



City of Corpus Christi

1201 Leopard Street
Corpus Christi, TX 78401
cctexas.com

Meeting Agenda - Final

Planning Commission

Wednesday, July 23, 2025

5:30 PM

Council Chambers

The Planning Commission shall be responsible to and act as an advisory body to City Council; shall review and make recommendations to City Council regarding the adoption/implementation of a comprehensive plan; regarding all proposals to adopt/amend land development regulations for the purpose of establishing consistency with the comprehensive plan; regarding zoning or requests for zoning changes in a manner to ensure consistency with the adopted comprehensive plan; regarding the City's annual capital budget and any capital improvement bond program. The Planning Commission also exercises control (approving body) over platting/subdividing land within the corporate limits and the extraterritorial jurisdiction of the City in a manner to ensure the consistency of all plats with the adopted comprehensive plan.

I. Call to Order, Roll Call

II. PUBLIC COMMENT: Citizens will be allowed to attend and make public comments in person at City Planning Commission meetings. The public is invited to speak on any agenda item and any other items that pertain to the Planning Commission. Comments are limited to three minutes. If you choose to speak during this period, you will not be allowed to speak again when the specific item is being considered in order of the agenda. Electronic media that you would like to use may only be introduced into the City system IF approved by the City's Communications Department at least 24 hours prior to the Meeting. Please contact IT at 826-3211 to coordinate.

III. Approval of Absences: Commissioner Miller (7.9.2025 meeting)

IV. Approval of Minutes: July 9, 2025 Meeting Minutes

1. [25-1077](#) Planning Commission Meeting Minutes DRAFT 7.9.2025

Attachments: [7.9.25 PC Meeting Minutes- DRAFT](#)

V. Consent Public Hearing: Discussion and Possible Action (Items A, B, C & D)

NOTICE TO THE PUBLIC: The following Consent Public Hearing consists of items in which City Staff has given a recommendation of approval. The Planning Commission has been furnished with background and support material on each item. All items will be acted upon by one vote without being discussed separately unless a Commissioner has requested to pull a specific item for individual consideration. In any event, the item or items will immediately be withdrawn for individual consideration in its normal sequence

A. Plat

2. [25-1144](#) PL8566
PRELIMINARY PLAT- Oso Ranch Unit 1B
(16.73 Acres)
- (District 4) Generally located at 2449 Flour Bluff Drive, south of Purdue Road and west of Flour Bluff Drive.
- Attachments:** [PL8566 Oso Ranch Cover Tab](#)
[PL8566OsoRanchUnit1BclosedComments](#)
[PL8566OsoRanchPrelimPlat](#)
3. [25-1083](#) PL8690
REPLAT - Lynnwood Place Unit 1
Lots 1-7, Block D
(1.41 acres)
- (District 2). Generally located at 5310 Surrey Lane, east of Surrey Lane and north of Tiger Lane.
- Attachments:** [PL8690ReplatCoverTab](#)
[PL8690ClosedCommentReport](#)
[PL8690LatestPlatPg1&2](#)
4. [25-1101](#) PL8773
REPLAT - Bessar Park
Lot 8R Block 5
(0.24 Ac.)
- (District 2). Generally located at 223 Rosebud Ln, south of Rosebud Ln. and east of Santa Fe Street.
- Attachments:** [PL8773ReplatCoverTab](#)
[PL8773ClosedCommentReport](#)
[PL8773Latest Plat](#)
5. [25-1138](#) PL8768
REPLAT - Surrey Place Unit 1
Lots 3A & 3B, Block 25
(1.84 Acres)
- (District 3). Generally located at 5354 Kostoryz Road, east of Kostoryz Road, and north of Sokol Drive.
- Attachments:** [PL8768 Surrey Place Cover Tab](#)
[PL8768ClosedCommentReport](#)

[PL8768LatestPlat](#)

6. [25-1142](#) PL8736
REPLAT - Flour Bluff Estates

Lots 5R and 15R, Block E
(1.76 Acres)

(District 4). Generally located at 10414 South Padre Island Drive, east of Waldron Road and north of South Padre Island Drive.

Attachments: [PL8736 Flour Bluff Estates Cover Tab](#)

[PL8736ClosedCommentsReport](#)

[PL8736LatestPlat](#)

7. [25-1131](#) PL8819
FINAL PLAT - Southside Storage Tract

Lot 1, Block 1
(1.166 acres)

(District 5) Generally located at 7106 Brooke Road, on the north corner of Rodd Field Road and Brooke Road.

Attachments: [PL8819CoverTabFinal](#)

[PL8819 Closed Comment Report](#)

[PL8819LatestFinalPlat](#)

8. [25-1137](#) PL8811
FINAL PLAT- Kosar Addition

Lot 1R Block 8
(1.84 Acres)

(District 3). Generally located at 3146 Highland Drive, north of Highland Drive east of Osage Street.

Attachments: [PL8811 Kosar Add Cover Tab](#)

[PL8811ClosedCommentReport](#)

[PL8811LatestPlat](#)

B. Plat-Conditional Approval

9. [25-1145](#) PL8742
PRELIMINARY PLAT - Yellowstone
(154.42 Acres)

(District 1). Generally located north of Haven Road and west of Warrior

Road

Attachments: [PL8742 Yellowstone Cover Tab](#)
[PL8742YellowstonePrelimClosedOpenReport](#)
[YellowstonePrelimPlat6202025](#)

10. [25-1146](#) PL8719
FINAL PLAT - King's Landing Unit 11
(38.07 Acres)

(District 3) Generally located at 1498 Farm-to-Market Road (FM) 43, north of FM 43 and east of Digger Ln.

Attachments: [PL8719KLUnit11ConditionalApproval](#)
[PL8719KL11ClosedOpenReport](#)
[PL8719KL11FinalPlat6192025](#)

C. Time Extension

11. [25-1154](#) PL8076
EXTENSION REQUEST - Azali District 1 (Final)
(28.90 acres)

(District 3): Generally located at 3602 Saratoga Boulevard, north of Saratoga Boulevard, and south of Glenway Drive, east of Kostoryz Road and west of Weber Road.

Attachments: [PL8076PlatExtCoverTab](#)
[PL8076Latest Plat](#)
[PL8076 Plat Ext Request](#)

D. Zoning

12. [25-1136](#) Zoning Case No. ZN8769, Gary W. Crook (District 1). Ordinance rezoning a property at or near 14454 Northwest Boulevard from the "RS-6" Single-Family 6 District to the "ON" Neighborhood Office District, providing for a penalty not to exceed \$2,000 and publication. (Staff recommends approval).

Attachments: [ZN8769 Gary Crook Staff Report](#)
[ZN8769 Gary Crook PowerPoint Presentation](#)

VI. Director's Report

VII. Future Agenda Items

VIII. Adjournment

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact Jessica Martinez, at 361-826-3202 or jessicam2@cctexas.com, no later than 48 hours prior to this meeting so that appropriate arrangements can be made.



City of Corpus Christi

1201 Leopard Street
Corpus Christi, TX 78401
cctexas.com

Meeting Minutes - Draft

Planning Commission

Wednesday, July 9, 2025

5:30 PM

Council Chambers

I. Call to Order, Roll Call

Chairman York called the meeting to order at 5:30pm. A quorum was present to conduct the meeting with Commissioner Miller absent.

II. PUBLIC COMMENT: None

III. Approval of Absences: Commissioner Miller and Munoz.

Commissioner Hedrick made a motion to approve the absences of Commissioners Miller and Munoz. Commissioner Cantu seconded. Vote: All Aye. Motion passed

IV. Approval of Minutes: June 25, 2025 Meeting Minutes

Commissioner Mandel made a motion to approve the meeting minutes from June 25, 2025, as presented by staff. Vice Chairman Salazar- Garza seconded. Vote: All Aye. Motion passed.

1. [25-1013](#) Planning Commission Meeting Minutes DRAFT 6.25.2025

Attachments: [6.25.25 PC Meeting Minutes- DRAFT](#)

V. Consent Public Hearing: Discussion and Possible Action (Items A, B, & C)

Andrew Dimas, Development Services introduced items 2, 3, & 4 into record. The plats will satisfy the requirements of the Unified Development Code and State Law.

The Technical Review Committee recommends Approval. Recordation is pending satisfactory completion of UDC Review Criteria for 3.8.5.D.

Andrew Dimas, Development Services introduced items 5 & 6 into record and staff recommend approval for the time extensions.

Andrew Dimas, Development Services introduced item 7 into record and staff recommend approval for the rezoning request.

Chairman York opened the floor for questions/comments.

Commissioner Hedrick asked if there were any more future details regarding the plat.

Andrew Dimas stated the approved plan states the deviations being requested are to go from 4,500 sq ft lots to 4,000 sq ft lots and from 45 ft in width to 40 ft in width. Commissioner Hedrick stated normally when granting a PUD, the developer makes concessions such as walking trails, extra parks. He asked if this was included in this plan rather than downsizing the lots to get more lots.

Andrew Dimas stated plans like these have a criteria they must meet in which DS evaluates if they warrant the PUD request.

Commissioner Hedrick asked what the justification for this PUD was. Andrew Dimas explained the report states it provides additional housing which is smaller lots and narrower in width. Andrew Dimas stated when we get to the plat the discussion will be roadway widths, drainage, sidewalk issues etc.

Vice Chairman Salazar Garza stated if there any conditions for the PUD will be placed on this moving forward. She stated what part the Vision Zero plan plays for this commercial property. Andrew Dimas stated Vision Zero means development provides safe pedestrian crossways, separated bike lanes, wider sidewalks. The policy which was adopted in 2020 provided safe modes of transportation to move people. Andrew Dimas stated they use Vision Zero policy during rezoning reviews. Since the PUD does not have detailed data currently, it does not mean it does not meet the Vision Zero Standards. He stated this will be looked into more in the plat review. If any future deviations are needed, they would have to request them. Vice Chairman Salazar Garza stated the purpose of development is for the safety of the people.

Commissioner Hedrick asked how many homes are anticipated for the neighborhood. Andrew Dimas stated it could be closer to 1,000 homes for the full development.

Commissioner Teichelman asked what the original density was previously. Andrew Dimas stated for this section the numbers changed from 244 homes to 256 homes. Commissioner Teichelman was concerned with the stress that would be placed on the utilities.

Commissioner Cantu asked if changes to the PUD would only be reducing the lot size. Andrew Dimas stated changing lot size and lot width.

Commissioner Hedrick asked how deep the lots were regarding parking in the driveway. The issue of concern is for vehicles not being able to utilize the street for parking because the lot width is being downsized. Andrew Dimas stated they follow the local street requirements.

Chairman York asked if there were any other questions. Being none, public comment was opened.

Bart Braselton spoke on agenda item #7. He stated that this one small section of a 255-acre site. He stated would be a 2-acre community center and 5-acre park. Due to the increased density, they were able to accommodate these amenities. He stated the

front set back is a 20-yard setback like in a RS 4.5. Road width would be the same and lot depth would stay the same as well. He stated traffic is not a problem yet regarding a TIA at this time.

Chairman York asked if there was any other one for public comment.

Moses Mostaghasi spoke regarding the point about land development. His concern regarding TIAs being done for every development despite current traffic patterns. He states the UDC needs to be changed and have a standard all must follow. Policy and standards need to be set to make sure the community gets what it needs.

Being no more discussion, Chairman York closed public comment.

Commissioner Mandel made a motion to approve the consent agenda items 2, 3, 4, 5, 6, & 7 as presented by staff. Commissioner Teichelman seconded. Vote: All Aye. Motion passes.

A. Plat

2. [25-0993](#) PL8731
FINAL PLAT - Corpus Christi Holly Addition
Lot 1, Block 1 (1.47 acres)

(District 5) Generally located at 2101 Rodd Field Road, on the southwest corner of Holly Road and Rodd Field Road.

Attachments: [PL8731CoverTabFinal \(002\)](#)
 [PL8731ClosedCommentReport](#)
 [PL8731LatestPlat](#)

3. [25-0994](#) PL8744
REPLAT - Lamar Park Subdivision
Lot 21R, Block 13 (0.30 acres)

(District 2) Generally located at 330 Santa Monica, east of South Alameda Street and west of Center Drive.

Attachments: [PL8744ReplatCoverTab](#)
 [PL8744ClosedCommentReport](#)
 [PL8744LatestPlat](#)

4. [25-1044](#) PL8544
PRELIMINARY PLAT M & R Home Solutions, LLC Subdivision

Block A Lot 1 (4.88 acres)

(District 4) Generally located a 2345 Yorktown Blvd, south of Yorktown Blvd. and east of Arman St. and west of Roscher Road.

