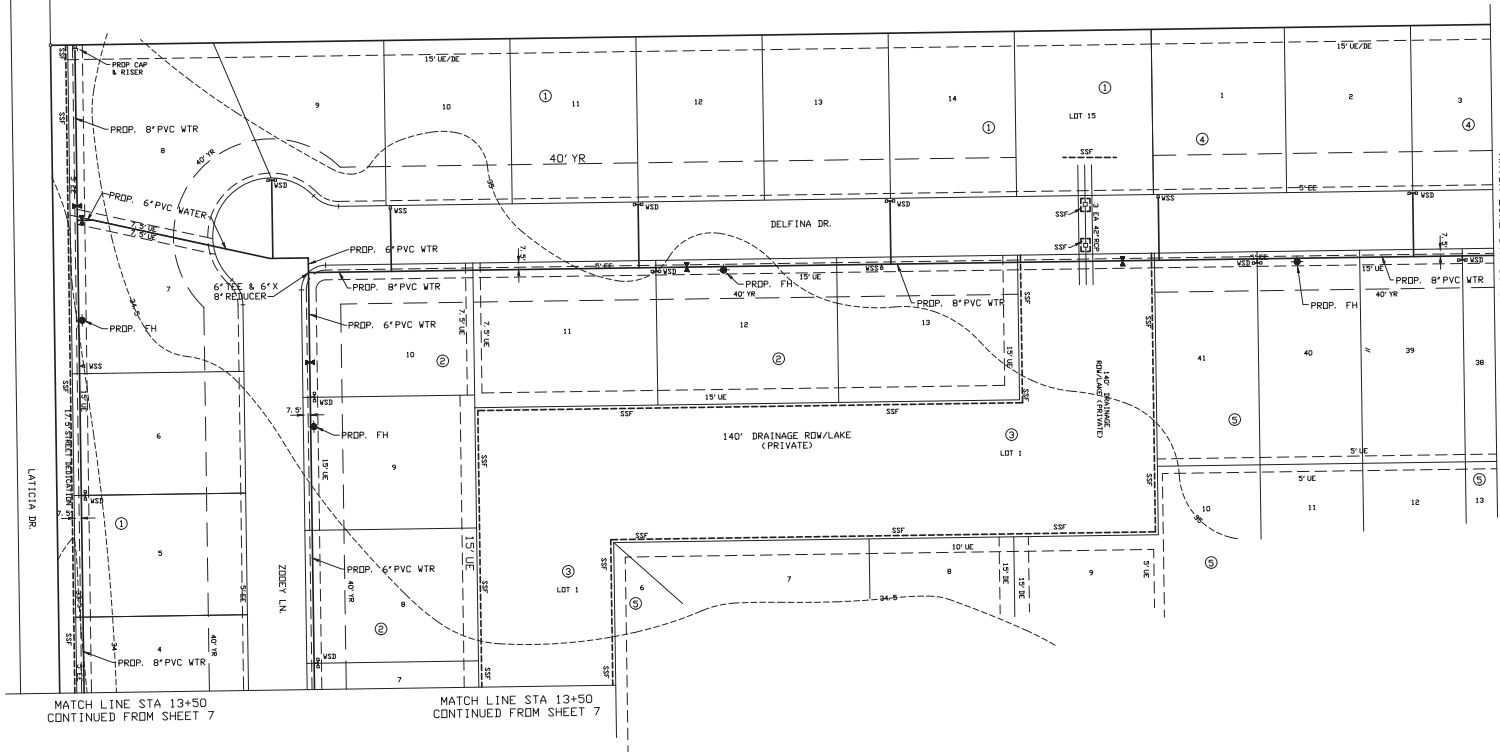
WATER PLAN, STORM WATER POLLUTION PREVENTION PLAN

DATE PLOTTED: 06/12/23 SHEET 7 OF 21

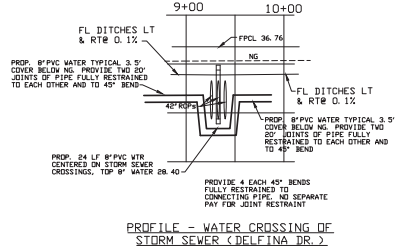
DATE PLOTTED: 06/12/23 SHEET 7 OF 21



PART OF NORTHEAST QUARTER, SECTION 11, TARRANTS
 TOWNSHIP, COUNTY OF TARRANT, STATE OF TEXAS, BEING A
 140' DRAINAGE ROW/LAKE (PRIVATE)
 L & J INVESTMENTS, LLC



CONTINUED SHEET 10
 MATCH LINE STA 13+50



PROFILE - WATER CROSSING OF
 STORM SEWER (DELFINA DR.)

MATCH LINE STA 13+50
 CONTINUED FROM SHEET 7

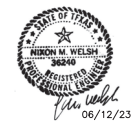
MATCH LINE STA 13+50
 CONTINUED FROM SHEET 7



BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO.
 F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO CHARLOTTE
 ESTATES, NUECES CO., TX

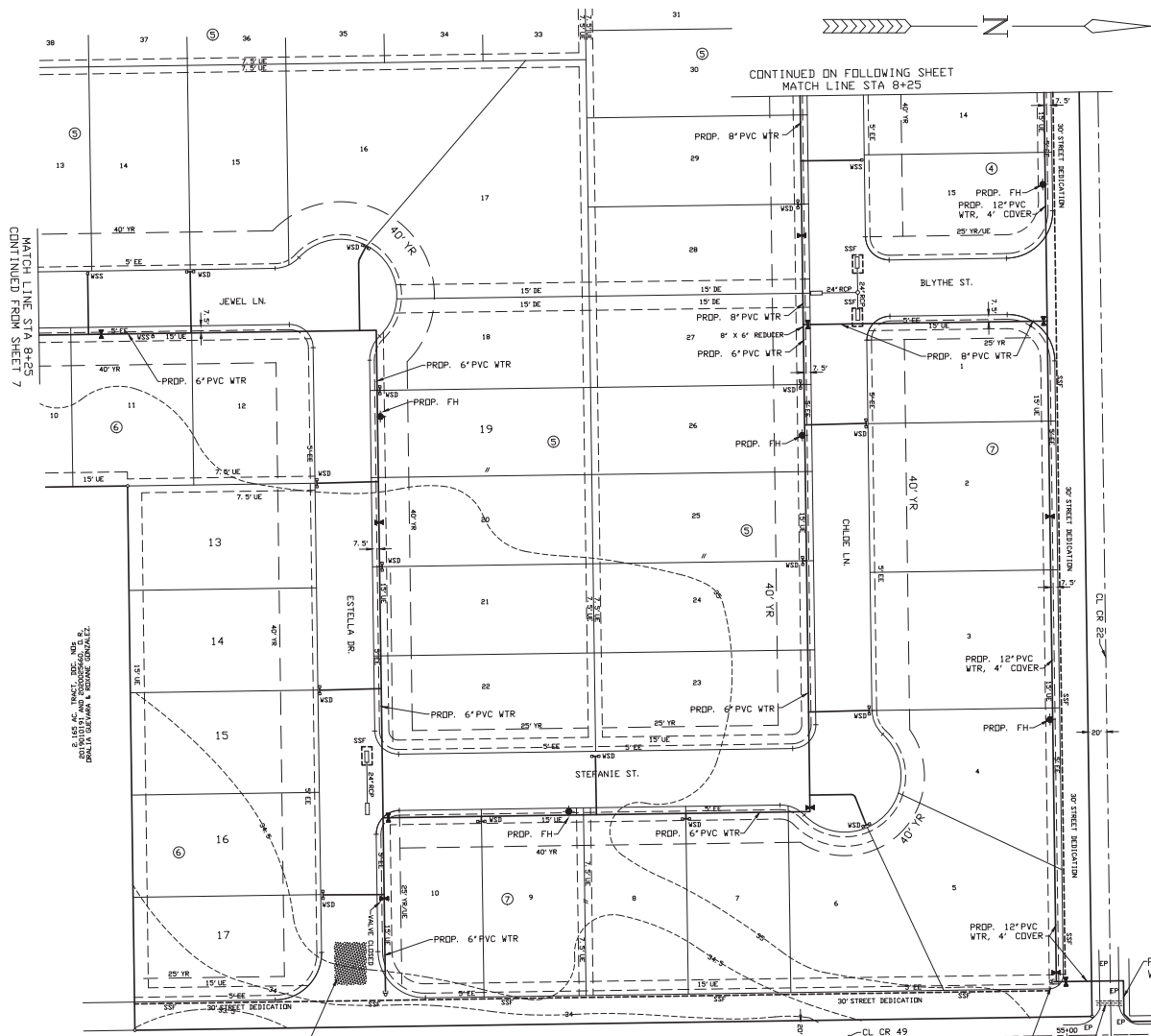
WATER PLAN, STORM WATER
 POLLUTION PREVENTION PLAN



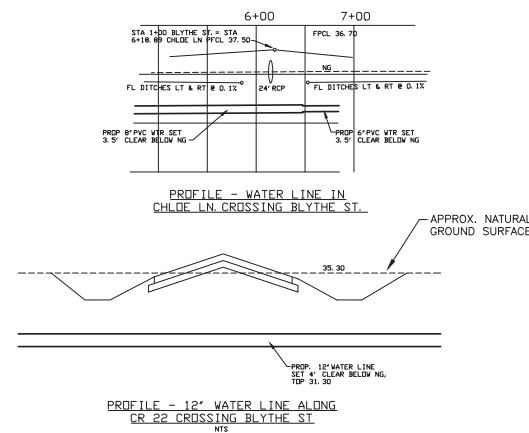
0 30' 60' 120'
 SCALE: 1" = 60'