Attachments: [PL8544PrelimCoverTab \(002\)](#)
 [PL8544ClosedCommentReport](#)
 [PL8544LatestPrelimPlat](#)

B. Time Extension

5. [25-0992](#) PL7952
 Time Extension Request.Glenoak Park Unit 2
 Lot 2, Block 1 (1.36 acres)

(District 4) Generally located at 700 Glenoak Drive, east of Tinion Street and west of Waldron Road.

Attachments: [PL7952PlatExtCoverTab](#)
 [PL7952LatestPlat](#)
 [PL7952RequestforPlatExtension](#)

6. [25-1043](#) PL8016
 Extension Request Azali Oceanside Estates (Replat)
 Lots 1-12, Block 1 (2.85 acres)

(District 2) Generally located at 3333 Ocean Drive, north of Saratoga Boulevard and east of Norchester Drive.

Attachments: [PL8016PlatExtCoverTab \(002\)](#)
 [PL8016ApprovedPCPlat](#)
 [PL8016RequetPlatExtension1yr_](#)

C. Zoning

7. [25-1045](#) Zoning Case No. ZN8634, Saratoga 400 Partners, LLC. (District 3).
 Ordinance rezoning a property at or near 602 Saratoga Boulevard from the
 "RS-4.5" Single-Family 4.5 District to the "RS-4.5/PUD" Single-Family 4.5
 District with a Planned Unit Development overlay; providing for a penalty not
 to exceed \$2,000 and publication. (Staff recommends approval).

Attachments: [ZN8634 Saratoga 400 Partners LLC Staff Report](#)
 [ZN8634 Saratoga 400 Partners LLC](#)

VI. Public Hearing: Discussion and Possible Action (Item D)

Bria Whitmire, Development Services introduced item 8 into record. M&R Home Solutions, LLC, The Towers, LLC d/b/a Vertical Bridge, is requesting a plat waiver for water/fire hydrant construction at 2345 Yorktown Blvd. This plat waiver request is to not construct water or fire hydrant as water is not needed for the cell tower.

As per City of Corpus Christi Unified Development Code (UDC) §8.1.4.B the developer shall provide improvements to the water system, including but not limited to water lines, fire hydrants, and valves in conformity with the standards, specifications and requirements of the UDC.

Per UDC §8.1.5, all required improvements shall provide continuity of improvements among adjacent properties.

Per UDC §8.2.6 if an approved water supply system is available within 1 mile of the property being platted, each lot shall be provided access to such water supply.

Section 3.8.3.D of the UDC provides factors to consider plat waivers, and states that the need for the waiver shall be demonstrated to the Planning Commission's satisfaction. The waiver may be approved, approved with conditions, or denied, after consideration of the following factors:

1. The granting of the waiver shall not be detrimental to the public health, safety or general welfare, or be injurious to other property in the area, or to the City in administering this Unified Code;
2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity;
3. Application of a provision of this Unified Development Code will render subdivision of land unfeasible; or
4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of the Unified Development Code.

Factors in Support of the waiver request for water/fire hydrant construction:

1. The purpose of the re-plat is for a cell tower which will not utilize water.
2. The neighbor at 2337 Yorktown recently submitted plans to provide water and a fire hydrant on the south side of Yorktown in regards to parallel fire protection rules in the IDM.

Factors Against of the waiver request for water/fire hydrant construction:

1. In the event that the property to the east were to develop they would have to incur

the cost of extending the infrastructure across the frontage of 2345 Yorktown Blvd as part of their project.

Staff recommends approval of the waiver request for the water/fire hydrant construction at 2345 Yorktown Blvd.

Chairman York opened the floor for questions/comments.

Chairman York asked if the developer would be platting the whole lot later. The concern being if the waiver is approved and the developer plats the remainder of the lot, the chance of getting water is completely lost. Bria Whitmire stated if anything is built on the bigger portion of the lot, there would be a full review. Andrew Dimas stated if the waiver was granted and there is further development, the would need to be public improvements later. Chairman York asked what the requirement would be for parallel lines. Bria Whitmire stated there would need to be parallel line for continuity of service with further development.

Chairman York stated if the waiver was not granted, the installation would come down to the CIP in the future.

Commissioner Hedrick stated he did not like the idea of passing on the burden of cost to the taxpayer or the future developers of the surrounding properties.

Bria Whitmire stated the property will not be using any water or wastewater so if they construct the pipe it with would just be dead end installation.

Chairman York asked if there were anymore question. Being none, public comment was opened.

Ralph Wyndgarden with Faulk & Foster appeared for public comment on behalf of the applicant and was open to questions from the commissioners if any.

Being no questions from commissioners, Chairman York closed public comment.

Commissioner Hedrick made a motion to deny the plat waiver request for agenda item 8 as presented by staff. Commissioner Tiechelman seconded. Vote: All Aye. Motion passed.

D. Plat with Variance (Waiver)

8. [25-1055](#) PL8544
Request for a Plat Waiver for Water/Fire Hydrant Construction-M & R
Home Solutions, LLC Subdivision
Block A Lot 1 (4.88 acres)

(District 4) Generally located a 2345 Yorktown Blvd, south of Yorktown Blvd.
and east of Arman St. and west of Roscher Road.

Attachments: [PL8544 Waiver Request Memo](#)
 [PL8544 Waiver Request PPT](#)

VII. Director's Report: Chairman York's Recognition and Award Presentation

VIII. Future Agenda Items: None.

IX. Adjournment

With no other business to conduct, Chairman York adjourned the meeting at 6:22 pm.

TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025

PL8566

PRELIMINARY PLAT- Oso Ranch Unit 1B
(16.73 Acres)

(District 4) Generally located at 2449 Flour Bluff Drive, south of Purdue Road and west of Flour Bluff Drive.

Zoned: RS-6

Owner: Grangefield Development LLC

Surveyor: Munoz Engineering

The applicant proposes to plat the property to develop residential lots. The submitted Preliminary Plat satisfies the requirements of the Unified Development Code and State Law. The Technical Review Committee recommends **Approval**.

**Merged Document Report****Application No.: PL8566**

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
240050 - OSO RANCH UNIT 1B - PRELIMINARY PLAT 07082025.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Caleb Wong	calebw@cctexas.com	361-826-3392
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
21	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: Yes Sidewalks: Yes, per 8.2.2 B. Water: Yes Fire hydrants: Yes C. Wastewater: Yes D. Stormwater: Yes E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
15	P001	Callout	Alex Harmon : DS	Closed	Should this be Block 6?	
15	P001	Callout	Alex Harmon : DS	Closed	Should this be Block 6?	
15	P001	Callout	Alex Harmon : DS	Closed	Should this be Block 6?	
15	P001	Callout	Alex Harmon : DS	Closed	Should this be Block 6?	
18	P001	Note	Alex Harmon : DS	Closed	Per IDM Table 6.3.5H The treated subgrade and flexible base shall extend at least 2 feet beyond the back of curb.	
18	P001	Note	Alex Harmon : DS	Closed	Per IDM Table 6.3.5H The treated subgrade and flexible base shall extend at least 2 feet beyond the back of curb.	
18	P001	Note	Alex Harmon : DS	Closed	Per IDM Table 6.3.5H The treated subgrade and flexible base shall extend at least 2 feet beyond the back of curb.	
18	P001	Note	Alex Harmon : DS	Closed	Per IDM Table 6.3.5H The treated subgrade and flexible base shall extend at least 2 feet beyond the back of curb.	
19	P001	Note	Alex Harmon : DS	Closed	The City IDM Table 6.2.2.A allows for a minimum right of way of 50 ft. Adjust right of way.	
19	P001	Note	Alex Harmon : DS	Closed	The City IDM Table 6.2.2.A allows for a minimum right of way of 50 ft. Adjust right of way.	
19	P001	Note	Alex Harmon : DS	Closed	The City IDM Table 6.2.2.A allows for a minimum right of way of 50 ft. Adjust right of way.	
19	P001	Note	Alex Harmon : DS	Closed	The City IDM Table 6.2.2.A allows for a minimum right of way of 50 ft. Adjust right of way.	
14	P002	Callout	Alex Harmon : DS	Closed	For all 5' UE and EE - Change to (1) 10' U.E, unless requested otherwise.. AEP Texas and the City of Corpus Christi have a franchise agreement to work together in the same easement.	
14	P002	Callout	Alex Harmon : DS	Closed	For all 5' UE and EE - Change to (1) 10' U.E, unless requested otherwise.. AEP Texas and the City of Corpus Christi have a franchise agreement to work together in the same easement.	
14	P002	Callout	Alex Harmon : DS	Closed	For all 5' UE and EE - Change to (1) 10' U.E, unless requested otherwise.. AEP Texas and the City of Corpus Christi have a franchise agreement to work together in the same easement.	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
17	P002	Note	Alex Harmon : DS	Closed	06/16/25 UPDATE: Only the USACE can determine whether this wetland is actually jurisdictional. Reach out to USACE for LJD The US Fish and Wildlife Service (FWS) identifies one wetland area within this proposed platted area. Identify area on this plat. Approval from the USACE is needed prior to recordation/construction in these areas.	
17	P002	Note	Alex Harmon : DS	Closed	6/16/25 UPDATE: Only the USACE can determine if wetlands are actually jurisdictional. Reach out to USACE. The US Fish and Wildlife Service (FWS) identifies one wetland area within this proposed platted area. Identify area on this plat. Approval from the USACE is needed prior to recordation/construction in these areas.	
17	P002	Note	Alex Harmon : DS	Closed	The US Fish and Wildlife Service (FWS) identifies one wetland area within this proposed platted area. Identify area on this plat. Approval from the USACE is needed prior to recordation/construction in these areas.	
4	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 4/30/2025 The deadline for revisions to be submitted is 4/21/2025.	
4	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 4/30/2025 The deadline for revisions to be submitted is 4/21/2025.	
4	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 4/30/2025 The deadline for revisions to be submitted is 4/21/2025.	
4	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 4/30/2025 The deadline for revisions to be submitted is 4/21/2025.	
5	P001	Note	Mark Zans : LD	Closed	: The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
5	P001	Note	Mark Zans : LD	Closed	: The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
5	P001	Note	Mark Zans : LD	Closed	: The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
5	P001	Note	Mark Zans : LD	Closed	: The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
6	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
6	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
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6	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
8	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 1-10</p> <p>1PlatWater Distribution Standards: Fire flow for residential areas require 750 GPM with 20 psi residual</p> <p>2Plat507.5.1 Exception 1: Group R-3 (one- or two-family dwellings): Fire hydrants to be located every 600 feet apart.</p> <p>3Plat3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p> <p>4PlatD102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>75,000 pounds.</p> <p>5Plat503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>6PlatNote: An accessible road and a suitable water supply is required before going vertical with any structure.</p> <p>7Plat503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>8PlatD103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>9Infor.1.1Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2.1Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3.1The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street."</p> <p>1Infor.1Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in."</p> <p>10Plat503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p>	
8	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 1-10</p> <p>1PlatWater Distribution Standards: Fire flow for residential areas require 750 GPM with 20 psi residual</p> <p>2Plat507.5.1 Exception 1: Group R-3 (one- or two-family dwellings): Fire hydrants to be located every</p>	

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					<p>600 feet apart.</p> <p>3Plat3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p> <p>4PlatD102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>5Plat503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>6PlatNote: An accessible road and a suitable water supply is required before going vertical with any structure.</p> <p>7Plat503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>8PlatD103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>9Infor.1. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2. Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting</p>	

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					<p>"NO PARKING-FIRE LANE" along one side of the street."</p> <p>□Infor.□"Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in."</p> <p>10□Plat□503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p>	
8	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 1-10</p> <p>1□Plat□Water Distribution Standards: Fire flow for residential areas require 750 GPM with 20 psi residual</p> <p>2□Plat□507.5.1 Exception 1: Group R-3 (one- or two-family dwellings): Fire hydrants to be located every 600 feet apart.</p> <p>3□Plat□3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p> <p>4□Plat□D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>5□Plat□503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>6□Plat□Note: An accessible road and a suitable water supply is required before going vertical with any structure.</p>	

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					<p>7Plat503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>8PlatD103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>9Infor.1. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2. Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street."</p> <p>Infor. Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in."</p> <p>10Plat503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p>	
8	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 1-10</p> <p>1PlatWater Distribution Standards: Fire flow for residential areas require 750 GPM with 20 psi residual</p> <p>2Plat507.5.1 Exception 1: Group R-3 (one- or two-family dwellings): Fire hydrants to be located every 600 feet apart.</p> <p>3Plat3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p>	

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					<p>4PlatD102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>5Plat503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>6PlatNote: An accessible road and a suitable water supply is required before going vertical with any structure.</p> <p>7Plat503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>8PlatD103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>9Infor.1. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2. Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street."</p> <p>Infor.Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in."</p> <p>10Plat503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p>	
9	P001	Note	Mark Zans : LD	Closed	Fire comments 11-13	

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					<p>11Plat503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p> <p>12Plat503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>13PlatTable D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.</p>	
9	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 11-13</p> <p>11Plat503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p> <p>12Plat503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>13PlatTable D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.</p>	
9	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 11-13</p> <p>11Plat503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p>	

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45	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments #1</p> <p>1Informational:Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7)</p> <p>Informational:The PW-Traffic Department(Right-of-Way Division) is responsible for reviewing and permitting new construction and repairs/modifications to driveways, sidewalks, and curb and gutter. The review and approval of the permit must be approved prior to the issuance of the building permit (issued by DSD). (Refer to Municode Chapter 49-30 for permit requirements.)</p> <p>2Informational:Public improvement plans shall include all signage and pavement markings needed for traffic operations (e.g. signage, striping, traffic mitigation devices) in addition to standard "regulatory" STOP and street name blade sign installations. Additionally, cul-de-sacs must include either "NO OUTLET" or "DEAD END" signage. Temporary Dead-Ends should include the</p>	

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					<p>appropriate object markers and one-way streets must include signage for any one-way designations and affected side streets. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>3□Informational:□All traffic signs shall be furnished and installed by the Developer in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. This includes furnishing and installing "STOP" signs. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A. All entries to private streets from public streets shall be clearly signed by the owners or home owners association as a "private street." (Reference UDC Article 8.2.1.J. Private Streets)</p> <p>4□Informational:□Pavement markings shall be installed within the scope of the subdivision in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. Reference: Texas MUTCD and UDC Article 8.1.3.A</p> <p>5□Informational:□Pavement markings shall be installed within the scope of the subdivision on all streets classified as a collector (C1) or higher on the City's Urban Transportation Plan Map. Streets not designated as a collector (C1) or higher, but constructed with a 40-foot width (back-of-curb to back-of-curb) will be subject to specifications stated in public improvement plan review. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>6□Informational:□Raised blue pavement markers in accordance with the latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD)," shall be installed in the center of a street or safety lane at fire hydrant locations. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>7□Informational:□The developer or their representative is required to submit a "Street Lighting Plan", indicating the proposed locations and fixture type of street lights, for review and approval to the City's Traffic Engineering Department. All new fixture types will be LED. Street lights shall meet design requirements per the City of Corpus Christi Infrastructure Design Manual (IDM) Chapter 8 - Street Lighting Design Policy and Guidelines.</p>	
45	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments #1</p> <p>1□Informational:□Proposed driveway access to a</p>	

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					<p>in public improvement plan review. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>6□Informational:□Raised blue pavement markers in accordance with the latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD)," shall be installed in the center of a street or safety lane at fire hydrant locations. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>7□Informational:□The developer or their representative is required to submit a "Street Lighting Plan", indicating the proposed locations and fixture type of street lights, for review and approval to the City's Traffic Engineering Department. All new fixture types will be LED. Street lights shall meet design requirements per the City of Corpus Christi Infrastructure Design Manual (IDM) Chapter 8 - Street Lighting Design Policy and Guidelines.</p>	
45	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments #1</p> <p>1□Informational:□Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7)</p> <p>□Informational:□The PW-Traffic Department(Right-of-Way Division) is responsible for reviewing and permitting new construction and repairs/modifications to driveways, sidewalks, and curb and gutter. The review and approval of the permit must be approved prior to the issuance of the building permit (issued by DSD). (Refer to Municode Chapter 49-30 for permit requirements.)</p> <p>2□Informational:□Public improvement plans shall include all signage and pavement markings needed for traffic operations (e.g. signage, striping, traffic mitigation devices) in addition to standard "regulatory" STOP and street name blade sign installations. Additionally, cul-de-sacs must include either "NO OUTLET" or "DEAD END" signage. Temporary Dead-Ends should include the appropriate object markers and one-way streets must include signage for any one-way designations and affected side streets. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>3□Informational:□All traffic signs shall be furnished and installed by the Developer in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. This includes</p>	

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					<p>furnishing and installing "STOP" signs. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A. All entries to private streets from public streets shall be clearly signed by the owners or home owners association as a "private street." (Reference UDC Article 8.2.1.J. Private Streets)</p> <p>4□Informational:□Pavement markings shall be installed within the scope of the subdivision in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. Reference: Texas MUTCD and UDC Article 8.1.3.A</p> <p>5□Informational:□Pavement markings shall be installed within the scope of the subdivision on all streets classified as a collector (C1) or higher on the City's Urban Transportation Plan Map. Streets not designated as a collector (C1) or higher, but constructed with a 40-foot width (back-of-curb to back-of-curb) will be subject to specifications stated in public improvement plan review. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>6□Informational:□Raised blue pavement markers in accordance with the latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD)," shall be installed in the center of a street or safety lane at fire hydrant locations. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>7□Informational:□The developer or their representative is required to submit a "Street Lighting Plan", indicating the proposed locations and fixture type of street lights, for review and approval to the City's Traffic Engineering Department. All new fixture types will be LED. Street lights shall meet design requirements per the City of Corpus Christi Infrastructure Design Manual (IDM) Chapter 8 - Street Lighting Design Policy and Guidelines.</p>	
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					7□Informational:□The developer or their representative is required to submit a "StreetLighting Plan", indicating the proposed locations and fixture type of street lights, for review and approval to the City's Traffic Engineering Department. All new fixture types will be LED. Street lights shall meet design requirements per the City of Corpus Christi Infrastructure Design Manual (IDM) Chapter 8 - Street Lighting Design Policy and Guidelines.	
46	P001	Note	Mark Zans : LD	Closed		
46	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments#2</p> <p>8□Informational:□The "Street Lighting Plan" shall indicate all existing street lights within 500-ft (+/-) of proposed street lights along tangent street sections. Preliminary "written" approval of the "Street Lighting Plan", by the City's Traffic Engineering Department, is required before the utility company (AEP or NEC) can start the design of the street lighting system and determine developer fees, which are required for plat recordation. Traffic Engineering issues a Letter of Authorization to the utility company, allowing for construction of the street lighting system, once this process is complete.</p> <p>9□Informational:□A ROW Construction Permit, issued by PW-Traffic Department (Right-of-Way Division), is required for any work obstructing, closing, or occupying public right-of-way (Reference Chapter 49-2). Work within the Right-of-Way without a permit is subject to daily Non-Compliance Fees (Reference Municode Chapter 49).</p> <p>10□Informational:□Provide the PHT form using 11th edition, or latest edition, of theTrip Generation Manual . A PHT Form is required for any rezoning, site plan or street closure request for developments that are projected to contain 500 or fewer weekday peak hour trips. A traffic impact analysis will be required for developments generating or 501 trips. (Reference UDC Section 3.29)</p> <p>11□Informational:□An Urban Transportation Plan Amendment is required to modify or delete a master planned street. Coordinate with the Traffic Department (TrafficEngineering@cctexas.com) to complete this separate process and requirements.</p> <p>12□Informational:□Any street excavation, utility cut, or utility tap requires a permit issued by the Traffic</p>	

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					<p>Department (Right-of-Way Division). Restoration requirements are subject to the street Pavement Condition Index (PCI) and street age. New streets (Any street 0-6 years and / or PCI \geq 80) will require restoration of 25-ft beyond the outermost edge of the excavation and up to curb to curb repair. Older streets (Any street > 6 years or PCI < 80) will require restoration of 10-ft beyond the outermost edge of the excavation and up to full lane (Refer to Municode Section 49-47-1).</p> <p>13□Informational:□"Sidewalks required on both sides of local street as per IDM Chapter 6 - Street Design Requirements. Table 6.2.2 Street Right-of-Way Dimension Standards"</p> <p>14□Informational:□Cul-de-Sacs shall conform to access management standards outlined in Article 8 of the UDC (UDC 8.2.1 G)</p>	
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Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>master planned street. Coordinate with the Traffic Department (TrafficEngineering@cctexas.com) to complete this separate process and requirements.</p> <p>12□Informational:□Any street excavation, utility cut, or utility tap requires a permit issued by the Traffic Department (Right-of-Way Division). Restoration requirements are subject to the street Pavement Condition Index (PCI) and street age. New streets (Any street 0-6 years and / or PCI ≥ 80) will require restoration of 25-ft beyond the outermost edge of the excavation and up to curb to curb repair. Older streets (Any street > 6 years or PCI < 80) will require restoration of 10-ft beyond the outermost edge of the excavation and up to full lane (Refer to Municode Section 49-47-1).</p> <p>13□Informational:□"Sidewalks required on both sides of local street as per IDM Chapter 6 - Street Design Requirements. Table 6.2.2 Street Right-of-Way Dimension Standards"</p> <p>14□Informational:□Culd-de-Sacs shall conform to access management standards outlined in Article 8 of the UDC (UDC 8.2.1 G)</p>	
46	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments#2</p> <p>8□Informational:□The "Street Lighting Plan" shall indicate all existing street lights within 500-ft (+/-) of proposed street lights along tangent street sections. Preliminary "written" approval of the "Street Lighting Plan", by the City's Traffic Engineering Department, is required before the utility company (AEP or NEC) can start the design of the street lighting system and determine developer fees, which are required for plat recordation. Traffic Engineering issues a Letter of Authorization to the utility company, allowing for construction of the street lighting system, once this process is complete.</p> <p>9□Informational:□A ROW Construction Permit, issued by PW-Traffic Department (Right-of-Way Division), is required for any work obstructing, closing, or occupying public right-of-way (Reference Chapter 49-2). Work within the Right-of-Way without a permit is subject to daily Non-Compliance Fees (Reference Municode Chapter 49).</p> <p>10□Informational:□Provide the PHT form using 11th edition, or latest edition, of the Trip Generation Manual . A PHT Form is required for any rezoning, site plan or street closure request for developments that are projected to contain 500 or</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>fewer weekday peak hour trips. A traffic impact analysis will be required for developments generating or 501 trips. (Reference UDC Section 3.29)</p> <p>11□Informational:□An Urban Transportation Plan Amendment is required to modify or delete a master planned street. Coordinate with the Traffic Department (TrafficEngineering@cctexas.com) to complete this separate process and requirements.</p> <p>12□Informational:□Any street excavation, utility cut, or utility tap requires a permit issued by the Traffic Department (Right-of-Way Division). Restoration requirements are subject to the street Pavement Condition Index (PCI) and street age. New streets (Any street 0-6 years and / or PCI ≥ 80) will require restoration of 25-ft beyond the outermost edge of the excavation and up to curb to curb repair. Older streets (Any street > 6 years or PCI < 80) will require restoration of 10-ft beyond the outermost edge of the excavation and up to full lane (Refer to Municode Section 49-47-1).</p> <p>13□Informational:□"Sidewalks required on both sides of local street as per IDM Chapter 6 - Street Design Requirements. Table 6.2.2 Street Right-of-Way Dimension Standards"</p> <p>14□Informational:□Culd-de-Sacs shall conform to access management standards outlined in Article 8 of the UDC (UDC 8.2.1 G)</p>	
50	P001	Note	Mark Zans : LD	Closed	this is a preliminary plat.	
51	P001	Note	Mark Zans : LD	Closed	<p>Upadted comment 6/27/2025: Stormwater :Comment still does not address as no mitigation on this set, unless I don't have all pertinent information. Basin Calcs shows increase flow (CFS) but no mitigation. Mitigation methods shall be designed to release the post-development storm water runoff from a site at a controlled rate, which does not exceed the predeveloped peak runoff rate</p>	
52	P001	Note	Mark Zans : LD	Closed	Update flood plain information to FIRM maps dated 10/13/2022/	
26	P001	Note	Caleb Wong : STREET	Closed	PW STR: Please refer to City of Corpus Christi Standards and Specifications for proposing roadwork, curb and gutter, sidewalk, utilities, etc and have the standards included in the plan set and the specifications referenced. Wherever available, please include a table of contents for which standards and specifications were used.	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
26	P001	Note	Caleb Wong : STREET	Closed	PW STR: Please refer to City of Corpus Christi Standards and Specifications for proposing roadwork, curb and gutter, sidewalk, utilities, etc and have the standards included in the plan set and the specifications referenced. Wherever available, please include a table of contents for which standards and specifications were used.	
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30	P001	Note	Caleb Wong : STREET	Closed	PW STR: Please provide typical street section specifications on pavement section materials and thicknesses.	
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31	P001	Note	Caleb Wong : STREET	Closed	PW STR: Google Earth shows a property with singular access to Flour Bluff Dr. The proposed plans show that the singular access is to be demolished. How will access for property owner be provided? Or is the unit abandoned?	
31	P001	Note	Caleb Wong : STREET	Closed	PW STR: Google Earth shows a property with singular access to Flour Bluff Dr. The proposed plans show that the singular access is to be demolished. How will access for property owner be provided? Or is the unit abandoned?	
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22	P002	Note	Caleb Wong : STREET	Closed	PW STR: A person shall be held responsible for damage to and in public right-of-way for the criteria outlined in Sec. 49-39-9 in the City's Municipal Code and will be held responsible for restoring the City assets per Municipal Code Sec. 49-47-1, Sec. 49-54-6 and Sec. 49-49-3. For further information, please email ROWManagement@cctexas.com.	
22	P002	Note	Caleb Wong : STREET	Closed	PW STR: A person shall be held responsible for damage to and in public right-of-way for the criteria outlined in Sec. 49-39-9 in the City's Municipal Code and will be held responsible for restoring the City assets per Municipal Code Sec. 49-47-1, Sec. 49-54-6 and Sec. 49-49-3. For further information, please email ROWManagement@cctexas.com.	
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23	P002	Note	Caleb Wong : STREET	Closed	PW STR: The developer shall be required to utilize the most stringent of sections per classification of roadway without a Geotech report validating the soil type. Please refer to IDM when constructing pavement section.	
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28	P002	Note	Caleb Wong : STREET	Closed	PW STR: Project should address the vertical alignment of the proposed tie-ins to existing infrastructure inside and outside project limits. Vertical alignment should not restrict flow to inlets and should allow smooth riding surface. If current project limits don't allow this, the project limits should be altered to address.	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
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29	P002	Note	Caleb Wong : STREET	Closed	PW STR: Vertical alignment of side streets should not protrude into higher classification roadways.	