DATE PLOTTED	06/12/23	SHEET	_B_ OF _21_
DATE	06/12/23	JOB NO.	20039
SCALE	AS SHOWN	CON. NO.	PG22 AS WTR
SCALE	AS SHOWN	DATE	06/12/23

CHK: J. WELSH



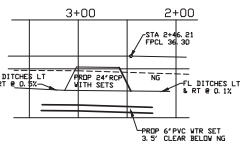
CONTINUED ON FOLLOWING SHEET
MATCH LINE STA 8+25



MATCH LINE STA 8+25
CONTINUED FROM SHEET 7

CONTINUED ON SHEET 19
MATCH LINE STA 48+00

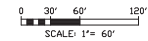
PROPOSED STABILIZED CONSTRUCTION ENTRANCE. MEET OR EXCEED CITY STANDARD STORM WATER POLLUTION PREVENTION DETAILS AS TO SIZE, DIMENSIONS AND CONSTRUCTION DETAILS AND SPECIFICATIONS



RELEASED FOR CONSTRUCTION

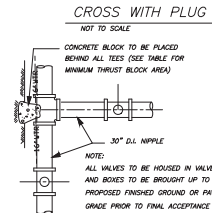
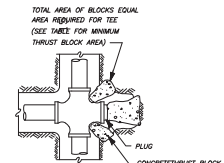
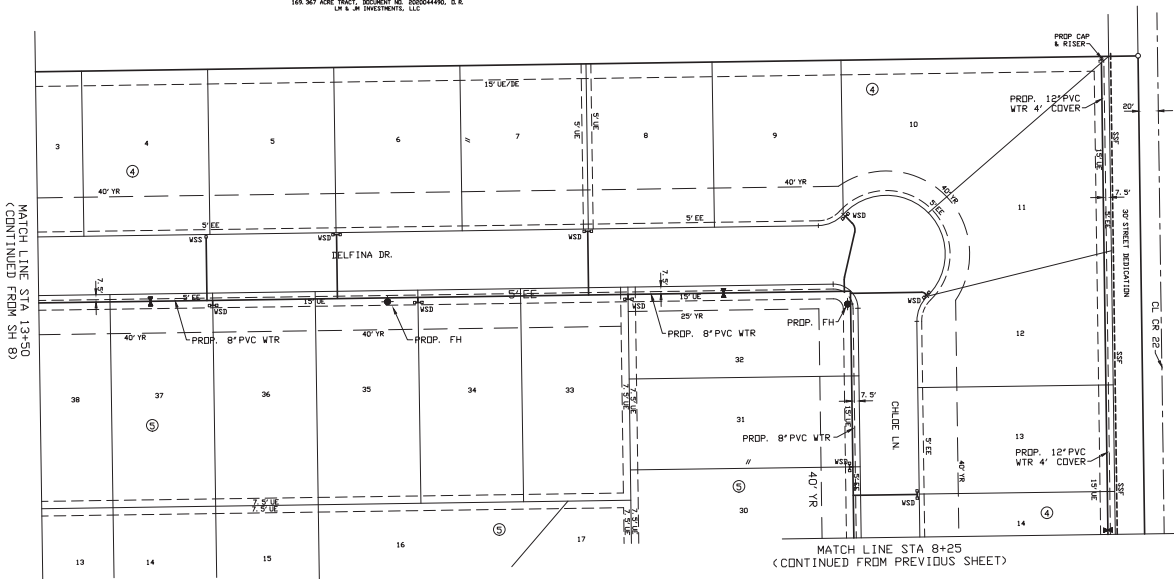
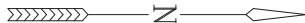
Bria A. Whitmore, P.E., CPM, CPM
Development Services Engineer
City of Corpus Christi

Note: Construction Plans will expire based on the expiration date listed in UCC 2.16.7.

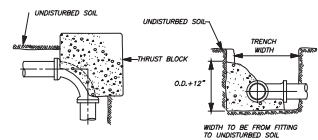


BASS & WELSH ENGINEERING TX SURVEY REG. NO 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404		
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX		
WATER PLAN, STORM WATER POLLUTION PREVENTION PLAN		
DWG. _____	PLAT SCALE: 1" = 60'	COM. NO. P033 AS VTR
CHK. -N. WELSH	SCALE (D): SAME	JOB NO. 20039
	SCALE (S): NONE	DATE PLOTTED 06/12/23
		SHEET 2 OF 21

PORTION NORTHEAST QUARTER, SECTION 11, LABELLED FROM TRACTS 1, 2, 6, 13, 6, 8, THE BALANCE OF A 160.367 ACRES TRACT, DOCUMENT NO. 00004490, 0 & 8, L.P. INVESTMENTS, L.L.C.



TYPICAL PLAN OF VALVE & THRUST BLOCK LOCATIONS
NOT TO SCALE



CONCRETE SUPPORT BEHIND FITTING
NOT TO SCALE

PIPE SIZE	MINIMUM THRUST BLOCK AREA REQUIRED			
	TEES & PLUGS	90° BEND	45° BEND	22.5° BEND
6"	3 SQ. FT.	4 SQ. FT.	2 SQ. FT.	1 SQ. FT.
8"	5 SQ. FT.	6 SQ. FT.	3 SQ. FT.	1 SQ. FT.
10"	6 SQ. FT.	8 SQ. FT.	5 SQ. FT.	2 SQ. FT.
12"	8 SQ. FT.	12 SQ. FT.	6 SQ. FT.	3 SQ. FT.
16"	15 SQ. FT.	21 SQ. FT.	12 SQ. FT.	6 SQ. FT.
18"	19 SQ. FT.	27 SQ. FT.	15 SQ. FT.	7 SQ. FT.
20"	24 SQ. FT.	33 SQ. FT.	18 SQ. FT.	9 SQ. FT.
24"	34 SQ. FT.	48 SQ. FT.	26 SQ. FT.	13 SQ. FT.

- NOTES:
- THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED SOIL.
 - WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE ALL LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED SOIL.
 - ON TEES AND BENDS, EXTEND THRUST BLOCK FULL LENGTH.
 - NO CONCRETE SHALL BE POURED OVER BOLTS OR ON TOP OF FITTINGS.
 - BACKFILL SHALL CONSIST ENTIRELY OF CLEAN SOIL, FREE OF ROCK FRAGMENTS. ANY MUCK ENCOUNTERED SHALL BE REPLACED WITH ACCEPTABLE BACKFILL.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 - NO SEPARATE PAYMENT.

CONCRETE THRUST BLOCK DETAILS FOR WATER LINES

ESTIMATE SUMMARY

STREET AND SURFACE ITEMS		
ITEM DESCRIPTION	QUANTITY	UNIT
1 2" HIAC	24370	SY
2 8" CRUSHED LIMESTONE BASE	26250	SY
3 8" LIME STABILIZED SUBGRADE	28144	SY
4 STREET SIGNS	12	EA
5 EXCAVATION (EARTHWORK) FOR LOTS, STREETS, & ROAD SIDE DITCHES	1	LS
6 CLEARING & GRUBBING	80	AC

STORM SEWER ITEMS		
ITEM DESCRIPTION	QUANTITY	UNIT
1 15" RCP	36	LF
2 18" RCP	62	LF
3 21" RCP	188	LF
4 24" RCP	252	LF
5 30" RCP	213	LF
6 36" RCP	172	LF
7 42" RCP	359	LF
8 POST INLET	11	EA
9 SET FOR 24" RCP	11	EA
10 MANHOLE	1	EA
11 CHANNEL EXCAVATION IN DRAINAGE ROW/LAKES (LOT 1, BLK. 3 & LOT 15, BLK. 1)	89284	CY

NOTE: PAY FOR HSRP AS LF OF SAME SIZE RCP

WATER ITEMS		
ITEM DESCRIPTION	QUANTITY	UNIT
1 8" PVC PIPE	4330	LF
2 8" EL. ANY ANGLE	5	EA
3 8" TEE	9	EA
4 8" GATE VALVE W/BOX	9	EA
5 8" CAP TAPPED FOR 2"	2	EA
6 8" x 6" REDUCER	2	EA
7 FIRE HYDRANT ASSEMBLY	14	EA
8 6" PVC PIPE	2477	LF
9 6" DIA X 30" PVC PIPE NIPPLE	42	EA
10 6" CAP TAPPED FOR 2"	3	EA
11 6" EL. ANY ANGLE	28	EA
12 6" GATE VALVE W/BOX	27	EA
13 6" TEE	12	EA
14 DOUBLE OR SINGLE WATER SERVICE	60	EA

NO SEPARATE PAY FOR WATER RESTRAINT DEVICES

12" CRD MAIN WATER ITEMS REIMBURSABLE BY CITY		
ITEM DESCRIPTION	QUANTITY	UNIT
1 12" PVC PIPE	6914	LF
2 12" CAP TAPPED FOR 2"	2	EA
3 12" GATE VALVE W/BOX	13	EA
4 12" TEE	4	EA
5 FIRE HYDRANT ASSEMBLY	2	EA
6 12" EL. ANY ANGLE	8	EA
7 16" TAPPING SADDLE	1	EA
8 20" DIA STEEL CASING PIPE BORED IN PLACE, NO OPEN CUT	123	LF
9 8" GATE VALVE W/BOX	1	EA
10 6" x 30" PVC PIPE NIPPLE	6	EA
11 6" 90° EL.	2	EA
12 6" GATE VALVE W/BOX	2	EA
13 PATCH CALICHE OR ASPHALT DRIVE	1	LS
14 ADJUST SETS	1	LS

MISCELLANEOUS ITEMS		
ITEM DESCRIPTION	QUANTITY	UNIT
1 TRAFFIC CONTROL AND BARRICADING PLAN AND PERMITTING (TRAFFIC CONTROL DURING CONSTRUCTION)	1	LS
3 4" PVC CONDUIT FOR AEP	600	LF
4 STORM WATER POLLUTION PREVENTION	1	LS
5 TRENCH SAFETY FOR EXCAVATIONS (STORM SEWER PIPES OF ALL SIZES)	1260	LF



RELEASED FOR CONSTRUCTION

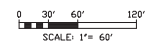
Brian A. Whitmore, P.E., CPE, CPEM
Development Services Engineer
City of Corpus Christi
This Construction Permit will expire based on the conditions stated in USC 83.87.

06/12/23

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 10027-00, TX ENGINEERING REG. NO. F-52, 3024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX

WATER PLAN, STORM WATER POLLUTION PREVENTION PLAN, CONCRETE THRUST BLOCK DETAILS AND ESTIMATE SUMMARY



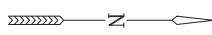
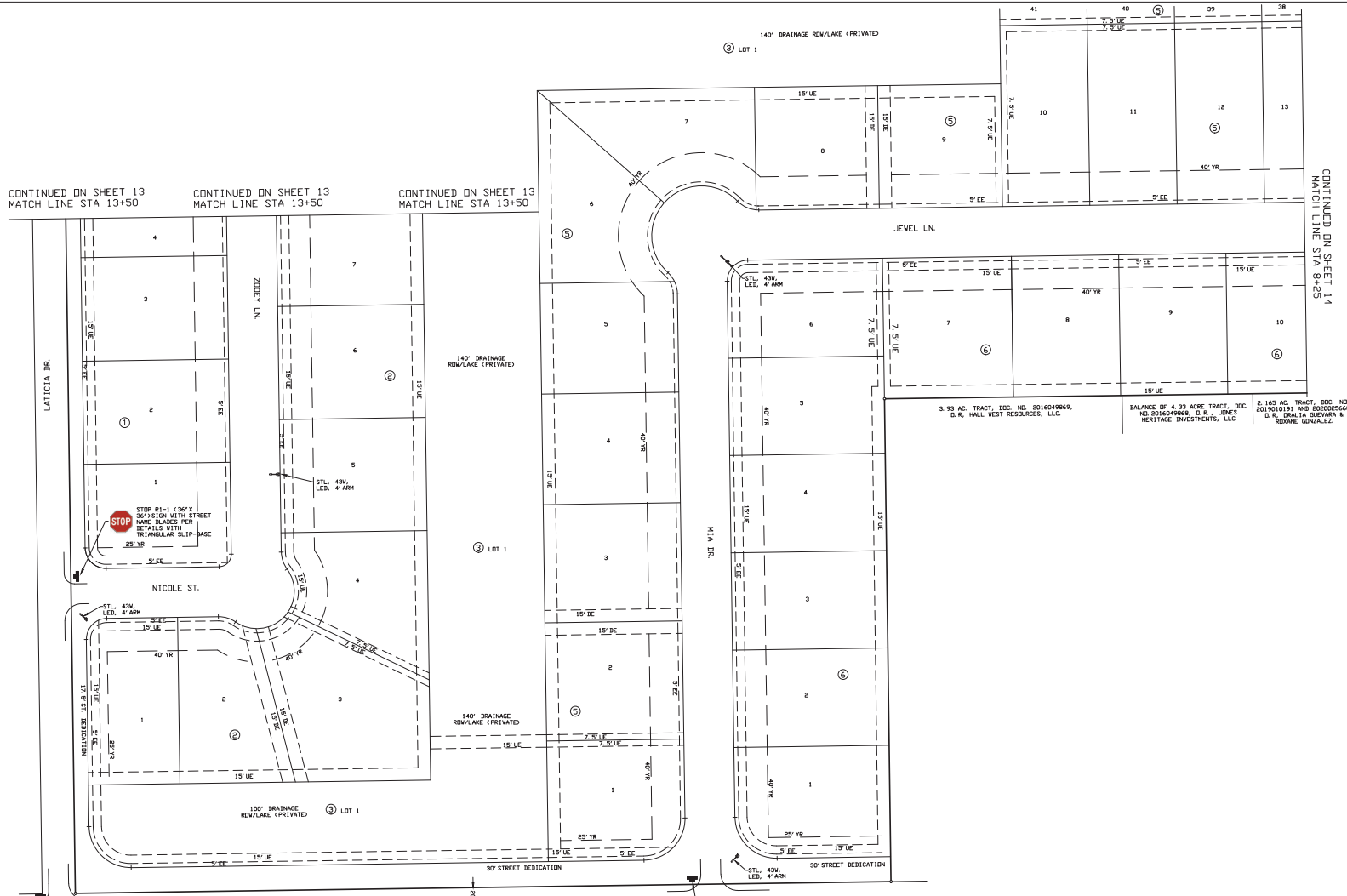
DATE PLOTTED: 06/12/23
SHEET 10 OF 21

CONTINUED ON SHEET 13
MATCH LINE STA 13+50

CONTINUED ON SHEET 13
MATCH LINE STA 13+50

CONTINUED ON SHEET 13
MATCH LINE STA 13+50

CONTINUED ON SHEET 14
MATCH LINE STA 8+25



3.93 AC. TRACT, DOC. NO. 2016049869,
D.R. HILL WEST RESOURCES, LLC

BALANCE OF 4.33 ACRE TRACT, DOC.
NO. 2016049869, D.R. HILL WEST
HERITAGE INVESTMENTS, LLC

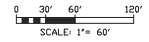
0.165 AC. TRACT, DOC. NO. 2016049869,
D.R. HILL WEST RESOURCES, LLC

0.165 AC. TRACT, DOC. NO. 2016049869,
D.R. HILL WEST RESOURCES, LLC

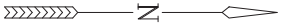
STOP
STOP R1-1 (36" X 36") SIGN WITH STREET NAME PLATES PER DETAILS WITH TRIANGULAR SLIP-BASE
40' YR

STOP
STOP R1-1 (36" X 36") SIGN WITH STREET NAME PLATES PER DETAILS WITH TRIANGULAR SLIP-BASE

STOP
STOP R1-1 (36" X 36") SIGN WITH STREET NAME PLATES PER DETAILS WITH TRIANGULAR SLIP-BASE
40' YR

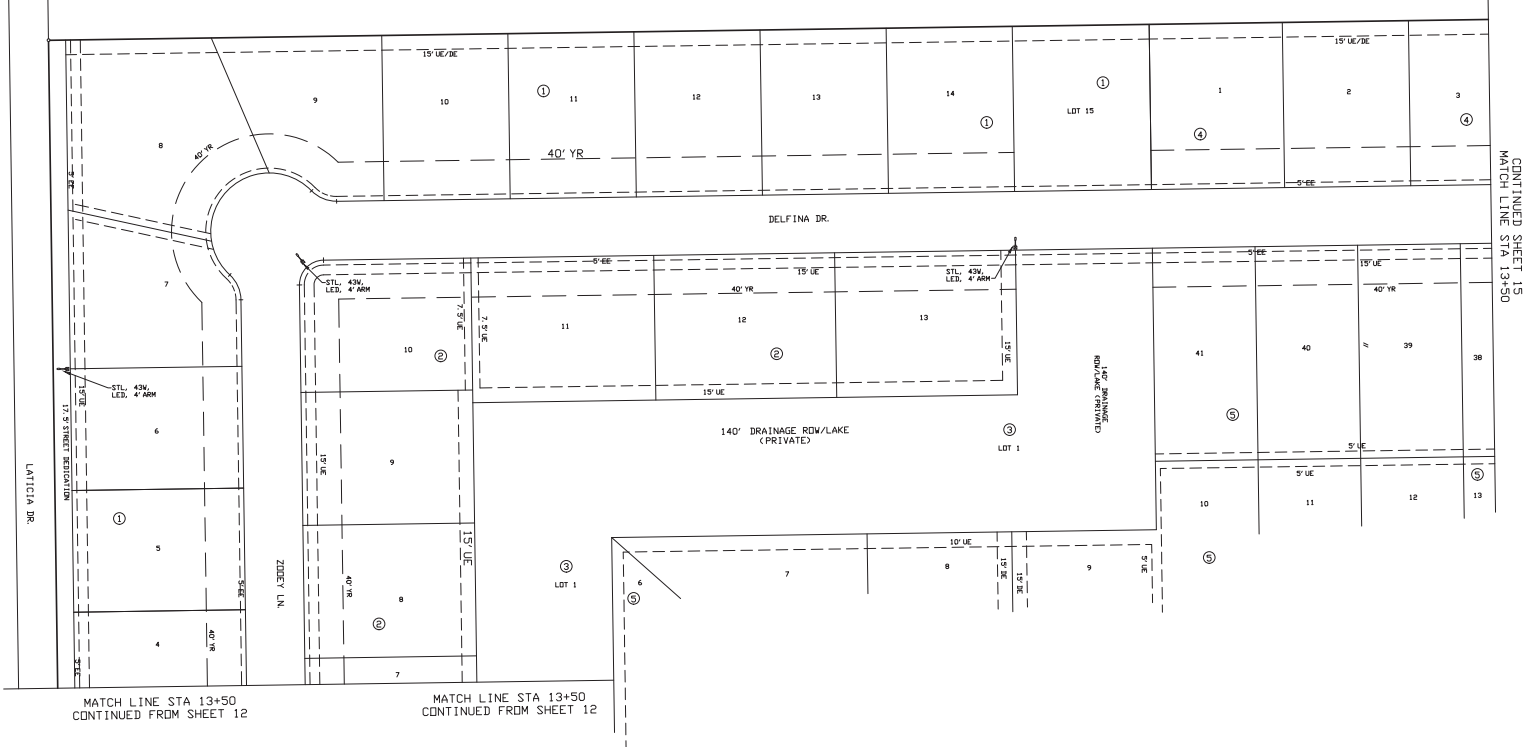


BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-02, 3024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX			
SIGNAGE AND LIGHTING PLAN			
DWL	PLT SCALE: 1" = 60'	COM. NO. PG21 AS BLL	
CHK: N. WELSH	SCALE (P): SAME	JOB NO. 22039	
	SCALE (L): NONE	DATE PLOTTED: 06/12/23	SHEET 11 OF 21



PORTION NORTHEAST QUARTER, SECTION 11, TAMPARELLS
 LEWIS TRACT, T.12S, R.13E, S.18R, CO. 3, BRASSARD, D. &
 LN & JM INVESTMENTS, L.L.C.