1. TOTAL PLATTED AREA CONTAINS 16.735 ACRES OF LAND, INCLUDING RIGHT-OF-WAYS AND EASEMENTS.
2. LOT INFORMATION:
UNIT 1B
SINGLE-FAMILY LOTS (RS-6) = 86
MULTI-FAMILY LOTS (RM-1) = 0
3. FEMA INFORMATION
EFFECTIVE:
PLOTING THE PROPERTY BY SCALE ON FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. 48355C0540G, OCTOBER 13, 2022, INDICATES THE PROPERTY IS LOCATED IN FLOOD ZONE X.
THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.
4. RECEIVING WATERS
THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
5. ALL BEARINGS ARE GRID BEARINGS BASED ON THE GLOBAL POSITIONING SYSTEM, TEXAS STATE PLAIN NAD 83 (93), TEXAS SOUTH ZONE 4205 AND ALL ELEVATIONS ARE BASED ON NAVD88.
6. ALL SET 5/8-INCH RE-BAR HAVE CAPS STAMPED "BRISTER SURVEYING" UNLESS NOTED OTHERWISE.
7. THE SURVEYOR CAN NOT CERTIFY AS TO UN-RECORDED EASEMENTS AND/OR RIGHT-OF-WAY THAT MAY IMPACT THE SUBJECT PROPERTY AND ARE NOT VISIBLE AND APPARENT.
8. CAUTION MUST BE TAKEN WITH PIPELINE MARKERS INDICATING BURIED LINES NOT ON RECORD.
9. THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 18 INCHES ABOVE THE CENTERLINE OF THE HIGHEST ADJACENT ROADWAY OR AS NOTED ON CONSTRUCTION DRAWINGS.
10. THE YARD REQUIREMENTS, AS DEPICTED, IS A REQUIREMENT OF THE CITY OF CORPUS CHRISTI UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
11. PRIVATE ACCESS EASEMENTS, PRIVATE DRAINAGE EASEMENTS, AND PRIVATE UTILITY EASEMENTS WHEN INDICATED ON ANY LOT ARE TO BE OWNED BY THE INDICATED HOA INDICATED IN THESE NOTES, IF AN HOA IS NOT INDICATED, THEN THE EASEMENT IS TO BE OWNED BY THE PROPERTY OWNER THAT THE EASEMENT IS ON.
12. ELECTRICAL EASEMENTS (EE) ARE TO BE OWNED BY THE ELECTRICAL UTILITY COMPANY THAT IS PROVIDING THE ELECTRICAL PRIMARY AND SECONDARY LINES, ELECTRICAL TRANSFORMER, BOXES, PEDESTALS, POLES, AND ANY OTHER APPURTENANCES TO SUPPLY ELECTRICAL POWER TO THE LOT(S).
13. THE PROPERTIES INDICATED WITHIN THIS PLAT IS LOCATED NEAR AIRFIELDS USED BY AIRPLANES AND MAY BE SUBJECT TO AIRCRAFT NOISE, OVER FLIGHT, AND VIBRATION.
14. NO PRIVATE DRIVEWAY ACCESS IS ALLOWED TO JOHN OLIVER DRIVE FROM BLOCK 6, LOT 8, BLOCK 7, LOTS 7 - 8, BLOCK 8, LOTS 7 - 8, BLOCK 9, LOTS 7 - 8.
15. NO PRIVATE DRIVEWAY ACCESS IS ALLOWED TO JENNE MARIE DRIVE FROM BLOCK 6, LOT 14, BLOCK 7, LOTS 1 AND 14, BLOCK 8, LOTS 1 AND 14, BLOCK 9, LOTS 1 AND 14.
16. NO PRIVATE DRIVEWAY ACCESS IS ALLOWED TO CAITLIN CLAIRE DRIVE FROM BLOCK 12, LOTS 15 & 16, BLOCK 10, LOT 39.



PLAT SYMBOL AND LINE LEGEND (NOT ALL MAY BE USED)					
●	PROPERTY CORNER	⊙	FOUND 5/8-INCH RE-BAR	⦿	BLOCK IDENTIFICATION
⦿	FOUND 1/2-INCH IRON PIPE	⦿	FOUND 1-INCH IRON PIPE		
○	SET 5/8" DIAMETER BY 18 INCH LONG RE-BAR				
_____	ADJACENT BOUNDARY LINE	_____	BOUNDARY LINE		
_____	ADJACENT PROPERTY LINE	_____	PROPERTY LINE		
_____	EXISTING ROW CENTER LINE	_____	ROW CENTER LINE		
- - - - -	EXISTING EASEMENT	- - - - -	EASEMENT		
- - - - -	EXISTING YARD REQUIREMENT	- - - - -	YARD REQUIREMENT		
- - - - -	CURRENT FEMA BOUNDARY LINE	- - - - -	PRELIMINARY FEMA BOUNDARY LINE		
PLAT ABBREVIATION LEGEND (NOT ALL MAY BE USED)					
SEC - SECTION	AE - PUBLIC ACCESS EASEMENT	PAE - PRIVATE ACCESS EASEMENT			
VOL - VOLUME	DE - PUBLIC DRAINAGE EASEMENT	PDE - PRIVATE DRAINAGE EASEMENT			
PG - PAGE	UE - PUBLIC UTILITY EASEMENT	PUE - PRIVATE UTILITY EASEMENT			
LT - LOT	WE - PUBLIC WATER EASEMENT	PWE - PRIVATE WATER EASEMENT			
AC - ACRE	WWE - PUBLIC WASTEWATER EASEMENT	PWWE - PRIVATE WASTEWATER EASEMENT			
SF - SQUARE FEET	EE - ELECTRICAL EASEMENT	FEMA - FEDERAL EMERGENCY			
ROW - RIGHT-OF-WAY	TE - TEMPORARY EASEMENT (SEE NOTES)	MANAGEMENT AGENCY			
NB - NON-BUILDABLE	D or DD - LOT DRIVEWAY LOCATION	RPLS - REGISTERED PROFESSIONAL			
YR - YARD REQUIREMENT	GR - GARAGE SET BACK REQUIREMENT	LAND SURVEYOR			
M.R.N.C.T. - MAP RECORDS NUECES COUNTY, TEXAS		LSLS - LICENSED STATE LAND SURVEYOR			
D.R.N.C.T. - DEED RECORDS NUECES COUNTY, TEXAS		PE - PROFESSIONAL ENGINEER			
O.P.R.N.C.T. - OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS					



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4455 South Padre Island Drive Suite 51
Corpus Christi, Texas 78411
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Fax 361-850-1802
bristersurveying@corpus.twbcb.com
Firm Registration No. 10072800

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1608 S. BROWNLEE BOULEVARD
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TBPELS FIRM F-12240

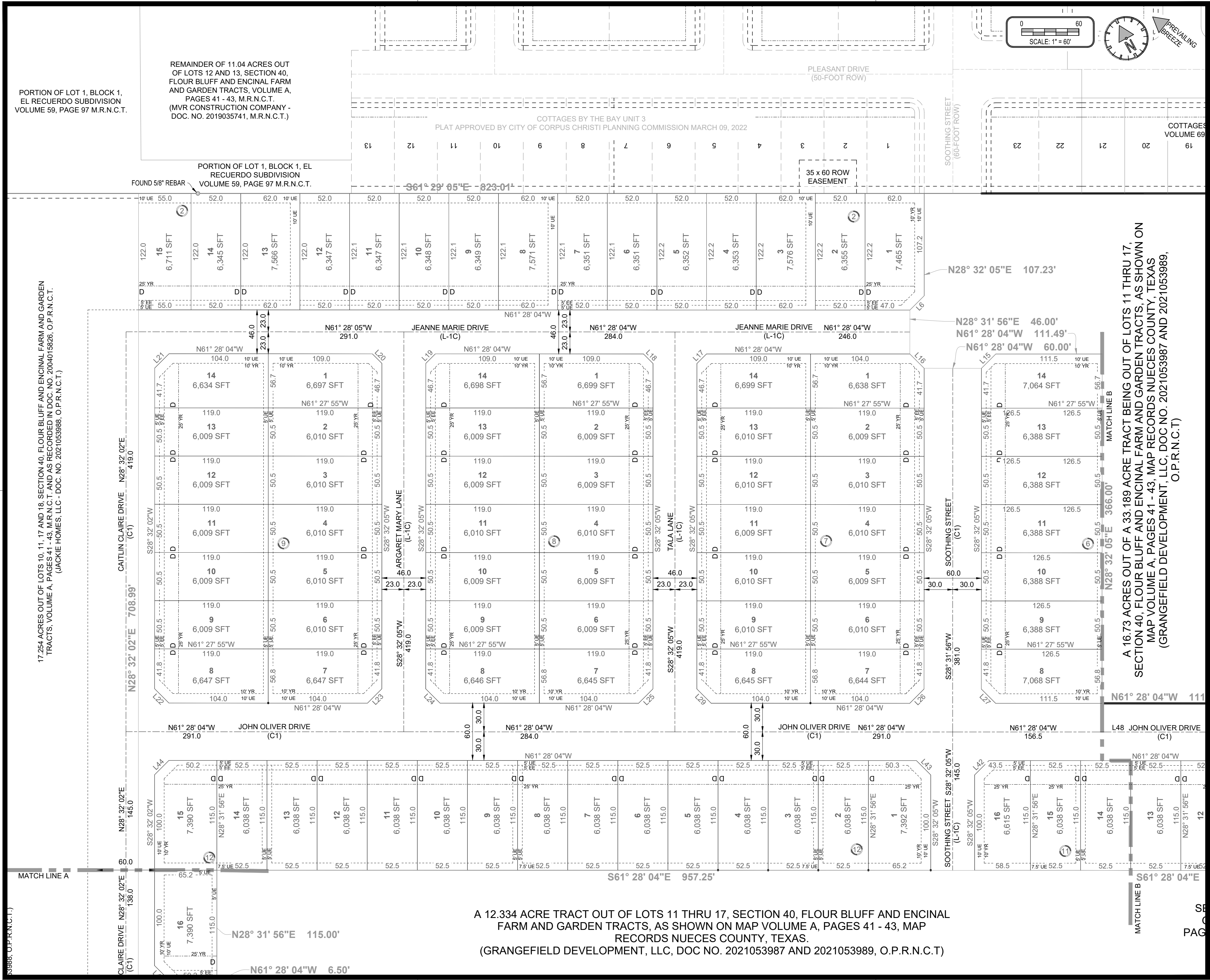
ARINE | LAND DEVELOPMENT



CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT

A 16.735 ACRES OUT OF A 33.189 ACRES TRACT BEING OUT OF LOTS 11 THRU 17, SECTION 40, FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACTS, AS SHOWN ON MAP VOLUME A, PAGES 41 - 43, MAP RECORDS NUCEES COUNTY, TEXAS. SAID 45.523 ACRES TRACT ALSO BEING OUT OF THE TRACTS DESCRIBED IN DEEDS RECORDED IN DOCUMENT NUMBERS 2021053987 AND 2021053989, OFFICIAL PUBLIC RECORDS OF NUCEES COUNTY, TEXAS.