140' DRAINAGE
 ROW/LAKE
 (PRIVATE)



CONTINUED SHEET 15
 MATCH LINE STA 13+50

MATCH LINE STA 13+50
 CONTINUED FROM SHEET 12

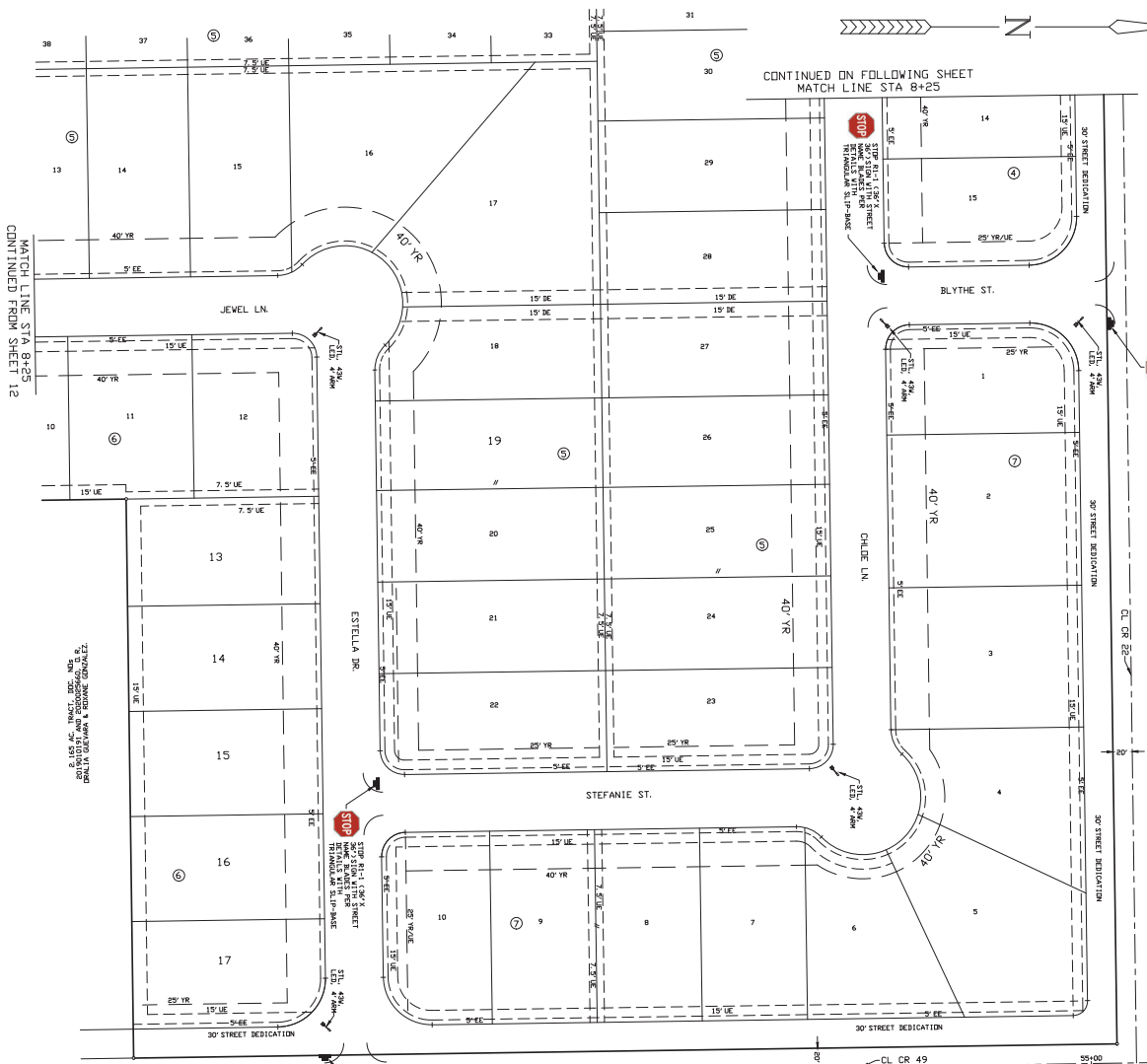
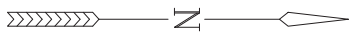
MATCH LINE STA 13+50
 CONTINUED FROM SHEET 12



0 30' 60' 120'
 SCALE: 1" = 60'

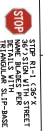
BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CD., TX			
SIGNAGE AND LIGHTING PLAN			
DWG: _____	RUPF SCALE: 1" = 60'	DOM. NO.: PG22 AS TALL	JOB NO.: 20039
CHK: N. WELSH	SCALE 00: SAME	DATE PLOTTED: 06/12/23	SHEET 12 OF 21

CONTINUED ON FOLLOWING SHEET
MATCH LINE STA 8+25



MATCH LINE STA 8+25
CONTINUED FROM SHEET 12

D. HAS AC. PAVEMENT AND 200' WIDE SIDEWALKS TO BE PROVIDED AT AND ADJACENT TO ALL LOTS TO BE DEVELOPED AS RESIDENTIAL LOTS.



STOP R1-1 4'36" X
36" SIGN WITH STREET
NAME BLADES PER
DETAILS WITH
TRIANGULAR SLIP-BASE

STOP R1-1 4'36" X
36" SIGN WITH STREET
NAME BLADES PER
DETAILS WITH
TRIANGULAR SLIP-BASE

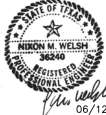
STOP R1-1 4'36" X
36" SIGN WITH STREET
NAME BLADES PER
DETAILS WITH
TRIANGULAR SLIP-BASE

STOP R1-1 4'36" X
36" SIGN WITH STREET
NAME BLADES PER
DETAILS WITH
TRIANGULAR SLIP-BASE

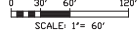
STOP R1-1 4'36" X
36" SIGN WITH STREET
NAME BLADES PER
DETAILS WITH
TRIANGULAR SLIP-BASE

STOP R1-1 4'36" X
36" SIGN WITH STREET
NAME BLADES PER
DETAILS WITH
TRIANGULAR SLIP-BASE

STOP R1-1 4'36" X
36" SIGN WITH STREET
NAME BLADES PER
DETAILS WITH
TRIANGULAR SLIP-BASE

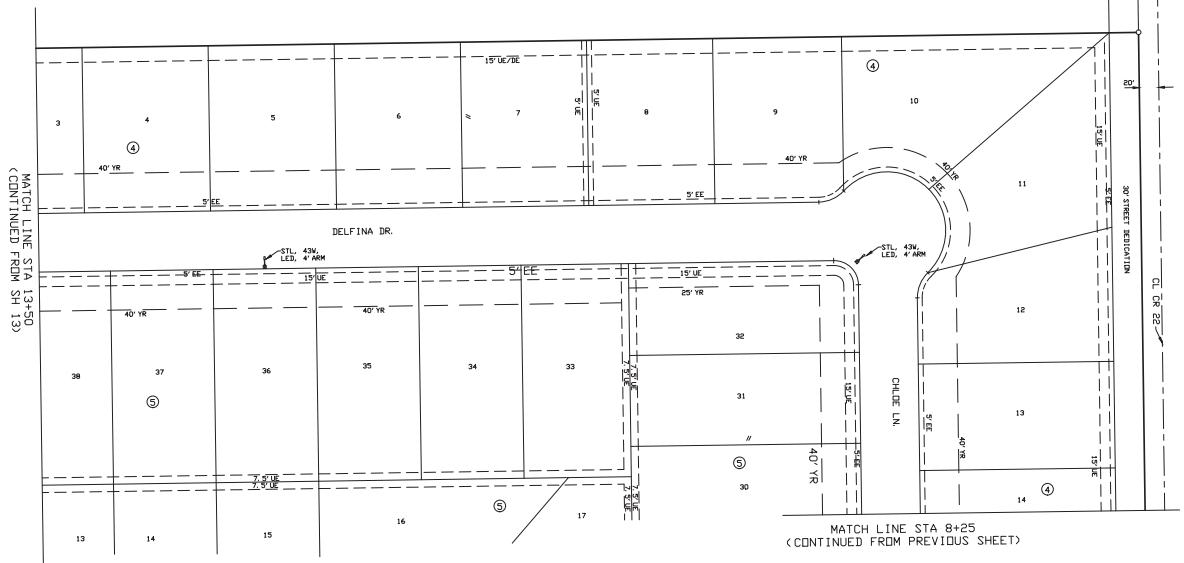


06/12/23



BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX			
SIGNAGE AND LIGHTING PLAN			
DWL: _____	PLAT SCALE: 1" = 60'	COM. NO. _____	POSS AS SAL _____
CHK: _____	SCALE (D): NONE	JOB NO. 20039	
	DATE PLOTTED 06/12/23	SHEET 13 OF 21	

PORTION NORTHEAST QUARTER, SECTION 11, LAURELES
 FROM TRACTS 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



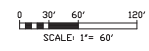
MATCH LINE STA 13+50
(CONTINUED FROM SH 13)

MATCH LINE STA 8+25
(CONTINUED FROM PREVIOUS SHEET)

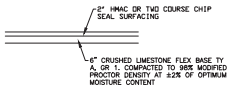
RELEASED FOR CONSTRUCTION

Brian A. Whitmore, P.E., CPEM, CPEH
 Development Services Engineer
 City of Corpus Christi
Note: Construction shall not proceed based on this release unless all conditions stated in USC 2.02.0.7.

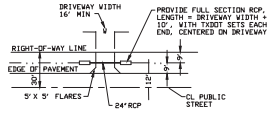
Brian A. Whitmore
 06/12/23



BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX			
SIGNAGE AND LIGHTING PLAN			
DWG. _____ CHK. <u>N. WELSH</u>	PLOT SCALE: 1" = 60' SCALE (P): SAME SCALE (D): NONE DATE PLOTTED: 06/12/23	COM. NO. _____ JOB NO. 20039 SHEET 14 OF 21	PGM AS SHL 20039

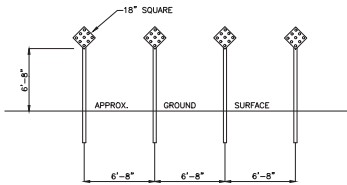


TYPICAL DRIVEWAY CROSS SECTION
NTS

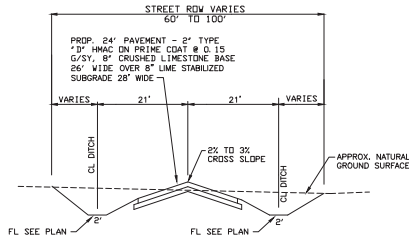


NOTES:
1. CONSTRUCT DRIVEWAY 6" THICK CRUSHED LIMESTONE BASE AND 2" HMAAC OR TWO COURSE CHIP SEAL SURFACING.
2. NO DRIVEWAYS ARE TO BE CONSTRUCTED THIS PROJECT.

PLAN - DRIVEWAY DETAIL
NTS



DETAIL - END OF ROAD BARRICADE INSTALLATION (TYPE OM - 4-2 OBJECT MARKERS)
NTS



GRADE BOTH SIDE SLOPES OF ROADSIDE DITCHES AT 4:1 (4 HORIZONTAL TO 1 VERTICAL) TO MEET NATURAL GROUND AND EDGE OF PAVEMENT (TYP. BOTH SIDES OF STREET)

TYPICAL STREET SECTION
NTS

- 8" CRUSHED LIMESTONE BASE TO MEET REQUIREMENTS OF TYPOT BY A OR 1 SPECIFICATIONS. COMPACT TO 95% MODIFIED PROCTOR DENSITY AT A MOISTURE CONTENT +/- 2% OF OPTIMUM MOISTURE.
- 8" LIME STABILIZED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY WITHIN +/- TWO PERCENTAGE POINTS OF OPTIMUM MOISTURE. LIME SHALL BE APPLIED AT THE RATE OF 34 LB/SY (TO BE VERIFIED THROUGH GEOTECHNICAL TESTING).
- TENSAR GEO GRID - TENSAR GEO GRID TX-5 (OR APPROVED EQUAL) MAY BE USED IN LIEU OF 8" LIME STABILIZED SUBGRADE IF THE SOIL PI IS LESS THAN 20 AND WITH CITY APPROVAL. IF USED, PLACE GEO GRID TO LIMITS OF CRUSHED LIMESTONE BASE AND CONSTRUCT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. CRUSHED LIMESTONE BASE SHALL OVERLAY GEO GRID.

HYDROLOGY PARAMETERS - DEVELOPED

- 5 YR 80 AC X 0.4 X 2.15 = 68.8 CFS
- 25 YR 80 AC X 0.4 X 3.67 = 117.4 CFS
- 100 YR 80 AC X 0.4 X 4.48 = 143.4 CFS

HYDROLOGY PARAMETERS - UNDEVELOPED

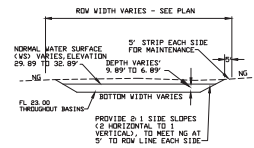
- 5 YR 80 AC X 0.2 X 2.15 = 34.4 CFS
- 25 YR 80 AC X 0.2 X 3.67 = 58.7 CFS
- 100 YR 80 AC X 0.2 X 4.48 = 71.7 CFS

PROJECT DESCRIPTION

LAND USE - VACANT UNDEVELOPED
LAND USE - SINGLE FAMILY RESIDENTIAL DEVELOPED MIN 0.5 AC/LOT

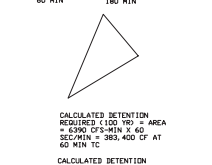
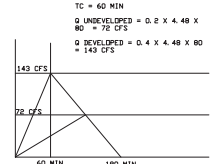
BASIS OF HYDRAULIC DESIGN

CITY DESIGN CRITERIA MANUAL



TYPICAL DETENTION BASIN/LAKE SECTION
NTS

- SWQMP NOTES
- PROJECT DESCRIPTION - DEVELOP SINGLE FAMILY LOTS. MINIMUM 0.5 ACRES IN SIZE.
 - ESTIMATED "C" VALUE FOR UNDEVELOPED CONDITIONS = 0.4
 - ESTIMATED "C" VALUE FOR DEVELOPED CONDITIONS = 0.4
 - A TCD COMPLIANT STORM WATER POLLUTION PREVENTION PLAN WILL BE PROVIDED TO THE CITY PRIOR TO ANY CONSTRUCTION ACTIVATES.
 - ODD CREEK IS RECEIVING WATER.



CALCULATED DETENTION REQUIRED FOR 100 YR AREA = 6390 CFS-MIN X 60 SEC-MIN = 383,400 CF AT 60 MIN TC
CALCULATED DETENTION FURNISHED = 795,380 CF = 80% OF DETENTION REQUIRED

DRAINAGE DETENTION DATA AS APPROVED WITH PRELIMINARY PLAN

PLUT SCALE: 1" = 60'
SCALE (H): AS SHOWN
SCALE (V): AS SHOWN
DATE PLOTTED: 06/12/23

COM. NO.: STR-DET
JOB NO.: 25032
SHEET 15 OF 21

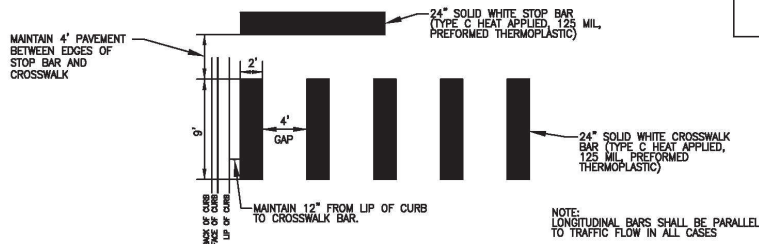
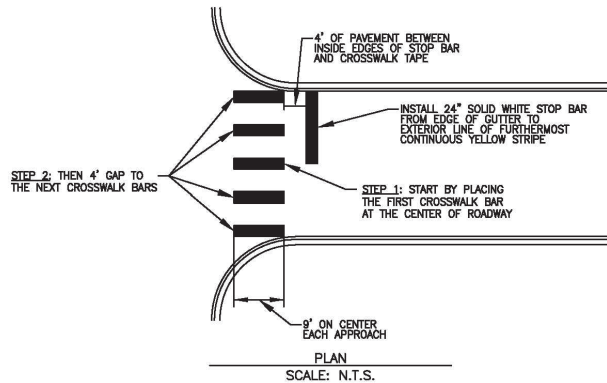


BASS AND WELSH ENGINEERING
TX REGISTRATION NO. F-52, 3004 S. ALAMEDA STREET
CORPUS CHRISTI, TEXAS 78404

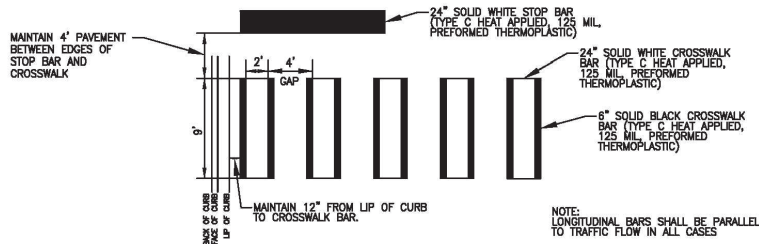
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES
NUCCES CO., TX

STREET AND DRAINAGE DETAILS AND
STORM WATER DRAINAGE DETAIL

CROSSWALK PAVEMENT MARKINGS

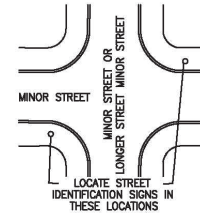
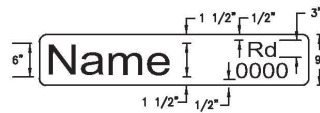


LONGITUDINAL CROSSWALK — DETAIL FOR ASPHALT ROADWAYS — SCALE: N.T.S.



HIGH CONTRAST CROSSWALK — DETAIL FOR CONCRETE ROADWAYS — SCALE: N.T.S.