PLAT - FULL SIZE - 18" x 24"
MUNOZ ENGINEERING, LLC © 2022. All Rights Reserved. Grangefield Development LLC/OSO Ranch/Unit 1B/01 DWG/20174-OSO RANCH UNIT 1B/01 (3/2025.dwg)



PORTION OF LOT 1, BLOCK 1,
EL RECUERDO SUBDIVISION
VOLUME 59, PAGE 97 M.R.N.C.T.

REMAINDER OF 11.04 ACRES OUT
OF LOTS 12 AND 13, SECTION 40,
FLOUR BLUFF AND ENCINAL FARM
AND GARDEN TRACTS, VOLUME A,
PAGES 41 - 43, M.R.N.C.T.
(MVR CONSTRUCTION COMPANY -
DOC. NO. 2019035741, M.R.N.C.T.)

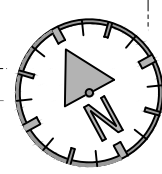
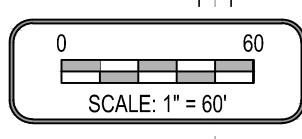
PORTION OF LOT 1, BLOCK 1, EL
RECUERDO SUBDIVISION
VOLUME 59, PAGE 97 M.R.N.C.T.

COTTAGES BY THE BAY UNIT 3
PLAT APPROVED BY CITY OF CORPUS CHRISTI PLANNING COMMISSION MARCH 09, 2022

PLEASANT DRIVE
(60-FOOT ROW)

SOOTHING STREET
(60-FOOT ROW)

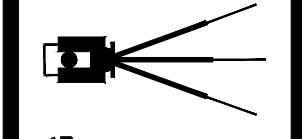
COTTAGES
VOLUME 69



PREVAILING
BREEZE

ENGINEER
RAMIRO MUNOZ III, P.E.
SURVEYOR
RONALD BRISTER, RPLS
OWNER
GRANGEFIELD DEV.
CORPUS CHRISTI, TEXAS 78411
BRISTER SURVEYING, LLC
361-850-1800
361-850-1802
bristersurveying@corpus.twbc.com
TM, RM III
RB
DRAWING DATE
12/23/2024

Brister Surveying
4455 South Padre Island Drive Suite 51
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
bristersurveying@corpus.twbc.com
Firm Registration No. 10072800



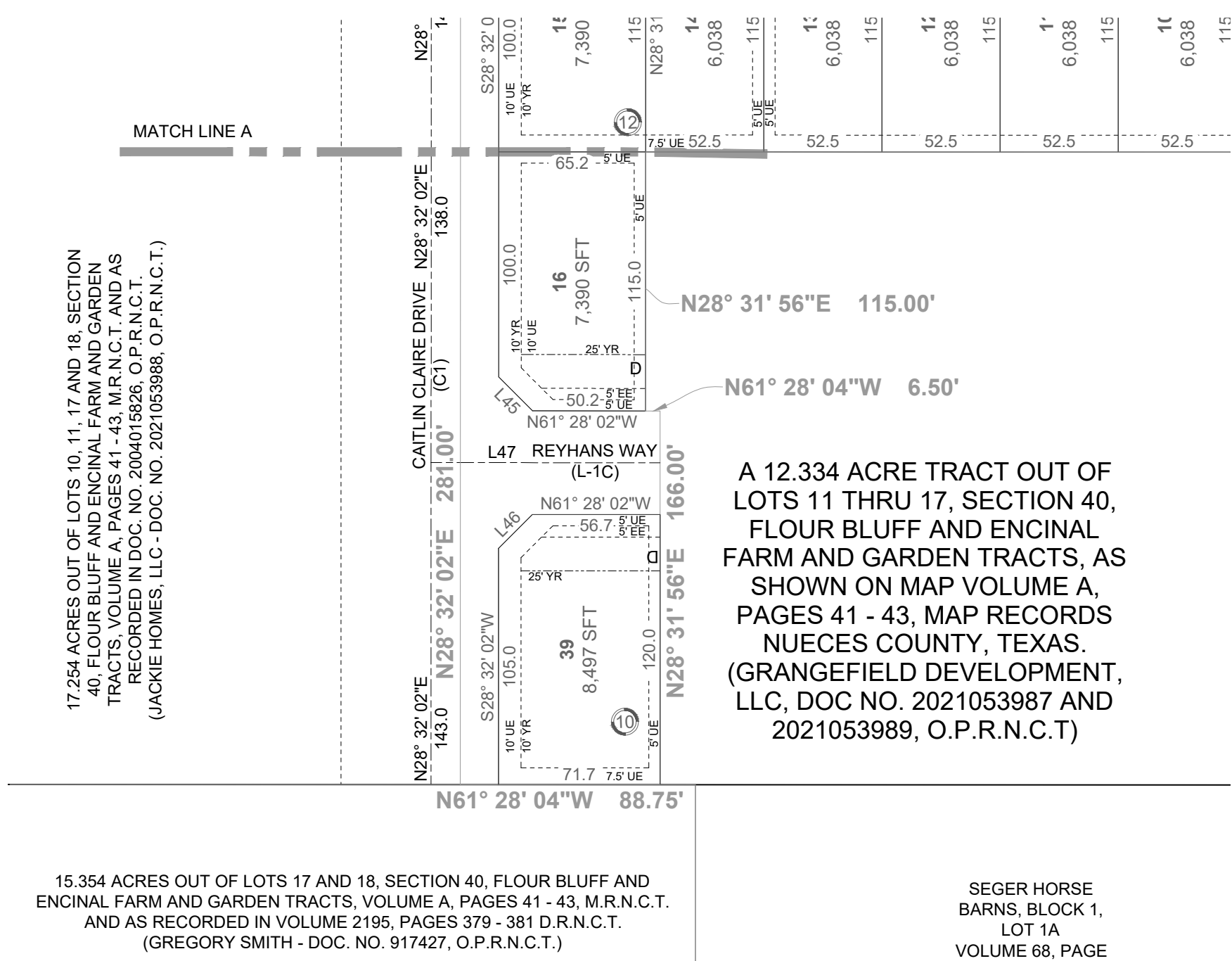
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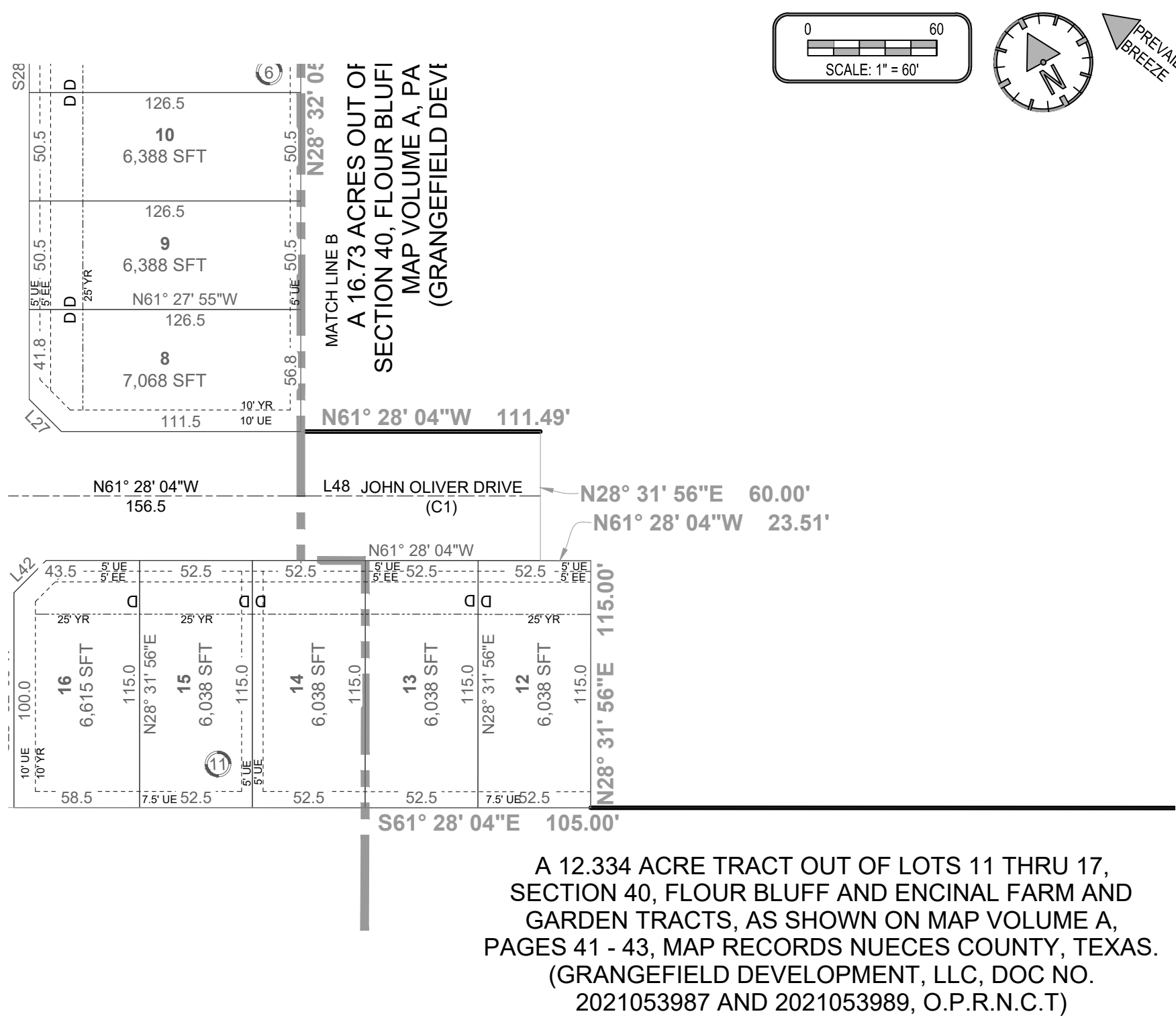
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**PRELIMINARY PLAT OF
OSO RANCH UNIT 1B**
A 16.735 ACRES OUT OF A 33.189 ACRE TRACT BEING OUT OF LOTS 11 THRU 17, SECTION 40, FLOUR BLUFF AND
ENCINAL FARM AND GARDEN TRACTS, AS SHOWN ON MAP VOLUME A, PAGES 41 - 43, MAP RECORDS NUECES
COUNTY, TEXAS. SAID 45.523 ACRE TRACT ALSO BEING OUT OF THE TRACTS DESCRIBED IN DEEDS RECORDED
IN DOCUMENT NUMBERS 2021053987 AND 2021053989, OFFICIAL PUBLIC RECORDS OF NUECES COUNTY, TEXAS.

PLAT - FULL SIZE - 18" x 24"
MUNOZ ENGINEERING, LLC © 2022. All Projected. - Grangefield Development LLC/Oso Ranch/210174 OSO Ranch/11004 - LAND DEVELOPMENT/2 PLATTING/01 PRELIMINARY UNIT 1B/01 DWG/210174 OSO RANCH UNIT 1B/0132025.dwg



LINE TABLE		
LINE ID	LENGTH	BEARING
L6	21.21'	S73° 32' 01"W
L15	21.21'	S73° 32' 01"W
L16	21.21'	N16° 27' 59"W
L17	14.14'	N73° 32' 01"E
L18	14.14'	N16° 27' 59"W
L19	14.14'	N73° 32' 01"E
L20	14.14'	N16° 27' 59"W
L21	21.21'	S73° 31' 59"W
L22	21.21'	S16° 28' 01"E
L23	21.21'	N73° 32' 01"E
L24	21.21'	S16° 27' 59"E
L25	21.21'	N73° 32' 01"E
L26	21.21'	N73° 32' 01"E
L27	21.21'	N16° 27' 59"W
L29	21.21'	S16° 27' 59"E
L42	21.21'	N73° 32' 01"E
L43	21.21'	S16° 27' 59"E
L44	21.21'	S73° 31' 59"W
L45	21.21'	N16° 28' 00"W
L46	21.21'	S73° 32' 00"W
L47	101.74'	N61° 28' 04"W
L48	111.49'	N61° 28' 04"W



PRELIMINARY PLAT OF
OSO RANCH UNIT 1B
A 16.735 ACRES OUT OF A 33.189 ACRE TRACT BEING OUT OF LOTS 11 THRU 17, SECTION 40, FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACTS, AS SHOWN ON MAP VOLUME A, PAGES 41 - 43, MAP RECORDS NUECES COUNTY, TEXAS. SAID 45.523 ACRE TRACT ALSO BEING OUT OF THE TRACTS DESCRIBED IN DEEDS RECORDED IN DOCUMENT NUMBERS 2021053987 AND 2021053989, OFFICIAL PUBLIC RECORDS OF NUECES COUNTY, TEXAS.