STREET NAME BLADE SIGN



NOTES:

- STREET NAME BLADE MATERIAL SHALL CONSIST OF EXTRUDED ALUMINUM. THE HEIGHT OF NAME BLADES SHALL BE 3" AND THE HEIGHT OF LETTERING SHALL BE 6". STREET NAME LEGENDS SHALL CONSIST OF INITIAL CASE FONT ON STREET NAME BLADES SHALL BE SERIES B. WHEN TWO STREET NAME BLADES WILL BE ON THE SAME ASSEMBLY, THESE TWO STREET NAME BLADES SHALL HAVE THE SAME WIDTH.
- ANTI-GRAFFITI COATING ON FRONT OF THE SIGN PLAQUE IS APPLICABLE TO ALL SIGNS EXCEPT FOR NAME BLADES.
- REPLACEMENT OF SIGNS SHALL MEET 2011 TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), AND TxDOT STANDARDS.

NOTES:

- ALL STOP BAR AND CROSSWALK PAVEMENT MARKINGS SHALL BE 24" SOLID WHITE, TYPE C HEAT APPLIED, 125 MIL. PREFORMED THERMOPLASTIC. HIGH CONTRAST CROSSWALK INCLUDES 24" SOLID WHITE WITH 6" SOLID BLACK ON BOTH SIDES (TYPE C HEAT AP HEAT APPLIED, 125 MIL. PREFORMED THERMOPLASTIC).
- CONTRACTOR SHALL PREMARK STRIPING LAYOUT FOR CITY APPROVAL PRIOR TO THE PLACEMENT OF ANY FINAL PAVEMENT MARKINGS.
- THE PLACEMENT OF CROSSWALK BARS SHALL START BY PLACING THE FIRST CROSSWALK BAR AT THE CENTER OF THE ROADWAY, AND THEN 4' TO THE NEXT CROSSWALK BARS.
- DO NOT STRIPE STREET WITH ROADWAY SURFACE TEMPERATURE LESS 55°F.
- ALL CROSSWALK AND STOP BARS SHALL BE IN ACCORDANCE WITH THIS DETAIL AND THE 2011 TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD).

CONSULTANT'S SHEET NO.	
APPROVED: CITY TRAFFIC ENGINEER	DATE:
DESIGNED BY: _____	SCALE: _____
CHECKED BY: _____	SCALE: _____
REVISION NO. _____	DATE: _____
 CITY OF CORPUS CHRISTI TEXAS Department of Public Works Traffic Engineering Division	
DESCRIPTION	CITY PROJECT #
CITY STANDARD SHEET	
CROSSWALK PAVEMENT MARKINGS AND STREET NAME BLADE SIGN DETAILS	
DESIGN NO.	DATE
SHEET 1 of 1	
RECORD DRAWING NO.	



BASS AND WELSH ENGINEERING TX REGISTRATION NO. 17-52, 3054 S. ALAMEDA STREET CORPUS CHRISTI, TEXAS 78404		
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES NUECES CO., TX		
CITY CROSSWALK, PAVEMENT MARKINGS AND STREET NAME BLADE SIGN DETAILS		
DN:	PLT SCALE: 1" = 80'	COM. NO. 16 CITY CROSSWALK
CH: N. WELSH	SCALE D/S: AS SHOWN	JOB NO. 2023P
	SCALE V/S: AS SHOWN	
	DATE PLOTTED: 06/12/23	SHEET 15 OF 21

TRIANGULAR SLIPBASE INSTALLATION GENERAL REQUIREMENTS

NOTE

There are various devices approved for the Triangular Slipbase System. Please reference the Material Producer List for approved slip base systems. http://www.txdot.gov/business/producer_list.htm The devices shall be installed per manufacturers' recommendations. Installation procedures shall be provided to the Engineer by Contractor.

GENERAL NOTES:

- Slip base shall be permanently marked to indicate manufacturer, method, design, and location of marking are subject to approval of the TxDOT Traffic Standards Engineer.
- Material used as post with this system shall conform to the following specifications:
 - 10 BNC Tubing (2.875" outside diameter)
 - 0.134" nominal wall thickness
 - Seamless or electric-resistance welded steel tubing or pipe
 - Steel shall be HSLAS Gr 55 per ASTM A1011 or ASTM A1008
 - Other steels may be used if they meet the following:
 - 55,000 PSI minimum yield strength
 - 70,000 PSI minimum tensile strength
 - 20% minimum elongation in 2"
 - Wall thickness (uncoated) shall be within the range of 0.122" to 0.138"
 - Outside diameter (uncoated) shall be within the range of 2.867" to 2.883"
 - Galvanization per ASTM A123 or ASTM A653 Q210. For pre-coated steel tubing (ASTM A653), recast tube outside diameter weld seam by retinning with zinc wire per ASTM B833.
- Schedule 80 Pipe (2.875" outside diameter)
 - 0.276" nominal wall thickness
 - Steel tubing per ASTM A550 or C
 - Other seamless or electric-resistance welded steel tubing or pipe with equivalent outside diameter and wall thickness may be used if they meet the following:
 - 46,000 PSI minimum yield strength
 - 62,000 PSI minimum tensile strength
 - 21% minimum elongation in 2"
 - Wall thickness (uncoated) shall be within the range of 0.248" to 0.304"
 - Outside diameter (uncoated) shall be within the range of 2.855" to 2.895"
 - Galvanization per ASTM A123
- See the Traffic Operations Division website for detailed drawings of sign clips and Texas Universal Triangular Slipbase System components. The website address is: <http://www.txdot.gov/publications/traffic.htm>
- Sign supports shall not be spliced except where shown. Sign support posts shall not be applied.

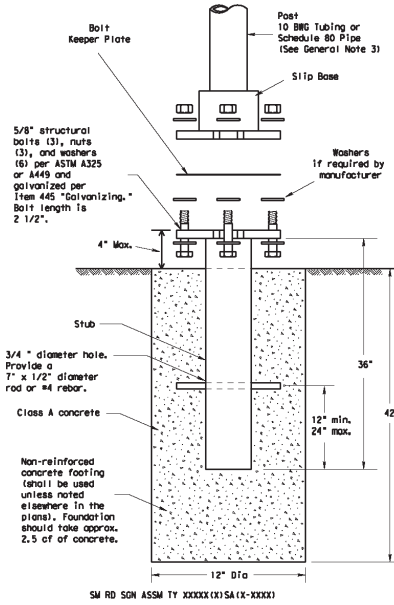
ASSEMBLY PROCEDURE

Foundation

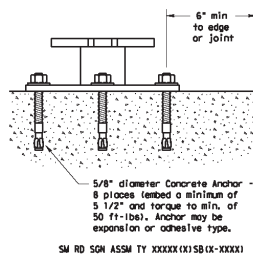
- Prepare 12-inch diameter by 42-inch deep hole. If solid rock is encountered, the depth of the foundation may be reduced such that it is embedded a minimum of 18 inches into the solid rock.
- The Engineer may permit batches of concrete less than 2 cubic yards to be mixed with a portable, motor-driven concrete mixer. For small placements less than 0.5 cubic yards, hand mixing in a suitable container may be allowed by Engineer. Concrete shall be Class A.
- Push the pipe end of the slip base stub into the center of the concrete. Rotate the stub back and forth while pushing it down into the concrete to ensure good contact between the concrete and stub. Continue to work the stub into the concrete until it is between 2 to 4 inches above the ground.
- Plumb the stub. Allow a minimum of 4 days to set, unless otherwise directed by the Engineer.
- The triangular slipbase system is multidirectional and is designed to release when struck from any direction.

Support

- Cut support so that the bottom of the sign will be 7 to 7.5 feet above the edge of the travelway (i.e., edge of the closest lane) when slip plate is below the edge of pavement or 7 to 7.5 feet above slip plate when the slip plate is above the edge of the travelway. The cut shall be plumb and straight.
- Attach sign to support using connections shown. When multiple signs are installed on the same support, ensure the minimum clearance between each sign is maintained. See SMD(SLIP-2) for clearances based on sign types.



CONCRETE ANCHOR



Concrete anchor consists of 5/8" diameter stud bolt with UNC series bolt threads on the upper end. Heavy hex nut per ASTM A563, and hardened washer per ASTM F436. The stud bolt shall have a minimum yield and ultimate tensile strength of 50 and 75 ksi, respectively. Nuts, bolts and washers shall be galvanized per 19em 445, "Galvanizing." Adhesive type anchors shall have stud bolts installed with Type III epoxy per DMS-6100, "Epoxyes and Adhesives." Adhesive anchors may be loaded after adequate epoxy cure time per the manufacturer's recommendations. Top of bolt shall extend at least flush with top of the nut when installed. The anchor, when installed in 4000 psi normal-weight concrete with a 5 1/2" minimum embedment, shall have a minimum allowable tension and shear of 3900 and 3100 psi, respectively.

SM RD SGN ASSM TY XXXXXX (X) SA (X-XXXX)

DISCLAIMER: This drawing is prepared by the Texas Engineer's Practice Act. No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the design of this standard or for incorrect results or damages resulting from its use.

DATE: FILE:

Texas Department of Transportation
Traffic Operations Division

SIGN MOUNTING DETAILS
SMALL ROADSIDE SIGNS
TRIANGULAR SLIPBASE SYSTEM

SMD (SLIP-1) - 08

© TxDOT July 2002	DM: TxDOT	CA: TxDOT	DM: TxDOT	OK: TxDOT
9-08	REV: 01	REV: 02	REV: 03	REV: 04
DESIGN	ISSUED	REVISED	REVISED	REVISED
DATE	DATE	DATE	DATE	DATE



RELEASED FOR CONSTRUCTION

Bria A. Whitmore, P.E., CFM, CPM
Development Services Engineer
City of Corpus Christi

Note: Construction Plans will expire based on the conditions stated in UDC 3.8.8.2.C.