MUNOZ ENGINEERING



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Firm Registration No. 10072800

ENGINEER	RAMIRO MUNOZ III, PE
SURVEYOR	RONALD BRISTER, RLPS
OWNER	GRANGFIELD DEV.
ENGINEER OF RECORD	BRISTER SURVEYING
DESIGNED BY	TM, RM III
CHECKED BY	RB
APPROVED BY	
DRAWING DATE	12/23/2024

TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025

PL8690

Replat – Lynnwood Place Unit 1

Lots 1-7, Block D
(1.41 acres)

(District 2). Generally located at 5310 Surrey Lane, east of Surrey Lane and north of Tiger Lane.

Zoned: RS-6

Owner: Foster's Dynamic Design

Surveyor: Brister Surveying

The applicant proposes to replat the property for residential development. All Technical Review Committee comments have been addressed. The submitted Replat complies with the requirements of the Unified Development Code and State law. Staff recommends **approval**.



Merged Document Report

Application No.: PL8690

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
Updated Plat Pg.2 7-1.pdf
Updated Plat Pg.1 7-1.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Marcos Castaneda	marcosc@cctexas.com	-
Mark Zans	markz2@cctexas.com	361-826-3553
Alex Harmon	AlexH2@cctexas.com	361-826-1102
John Gonzales	JGonzalez@cctexas.com	-

[General Comments](#)

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
13	Alex Harmon : DS	Closed	<p>Improvements Required for Recordation, per UDC 8.1.4.</p> <p>A. Streets: No Sidewalks: No B. Water: No Fire hydrants: No C. Wastewater: Yes D. Stormwater: No E. Public open space: No F. Permanent monument markers: No</p> <p>Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM. "</p>	

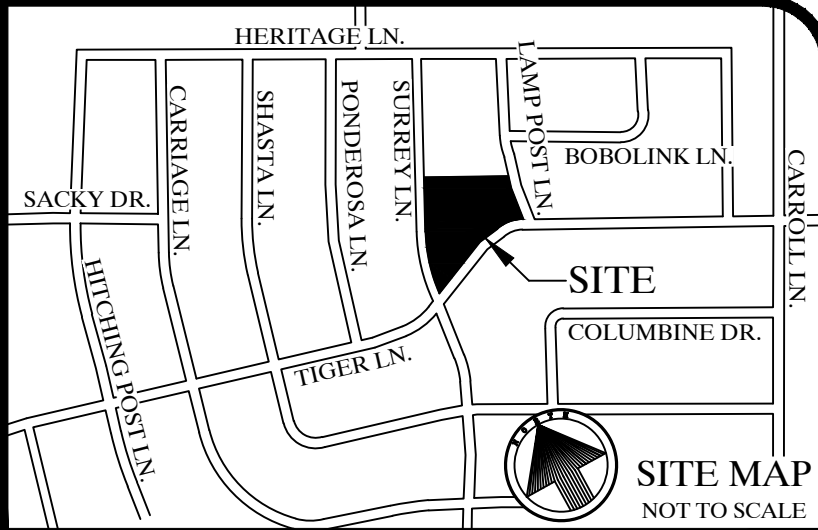
[Corrections in the following table need to be applied before a permit can be issued](#)

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
2	P001	Note	Mark Zans : LD	Closed	Change Al Raymond name to Michael Dice	
3	P001	Note	Mark Zans : LD	Closed	Change all year references to 2025.	
4	P001	Note	Mark Zans : LD	Closed	Plat is a replat.	
5	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by ##/## (date). The deadline for revisions to be submitted is ##/## (date).	
6	P001	Note	Mark Zans : LD	Closed	The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
7	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
10	P001	Note	Mark Zans : LD	Closed	Public Improvement Plans must be submitted prior to plat approval.	
14	P001	Note	Mark Zans : LD	Closed	Park fee: 7 new lots x 462.50 = \$3,237.50	
18	P001	Note	Mark Zans : LD	Closed	<p>Fire comments:</p> <p>Purpose of Plat is to create lots to sell. If construction of single family homes takes place, the fire hydrants are within acceptable distance and the roads are existing. If multiunit construction is proposed, further review will be required. Fire has no further comments at this time.</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
17	P001	Note	Marcos Castaneda : STREET	Closed	Residential: Please review IDM Ch. 3.05: No Adverse Impacts. For new developments and other improvements that will increase the impervious cover, decrease the time of concentration (Tc), or increase peak flows from drainage areas, mitigation of adverse storm water impacts shall be required. Mitigation methods shall be designed to release the post-development storm water runoff from a site at a controlled rate, which does not exceed the predeveloped peak runoff rate. Habitable structures must be mitigated to the 100 yr-storm event, per UDC 8.2.8.	
15	P001	Note	John Gonzales : WW	Closed	Wastewater construction is required for platting (UDC 1.2.1.D & 8.2.7; Wastewater Collection System Standards). All wastewater improvements to be address during Public Improvements Phase.	
16	P001	Note	John Gonzales : WW	Closed	Water construction is not required for platting (UDC 1.2.1.D & 8.2.6; Water Distribution Standards).	

PLAT OF
LYNNWOOD PLACE UNIT 1
BLOCK "D", LOTS 1 - 7

BEING A REPLAT OF BLOCK "D", LYNNWOOD PLACE UNIT 1,
AS SHOWN ON THE PLAT RECORDED IN VOLUME 28, PAGE 27,
MAP RECORDS OF NUECES COUNTY, TEXAS.



Brister Surveying

5506 Cain Drive
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
bristersurveying@corpus.twebc.com
Firm Registration No. 10072800

STATE OF TEXAS
COUNTY OF NUECES

WE, FOSTERS DYNAMIC DESIGN, LLC, DO HEREBY CERTIFY THAT
WE ARE THE OWNERS OF THE PROPERTY SHOWN HEREON, THAT
ALL EASEMENTS AND RIGHT-OF-WAYS AS SHOWN ARE DEDICATED
TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND
MAINTENANCE OF PUBLIC STREETS AND UTILITIES, AND WE
ADOPT THIS PLAT FOR THE PURPOSES OF DESCRIPTION AND
DEDICATION. THIS THE _____ DAY OF _____, 2025.

DAVID FOSTER,
REGISTERED AGENT

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS
APPROVED BY THE PLANNING COMMISSION OF THE CITY OF CORPUS
CHRISTI, TEXAS. THIS THE _____ DAY OF _____, 2025

MICHAEL YORK
CHAIRMAN

MICHAEL DICE
SECRETARY

STATE OF TEXAS
COUNTY OF NUECES

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES
COUNTY, TEXAS, HEREBY CERTIFY THAT THE FOREGOING MAP
DATED THE _____ DAY OF _____, 2025, WITH ITS
CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY
OFFICE THE _____ DAY OF _____, 2025 AT _____ O'CLOCK
_____ M AND DULY RECORDED IN VOLUME _____, PAGE _____ MAP
RECORDS OF NUECES COUNTY, TEXAS. WITNESS MY HAND AND SEAL
OF SAID COURT AT MY OFFICE, IN CORPUS CHRISTI, TEXAS.

DOCUMENT NO. _____

KARA SANDS
COUNTY CLERK

DEPUTY

STATE OF TEXAS
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY
PERSONALLY APPEARED, DAVID FOSTER, PROVEN TO ME TO BE THE
PERSON WHOSE SIGNATURE THEY MADE ON THE FOREGOING
INSTRUMENT OF WRITING, AND THEY ACKNOWLEDGED TO ME
THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND
CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND
AND SEAL OF OFFICE. THIS THE _____ DAY OF
_____, 2025.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS
APPROVED BY THE DEVELOPMENT SERVICES ENGINEER OF THE
CITY OF CORPUS CHRISTI, TEXAS.

THIS THE _____ DAY OF _____, 2025

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
COUNTY OF NUECES

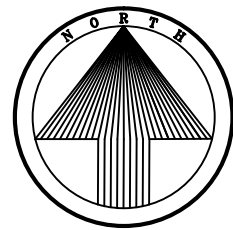
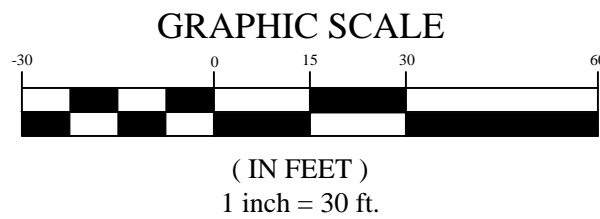
I, RONALD E. BRISTER, A REGISTERED PROFESSIONAL LAND SURVEYOR
OF BRISTER SURVEYING, HAVE PREPARED THE FOREGOING MAP FROM
A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IT IS
TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION
AND BELIEF.

THIS THE _____ DAY OF _____, 2025

RONALD E. BRISTER
REGISTERED PROFESSIONAL
LAND SURVEYOR
LICENSE NO. 5407

NOTES:

1. THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATIONAL" USE.
2. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48355C 0510 G, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022.
3. MEASURED BEARINGS ARE BASED ON GLOBAL POSITIONING SYSTEM NAD 83 (93) 4205 DATUM.
4. SET 5/8" RE-BAR = STEEL RE-BAR SET WITH YELLOW PLASTIC CAP LABELED BRISTER SURVEYING.
5. THE TOTAL PLATTED AREA IS 1.416 ACRES.
6. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.



PLAT OF LYNNWOOD PLACE UNIT 1 BLOCK "D", LOTS 1 - 7

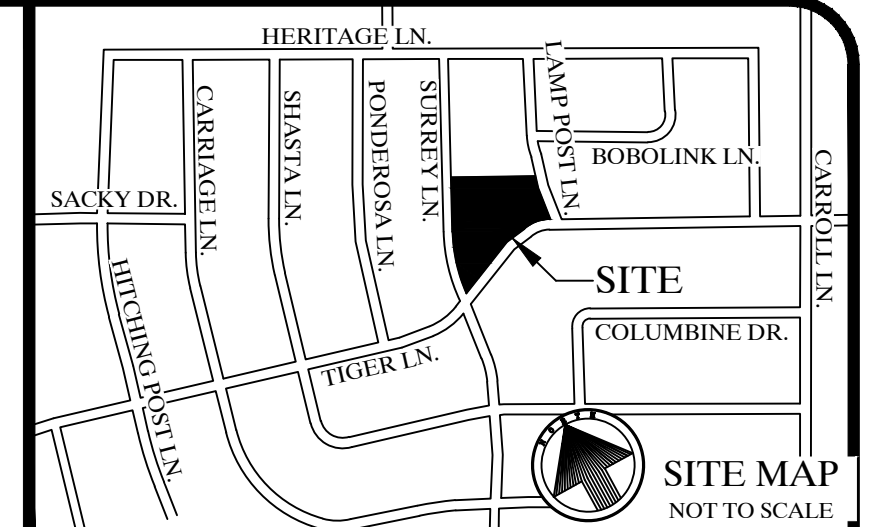
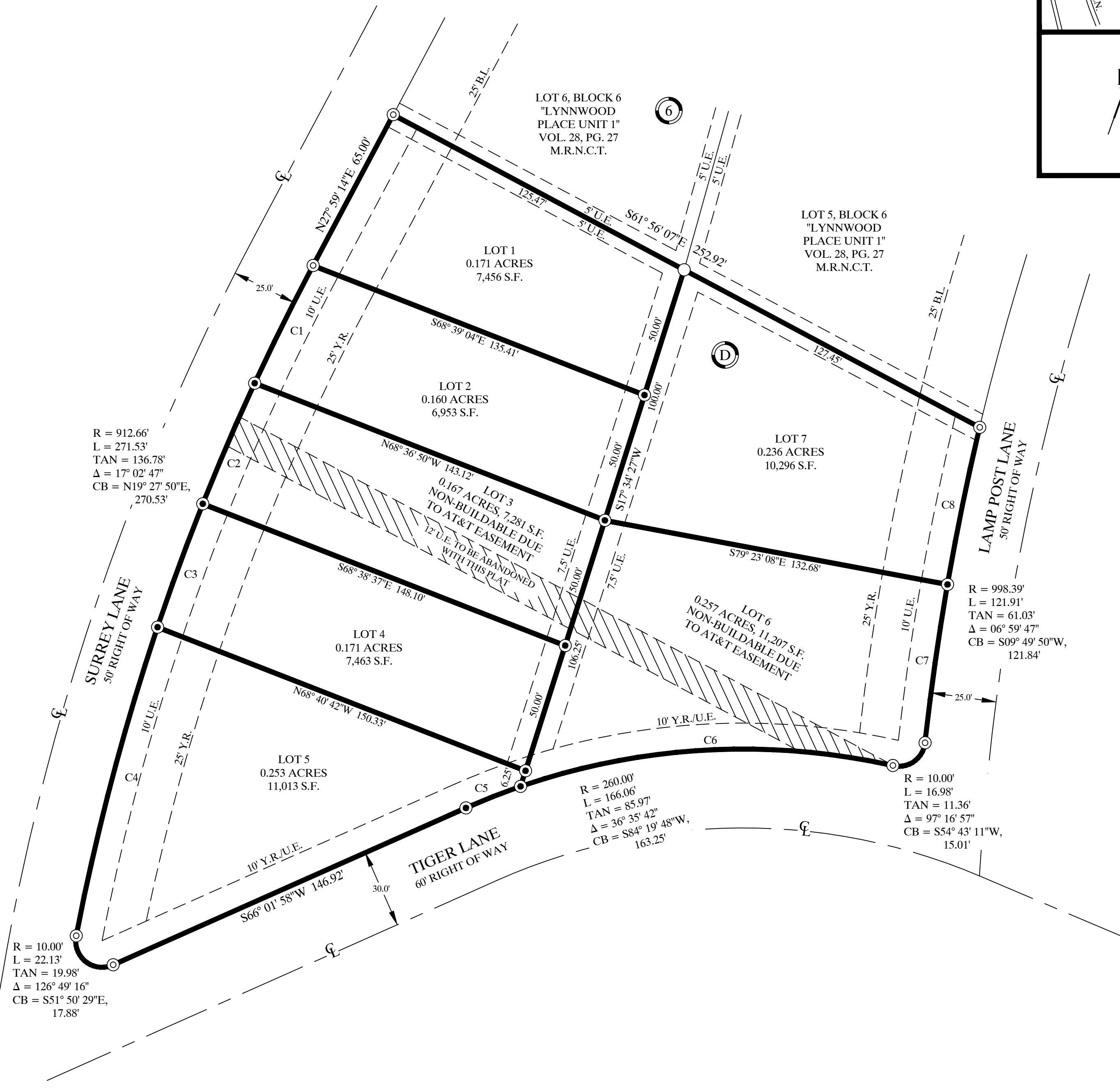
BEING A REPLAT OF BLOCK "D", LYNNWOOD PLACE UNIT 1,
AS SHOWN ON THE PLAT RECORDED IN VOLUME 28, PAGE 27,
MAP RECORDS OF NUECES COUNTY, TEXAS.