BASS AND WELSH ENGINEERING
TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET
CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
CHARLOTTE ESTATES
NUECES CO., TX

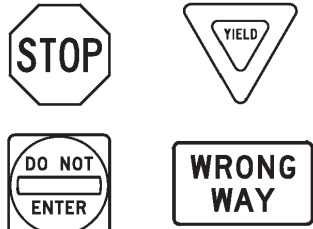
TxDOT SIGN MOUNTING DETAILS: SMALL
ROADSIDE SIGNS TRIANGULAR SLIPBASE SYSTEM

DM: _____	PLAT SCALE: 1" = 60'	COM. NO. 17 TxDOT SIGNPOST
CHK: N. WELSH	SCALE (S): AS SHOWN	JOB NO. 20039
	SCALE (D): AS SHOWN	
	DATE PLOTTED: 06/12/23	SHEET 17 OF 21

DISCLAIMER: This standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for insurance results or damages resulting from its use.

DATE FILED

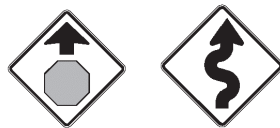
**REQUIREMENTS FOR RED BACKGROUND REGULATORY SIGNS
(STOP, YIELD, DO NOT ENTER AND WRONG WAY SIGNS)**



REQUIREMENTS FOR FOUR SPECIFIC SIGNS ONLY

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	RED	TYPE B OR C SHEETING
BACKGROUND	WHITE	TYPE B OR C SHEETING
LEGEND & BORDERS	WHITE	TYPE B OR C SHEETING
LEGEND	RED	TYPE B OR C SHEETING

REQUIREMENTS FOR WARNING SIGNS



TYPICAL EXAMPLES

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	FLOURESCENT YELLOW	TYPE B _{FL} OR C _{FL} SHEETING
LEGEND & BORDERS	BLACK	ACRYLIC NON-REFLECTIVE FILM
LEGEND & SYMBOLS	ALL OTHER	TYPE B OR C SHEETING

**REQUIREMENTS FOR WHITE BACKGROUND REGULATORY SIGNS
(EXCLUDING STOP, YIELD, DO NOT ENTER AND WRONG WAY SIGNS)**



TYPICAL EXAMPLES

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	WHITE	TYPE A SHEETING
BACKGROUND	ALL OTHERS	TYPE B OR C SHEETING
LEGEND, BORDERS AND SYMBOLS	BLACK	ACRYLIC NON-REFLECTIVE FILM
LEGEND, BORDERS AND SYMBOLS	ALL OTHER	TYPE B OR C SHEETING

REQUIREMENTS FOR SCHOOL SIGNS



TYPICAL EXAMPLES

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	WHITE	TYPE A SHEETING
BACKGROUND	FLOURESCENT YELLOW GREEN	TYPE B _{FL} OR C _{FL} SHEETING
LEGEND, BORDERS AND SYMBOLS	BLACK	ACRYLIC NON-REFLECTIVE FILM
SYMBOLS	RED	TYPE B OR C SHEETING

GENERAL NOTES

- Signs to be furnished shall be as detailed elsewhere in the plans and/or as shown on sign reduction sheet. Standard sign designs and arrow dimensions can be found in the "Standard Highway Sign Designs for Texas" (SHSD).
- Sign legend shall use the Federal Highway Administration (FHWA) Standard Highway Alphabets (B, C, D, E, Emad or F).
- Lateral spacing between letters and numerals shall conform with the SHSD, and any approved changes thereto. Lateral spacing of legend shall provide a balanced appearance when spacing is not shown.
- Black legend and borders shall be applied by screening process or out-out acrylic non-reflective black film to background sheeting, or combination thereof.
- White legend and borders shall be applied by screening process with transparent colored ink, transparent colored overlay film to white background sheeting or out-out white sheeting to colored background sheeting, or combination thereof.
- Colored legend shall be applied by screening process with transparent colored ink, transparent colored overlay film or colored sheeting to background sheeting, or combination thereof.
- Sign substrate shall be any material that meets the Departmental Material Specification requirements of DMS-7110 or approved alternative.
- Mounting details for roadside mounted signs are shown in the "SMD series" Standard Plan Sheets.

ALUMINUM SIGN BLANKS THICKNESS	
Square Feet	Minimum Thickness
Less than 7.5	0.080
7.5 to 15	0.100
Greater than 15	0.125

DEPARTMENTAL MATERIAL SPECIFICATIONS	
ALUMINUM SIGN BLANKS	DMS-7110
SIGN FACE MATERIALS	DMS-6300

The Standard Highway Sign Designs for Texas (SHSD) can be found at the following website:
<http://www.txdot.gov/>

TYPICAL SIGN REQUIREMENTS

TSR (4) - 13

FILE	18r4-13.dgn	DM	TXDOT	CK	TXDOT	DW	TXDOT	CK	TXDOT
DATE	OCTOBER 2003	DMT	SECT	JOB	ROADWAY				
12-03	7-13	DISP	COUNTY						
9-06									



RELEASED FOR CONSTRUCTION

Bria A. Whitmore, P.E., CPM, CPM
Development Services Engineer
City of Corpus Christi

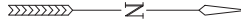
Note: Construction Plans will expire based on the conditions stated in UDC 3.8.6.C.

BASS AND WELSH ENGINEERING
TX REGISTRATION NO. 7-52, 3054 S. ALAMEDA STREET
CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
CHARLOTTE ESTATES
NUECES CO., TX

TXDOT TYPICAL SIGN REQUIREMENTS
TSR (4) - 13

DN:	PLUT SCALE: 1" = 40'	COM. NO. 18	TXDOT TYP. SIGNS
OK:	SCALE (S): AS SHOWN	JOB NO. 20039	
	SCALE (D): AS SHOWN	SHEET 18 OF 21	
	DATE PLOTTED: 09/12/23		



MATCH LINE STA 48+00
CONTINUED FROM SHEET 9

CONTINUED ON FOLLOWING SHEET
MATCH LINE STA 30+00

PROP. 12" PVC
WTR, 4" COVER

CL DITCH ABOUT
ON RDW LINE

PROP. 12" PVC
WTR, 4" COVER

CL DITCH ABOUT
ON RDW LINE

CL CR 49

CL CR 49

45+00

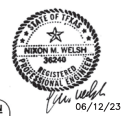
47+00

35+00

37+00

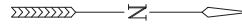
RELEASED FOR CONSTRUCTION

 **Bria A. Whitmore, P.E., CFM, CPM**
Development Services Engineer
City of Corpus Christi
Note: Construction Plans will expire based on the conditions stated in OCC 3.8.6.7.

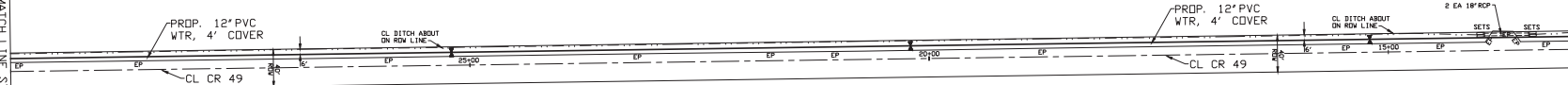

06/12/23

0 30' 60' 120'
SCALE: 1" = 60'

BASS & WELSH ENGINEERING TX SURVEY REG. NO 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404		
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX		
OFFSITE WATER PLAN		
DRAWN BY: _____	PLUT SCALE: 1" = 60'	COM. NO. DS-WTR93
CHK. BY: <u>B. WELSH</u>	SCALE (V): SAME	JOB NO. 20232
	SCALE (H): NONE	DATE PLOTTED 06/12/23
		SHEET 13 OF 21