C1 R = 912.66' L = 50.00' TAN = 25.01' Δ = 03° 08' 20" CB = S26° 25' 04"W, 49.99'	C5 R = 260.00' L = 22.33' TAN = 11.17' Δ = 04° 55' 19" CB = N68° 29' 37"E, 22.33'
C2 R = 912.66' L = 50.00' TAN = 25.01' Δ = 03° 08' 20" CB = S23° 16' 44"W, 49.99'	C6 R = 260.00' L = 143.73' TAN = 73.75' Δ = 31° 40' 23" CB = S86° 47' 28"W, 141.91'
C3 R = 912.66' L = 50.00' TAN = 25.01' Δ = 03° 08' 20" CB = S20° 08' 23"W, 49.99'	C7 R = 998.39' L = 60.85' TAN = 30.44' Δ = 03° 29' 32" CB = S08° 04' 42"W, 60.84'
C4 R = 912.66' L = 121.53' TAN = 60.86' Δ = 07° 37' 47" CB = S14° 45' 20"W, 121.44'	C8 R = 998.39' L = 61.06' TAN = 30.54' Δ = 03° 30' 15" CB = S11° 34' 36"W, 61.05'

NOTES:

1. THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATIONAL" USE.
2. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48355C 0510 G, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022.
3. MEASURED BEARINGS ARE BASED ON GLOBAL POSITIONING SYSTEM NAD 83 (93) 4205 DATUM.
4. SET 5/8" RE-BAR = STEEL RE-BAR SET WITH YELLOW PLASTIC CAP LABELED BRISTER SURVEYING.
5. THE TOTAL PLATTED AREA IS 1.416 ACRES.
6. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.

- = SET 5/8" RE-BAR
- = FOUND 5/8" RE-BAR
- = PROPERTY CORNER NO ACCESS



Brister Surveying

5506 Cain Drive
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
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Firm Registration No. 10072800

LEGEND:
B.L. = BUILDING LINE
CL = CENTERLINE
D.E. = DRAINAGE EASEMENT
DOC. NO. = DOCUMENT NUMBER
M.R.N.C.T. = MAP RECORDS OF NUECES COUNTY, TEXAS

PG. = PAGE
R.O.W. = RIGHT OF WAY
S.F. = SQUARE FEET
U.E. = UTILITY EASEMENT
VOL. = VOLUME
Y.R. = YARD REQUIREMENT

DATE OF MAP: 1 JULY 2025

**TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025**

PL8773

Replat – Bessar Park

Lot 8R Block 5

(0.24 Ac.)

(District 2). Generally located at 223 Rosebud Ln, south of Rosebud Ln. and east of Santa Fe Street.

Zoned: RS-6

Owner: Southern Builders Encore, LLC

Surveyor: Texas Geo Tech

The applicant proposes to replat the property to combine several fractional lots to one. All Technical Review Committee comments have been addressed. The submitted Replat complies with the requirements of the Unified Development Code and State law. Staff recommends **approval**.

**Merged Document Report****Application No.: PL8773**

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
250612-UTILITY.R1.pdf
250612-PLAT.R1.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Alex Harmon	AlexH2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
8	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: No Sidewalks: No B. Water: No Fire hydrants: May be required at site development C. Wastewater: No D. Stormwater: No E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.	

[Corrections in the following table need to be applied before a permit can be issued](#)

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
2	P001	Note	Mark Zans : LD	Closed	Park fee: 1 lot x 462.50 = 462.50	
3	P001	Note	Mark Zans : LD	Closed	Plat is a replat	
4	P001	Note	Mark Zans : LD	Closed	Plat is a non-public notice plat.	
5	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 7/23/2025 The deadline for revisions to be submitted is 7/14/2025	
6	P001	Note	Mark Zans : LD	Closed	The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
7	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
9	P001	Note	Mark Zans : LD	Closed	Change development services to Planning Commission	
10	P001	Note	Mark Zans : LD	Closed	Add Chairman name Michael York and provide signature line.	

STATE OF TEXAS
COUNTY OF NUECES

WE, SOUTHERN BUILDERS ENCORE, LLC., HEREBY CERTIFIES THAT WE ARE THE OWNERS OF THE LANDS EMBRACED WITHIN THE BOUNDARIES OF THE FORGOING PLAT; THAT IT HAS HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN; THAT STREETS AS SHOWN ARE DEDICATED TO THE PUBLIC FOREVER; THAT ALL EASEMENTS ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND USE OF PUBLIC UTILITIES; THAT THIS MAP WAS MADE FOR THE PURPOSE OF DESCRIPTION AND DEDICATION.

THIS THE_____ DAY OF _____ 2025.

CHRISTOPHER P. MONTALVO, MANAGER

STATE OF TEXAS
COUNTY OF NUECES

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY
CHRISTOPHER MONTALVO.

THIS THE_____ DAY OF _____ 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED
ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS BY THE PLANNING
COMMISSION.

THIS THE_____ DAY OF _____ 2025.

MICHAEL YORK CHAIRMAN

MICHAEL DICE SECRETARY

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED
BY THE DEVELOPMENT SERVICES ENGINEER OF THE CITY OF CORPUS
CHRISTI, TEXAS.

THIS THE_____ DAY OF _____ 2025.

BRIA WHITMIRE, P.E. CFM, CPM
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
COUNTY OF NUECES

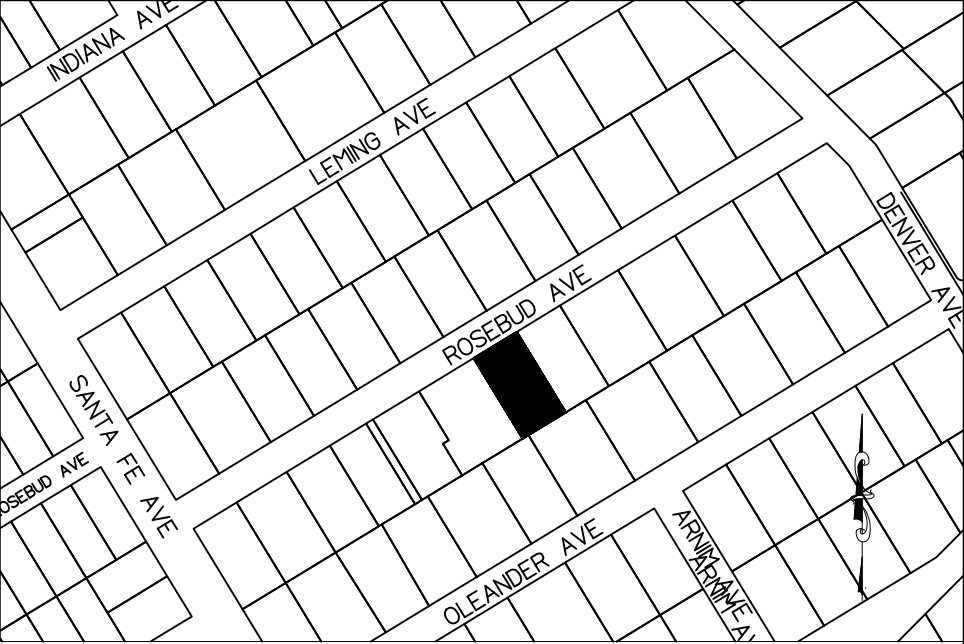
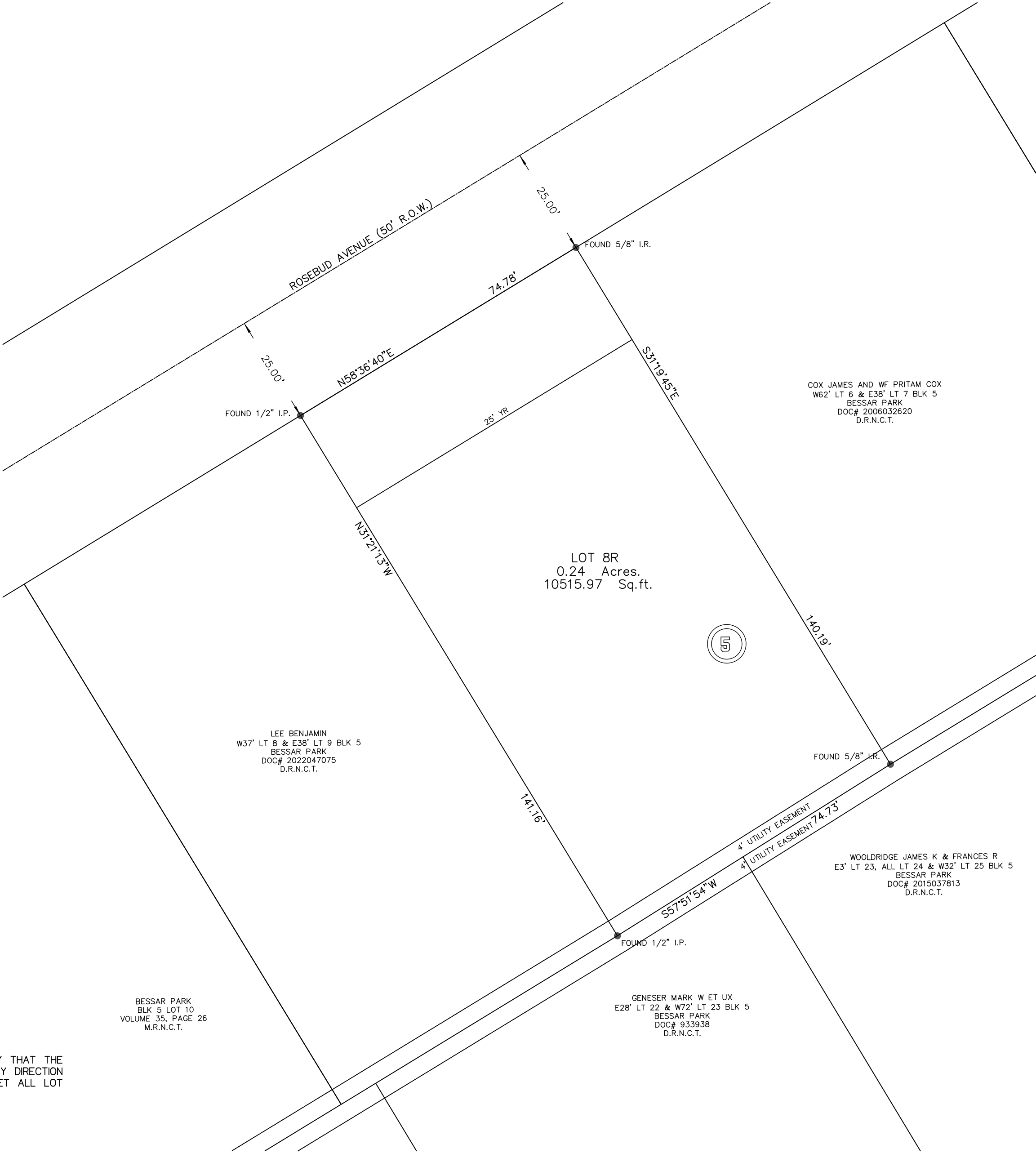
I, JARREL L. MOORE, A REGISTERED PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IS TRUE AND CORRECT; THAT I HAVE BEEN ENGAGED UNDER CONTRACT TO SET ALL LOT AND BLOCK CORNERS AND COMPLETE SUCH OPERATIONS WITHOUT DELAY.