MATCH LINE STA 20+00
CONTINUED FROM PREVIOUS SHEET



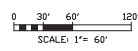
CONTINUED ON FOLLOWING SHEET
MATCH LINE STA 13+00



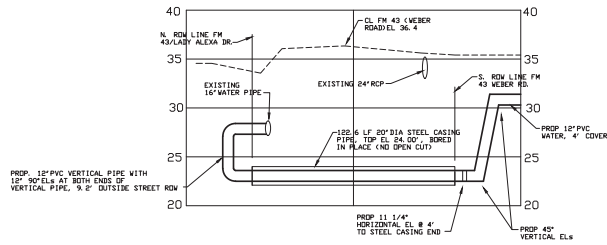
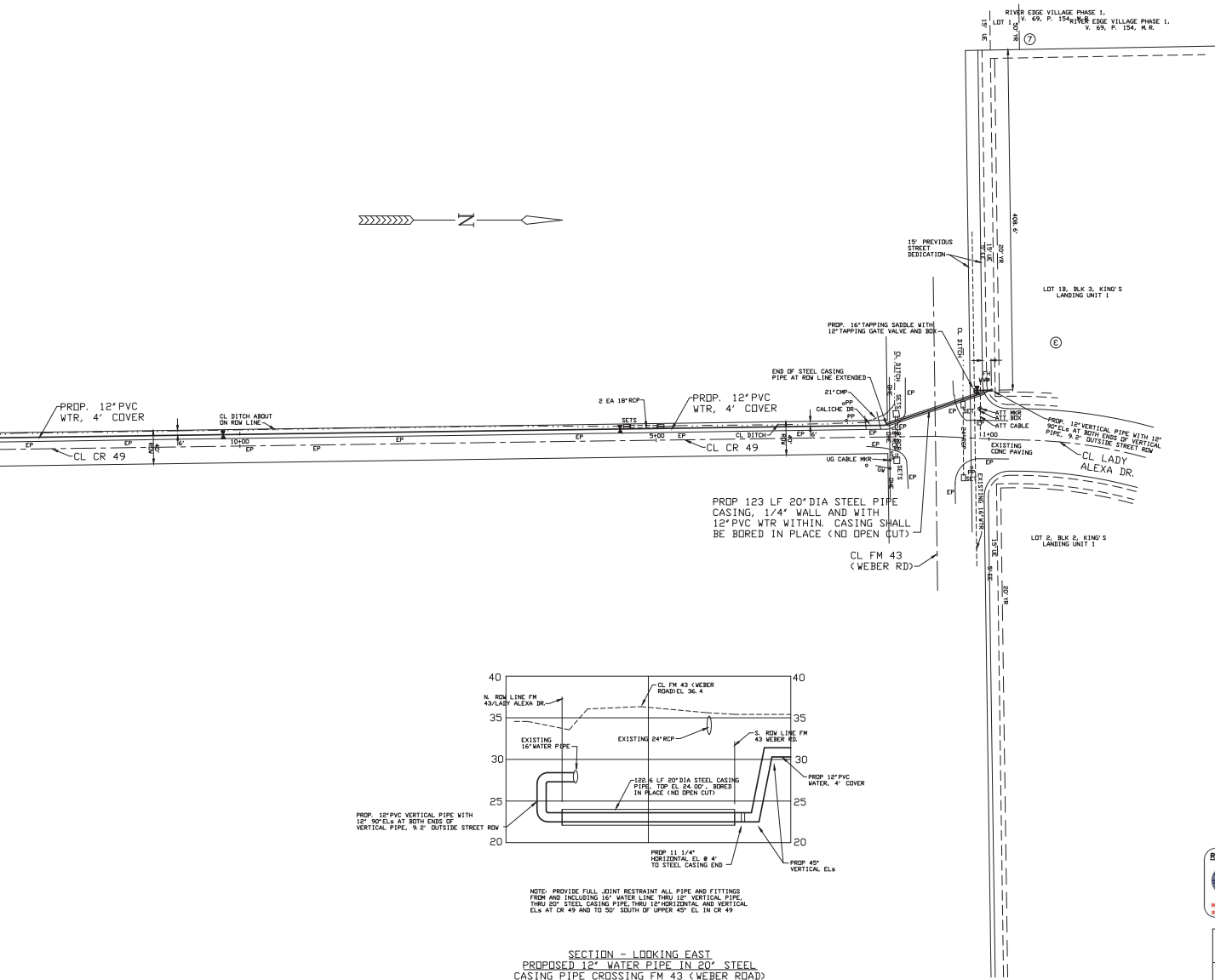
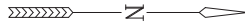
RELEASED FOR CONSTRUCTION
Brian A. Whitmore, P.E., CFM, CPM
Development Services Engineer
City of Corpus Christi
Note: Construction Plans will expire based on the conditions stated in OCC 3.8.6.7.

BASS & WELSH ENGINEERING
TX SURVEY REG. NO 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX

OFFSITE WATER PLAN
DPL: _____ PLOT SCALE: 1" = 60' COM. NO. DS-W1992
SCALE (V): SAME JOB NO. 20332
CHK: B. WELSH DATE PLOTTED: 06/12/23 SHEET 20 OF 21



MATCH LINE STA 13+00
CONTINUED FROM PREVIOUS SHEET



NOTE: PROVIDE FULL JOINT RESTRAINT ALL PIPE AND FITTINGS FROM AND INCLUDING 16" WATER LINE THRU 12" VERTICAL PIPE THRU 20" STEEL CASING PIPE THRU 12" HORIZONTAL AND VERTICAL ELs AT CR 49 AND TO 50' SOUTH OF UPPER 45" CL IN CR 49

SECTION - LOOKING EAST
PROPOSED 12" WATER PIPE IN 20" STEEL CASING PIPE CROSSING FM 43 (WEBER ROAD)

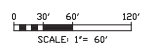


RELEASED FOR CONSTRUCTION
 Brian A. Whitman, P.E., CPM, CFM
 Development Services Engineer
 City of Corpus Christi
 Note: Construction Plans will expire based on the time conditions stated in UCC 3.8.6.7.

BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO CHARLOTTE ESTATES, NUECES CO., TX

OFFSITE WATER PLAN AND PROFILE



DRW. _____	PLT. SCALE: 1" = 60'	COM. NO. DS-WTR1
CHK. B. WELSH	SCALE (V): NONE	JOB NO. 22032
	SCALE (H): NONE	DATE PLOTTED 06/12/23
		SHEET 21 OF 21

Exhibit 4



1221 Avenue F Bay City, Texas 77414
(979) 245-8900
FIRM F-324

Project: London Ranch Estates (108 lots)

12" Offsite Waterline

August 2,2023

Location: London, Texas Job No.: 37003

Item #	OFF-SITE SITE WATER	Qty.	Unit	Unit Cost	Estimate
1	12" C900 Class PVC Water Line (Open Cut)	8,314	LF	\$126.00	\$1,047,564.00
2	Standard Fire Hydrant Assembly (w/ Valve & Tee)	2	EA	\$1,350.00	\$2,700.00
3	12x2 MJ TAP CAP	2	EA	\$3,410.00	\$6,820.00
4	2X48 GALV RDY CUT PIPE TBE	2	EA	\$1,020.00	\$2,040.00
5	12" DI MJ GATELV	14	EA	\$8,160.00	\$114,240.00
6	12" MJ TEE	1	EA	\$7,080.00	\$7,080.00
7	3' 6" FIRE HYD	2	EA	\$10,500.00	\$21,000.00
8	12" 90BENDS, 45S, LONG SLV 12X12, FASTITE	8	EA	\$3,000.00	\$24,000.00
9	16"X12" TAPS SLV	1	EA	\$16,200.00	\$16,200.00
10	20" DIA CASING 1/4" WALL 12X20 SPASERS	123	EA	\$252.00	\$30,996.00
11	8" DI GATE VALV	2	EA	\$2,940.00	\$5,880.00
12	6 MJ C153 90 BEND	2	EA	\$2,860.00	\$5,720.00
13	6 DI MJ GATE VALVE	2	EA	\$2,100.00	\$4,200.00
14	TIE INN TO 16" PIPE, VALVE AND 45'S	1	EA	\$7,800.00	\$7,800.00
15	6X13 MJSOL HYD ADPT	2	EA	\$1,620.00	\$3,240.00
16	Testing & Chlorination	8,314	LF	\$1.00	\$8,314.00
17	Maintenance Bond - Utilities (2-Year, 10%)	1	LS	\$112,131.60	\$112,131.60
				Subtotal	\$1,419,925.60
				10 % Contingency	\$141,992.56
				Total	\$1,561,918.16
				Water Acre Fee Credit	\$75,758.73
				Total Reimbursement from Trust Fund	\$1,486,159.43



Exhibit 5

DISCLOSURE OF INTERESTS

Development Services Department

2406 Leopard St. Corpus Christi, TX 78408 | Phone: 361.826.3240 | platapplication@cctexas.com

City of Corpus Christi Ordinance 17112, as amended, requires all persons or firms seeking to do business with the City to provide the following information. Every question must be answered. If the question is not applicable, answer with "NA".

NAME: LM and JM Investments, LLC

STREET: p.o Box 270245 CITY: Coprus Christi ZIP: 78427

FIRM is: [] Corporation [x] Partnership [] Sole Owner [] Association [] Other

DISCLOSURE QUESTIONS

If additional space is necessary, please use the reverse side of this page or attach separate sheet.

1. State the names of each "employee" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name Job Title and City Department (if known)

2. State the names of each "official" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name Title

3. State the names of each "board member" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name Board, Commission, or Committee

4. State the names of each employee or officer of a "consultant" for the City of Corpus Christi who worked on any matter related to the subject of this contract and has an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name Consultant

CERTIFICATE (To Be Notarized)

I certify that all information provided is true and correct as of the date of this statement, that I have not knowingly withheld disclosure of any information requested; and that supplemental statements will be promptly submitted to the City of Corpus Christi, Texas as changes occur.

Certifying Person: Linda Mikulencak
(Print) Signature of Certifying Person: [Handwritten Signature]

Title: President
Date: 3/27/22

DEFINITIONS

- a. "Board Member". A member of any board, commission or committee appointed by the City Council of the City of Corpus Christi, Texas.
- b. "Employee". Any person employed by the City of Corpus Christi, Texas, either on a full or part time basis, but not as an independent contractor.
- c. "Firm". Any entity operated for economic gain, whether professional, industrial or commercial and whether established to produce or deal with a product or service, including but not limited to, entities operated in the form of sole proprietorship, as self-employed person, partnership, corporation, joint stock company, joint venture, receivership or trust and entities which, for purposes of taxation, are treated as non-profit organizations.
- d. "Official". The Mayor, members of the City Council, City Manager, Deputy City Manager, Assistant City Managers, Department and Division Heads and Municipal Court Judges of the City of Corpus Christi, Texas.
- e. "Ownership Interest". Legal or equitable interest, whether actually or constructively held, in a firm, including when such interest is held through an agent, trust, estate or holding entity. "Constructively held" refers to holding or control established through voting trusts, proxies or special terms of venture or partnership agreements.
- f. "Consultant". Any person or firm, such as engineers and architects, hired by the City of Corpus Christi for the purpose of professional consultation and recommendation.