THIS THE ____ DAY OF _____ 2025.

JARREL L. MOORE
REGISTERED PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4854

BESSAR PARK BLOCK 5, LOT 8R

BEING A RE-PLAT OF THE WEST 37.0 FEET OF LOT 7 AND EAST 38.0 FEET OF LOT 8, BLOCK 5, BESSAR PARK, AN ADDITION TO THE CITY OF CORPUS CHRISTI, NUECES COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 6, PAGE 38, MAP RECORDS OF NUECES COUNTY, TEXAS.



LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

- 1) THE TOTAL PLATTED AREA CONTAINS 0.24 ACRES OF LAND.
- 2) A 5/8" DIAMETER STEEL REBAR WAS SET AT EVERY CORNER, EXCEPT OTHERWISE SPECIFIED.
- 3) THE YARD REQUIREMENT, AS DEPICTED IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
- 4) PER FLOOD INSURANCE RATE MAP, MAP INDEX, COMMUNITY-PANEL NUMBER 48355C0320G, MAP REVISED 10/13/2022, THE SUBJECT PROPERTY IS LOCATED IN ZONE X AREAS OF MINIMAL FLOOD HAZARD.
- 5) ALL BEARINGS REFER TO THE TEXAS STATE PLANE COORDINATE SYSTEM OF 1983, TEXAS SOUTH ZONE.
- 6) THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE CORPUS CHRISTI BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE CORPUS CHRISTI BAY AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE CORPUS CHRISTI BAY AS "CONTACT RECREATION" USE.
- 7) PROPOSED DRIVEWAY ACCESS TO A PUBLIC CITY STREET SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS OUTLINED IN ARTICLE 7 OF THE UDC (UDC 7.1.7)
- 8) DURING THE DEVELOPMENT OF THE SITE, ANY INCREASE IN STORMWATER RUNOFF FLOW RATES MUST BE MITIGATED IN ACCORDANCE WITH UDC 8.2.8A, 8.2.B, AND IDM 3.05 RESULTING IN NO ADVERSE IMPACT BETWEEN EXISTING CONDITIONS AND PROPOSED CONDITIONS.

STATE OF TEXAS
COUNTY OF NUECES

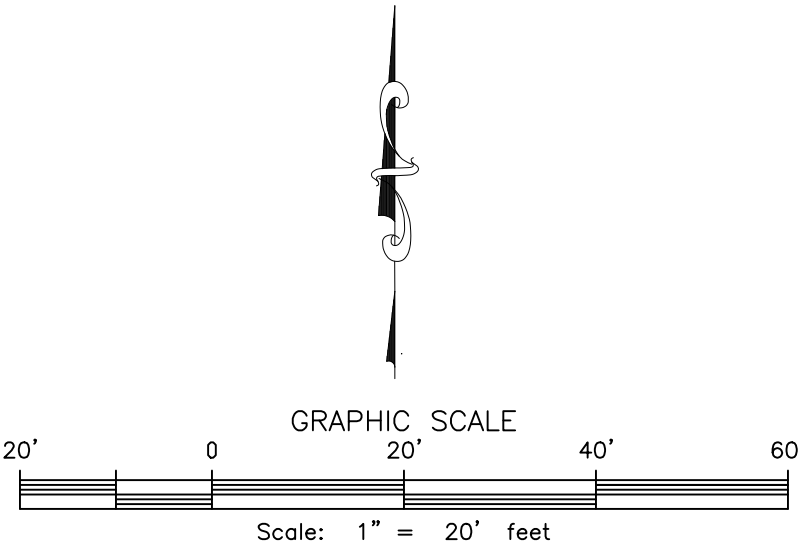
I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE DAY OF _____ 2025, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____ 2025, AT _____ O'CLOCK _____ M. AND DULY RECORDED THE _____ DAY OF _____ 2025, AT _____ O'CLOCK _____ M. IN VOLUME _____, PAGE _____, MAP RECORDS NUECES COUNTY, TEXAS.

KARA SANDS, COUNTY CLERK
NUECES COUNTY, TEXAS

AT _____ O'CLOCK _____ M.

_____, 2025

BY: _____ DEPUTY



TEXAS GEO TECH
LAND SURVEYING, INC
5525 S. STAPLES ST. SUITE B2
Corpus Christi, TX 78411
(361) 993-0808 Fax (361) 993-2955
JOB # 250612
JUNE 16, 2025

TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025

PL8768

Replat – Surrey Place Unit 1

Lots 3A & 3B, Block 25

(1.84 Acres)

(District 3). Generally located at 5354 Kostoryz Road, east of Kostoryz Road, and north of Sokol Drive.

Zoned: CN-1

Owner: SNF NNN, LLC.

Surveyor: Brister Surveying

The applicant proposes to replat the property for commercial development. All Technical Review Committee comments have been addressed. The submitted Replat complies with the requirements of the Unified Development Code and State law. Staff recommends **approval**.

**Merged Document Report****Application No.: PL8768**

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
Updated Plat 7-9.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
8	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: No Sidewalks: No B. Water: No Fire hydrants: No C. Wastewater: No D. Stormwater: No E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.	

Corrections in the following table need to be applied before a permit can be issued

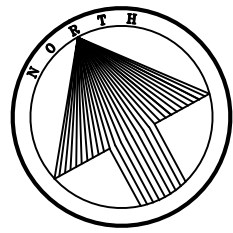
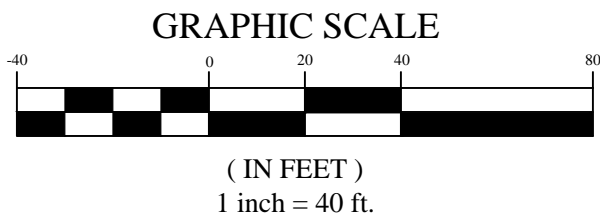
Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
6	P001	Note	Alex Harmon : DS	Closed	Access easement agreement may need to be made between Lot 3B and Lot 3A. Lot 3A must show that fire trucks can turn around on their lot in the case a fence is constructed in the future, if not, provide access easement.	
7	P001	Note	Alex Harmon : DS	Closed	Provide 7.5' U.E. on east side of lots. Per IDM 5.02.01.a. WW UEs shall be a minimum width of 15 feet.	
2	P001	Note	Mark Zans : LD	Closed	Plat is a replat.	
3	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 7/25/2025 The deadline for revisions to be submitted is 7/14/2025	
4	P001	Note	Mark Zans : LD	Closed	The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
5	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
9	P001	Note	Mark Zans : LD	Closed	Increase font size on road names to make readable.	
10	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 1-10</p> <p>1PlatNote: All code reference is based on currently adopted International Fire Code (IFC) 2021 and Corpus Christi Water Distribution Standards.</p> <p>2Plat"Commercial Development shall have a fire flow of 1,500 GPM with 20 psi residual Fire hydrant every 300 feet and operational."</p> <p>3Plat507.5.1 (amendment) Where Required: All premises, other than one-family detached dwellings, where buildings or portions of buildings are located more than 150 feet from a fire hydrant shall be provided with approved on-site hydrants and water mains capable of supplying the fire flow require by the fire official. The minimum arrangement being so as to have a hydrant available for distribution of hose to any portion of building on the premises at distances not exceeding 300 feet.</p> <p>4Infor.507.5.4 Obstruction. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Note: Hose</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>lay from a hydrant will not cross an arterial street.</p> <p>5 Infor. 912.2.3 (amendment) Proximity to Hydrant:(if required-occupant load over 100) Fire department connections (FDC) for each sprinkler system or standpipe system shall be located not more than 100 feet from the nearest fire hydrant connected to an approved water source</p> <p>6 Infor. 503.1.1 (amendment) Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall allow access to three (3) sides of buildings in excess of fifteen thousand (15,000) square feet and all sides for buildings in excess of thirty thousand (30,000) square feet.</p> <p>7 Infor. 3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p> <p>8 Infor. 102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>9 Infor. 503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>10 Infor. Note: An accessible road and a suitable water supply is required once construction materials are brought on site.</p>	
11	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 11-20</p> <p>11 Infor. 503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>12 Infor. D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>13 Infor. "The minimum required width of 20 feet that shall be maintained means a clear unobstructed path that allows the passage of fire apparatus.</p> <p>1. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2. Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street."</p> <p>14 Infor. "Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in. Note: The turning radius for fire apparatus should not be less than 45 degrees and curb to curb 36 feet. As a result, developers should be particularly careful not to design streets with acute angles that would prevent fire apparatus from completing a turn without having to back up to negotiate the turn."</p> <p>15 Infor. D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater</p> <p>16 Infor. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.</p> <p>17 Infor. D105.3 Proximity to building. At least</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
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12	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 21-24</p> <p>21Infor.Table D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.</p> <p>22Infor.Due to all the above requirements for fire accessible access roads to these existing buildings, it will become necessary to provide a documented MOU between the two owners not to block fire access lanes by any means.</p> <p>23Infor.D503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>24Infor.D103.5 Fire apparatus access road gates. If installed-Gates securing the fire apparatus access roads shall comply with all the following criteria: Single gate width shall not be less than 20 feet. 12 feet gate width is required for a divided roadway. Electric gates shall be equipped with a means of opening the gate by fire department personnel for</p>	

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13	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 25</p> <p>It is standard comments for commercial property. I see that the buildings were existing, but i believe one property will become a restaurant. So, it became necessary to spell out hydrant distances if a sprinkler system will need to be added. Too, I make a comment regarding fire access, stating "Due to all the above requirements for fire accessible access roads to these existing buildings, it will become necessary to provide a documented MOU between the two owners not to block fire access lanes by any means."</p>	



PLAT OF SURREY PLACE UNIT 1 BLOCK 25, LOTS 3A & 3B

BEING A REPLAT OF BLOCK 25, LOT 3, "SURREY PLACE UNIT 1", AS SHOWN ON A MAP RECORDED IN VOLUME 41, PAGE 114, MAP RECORDS NUECES COUNTY, TEXAS AND BEING THE SAME TRACT OF LAND DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2023038870, OFFICIAL RECORDS NUECES COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF NUECES

WE, SNF NNN, LLC, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN HEREON, THAT ALL EASEMENTS AND RIGHT-OF-WAYS AS SHOWN ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND MAINTENANCE OF PUBLIC STREETS AND UTILITIES, AND WE ADOPT THIS PLAT FOR THE PURPOSES OF DESCRIPTION AND DEDICATION. THIS THE _____ DAY OF _____, 2025.

ROYA FARAHNAKIAN,
TRUSTEE OF FARAHNAKIAN TRUST

STATE OF TEXAS
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, ROYA FARAHNAKIAN, PROVEN TO ME TO BE THE PERSON WHOSE SIGNATURE THEY MADE ON THE FOREGOING INSTRUMENT OF WRITING, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE _____ DAY OF _____, 2025.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE DEVELOPMENT SERVICES ENGINEER OF THE CITY OF CORPUS CHRISTI, TEXAS.

THIS THE _____ DAY OF _____, 2025

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE PLANNING COMMISSION OF THE CITY OF CORPUS CHRISTI, TEXAS. THIS THE _____ DAY OF _____, 2025

MICHAEL YORK
CHAIRMAN

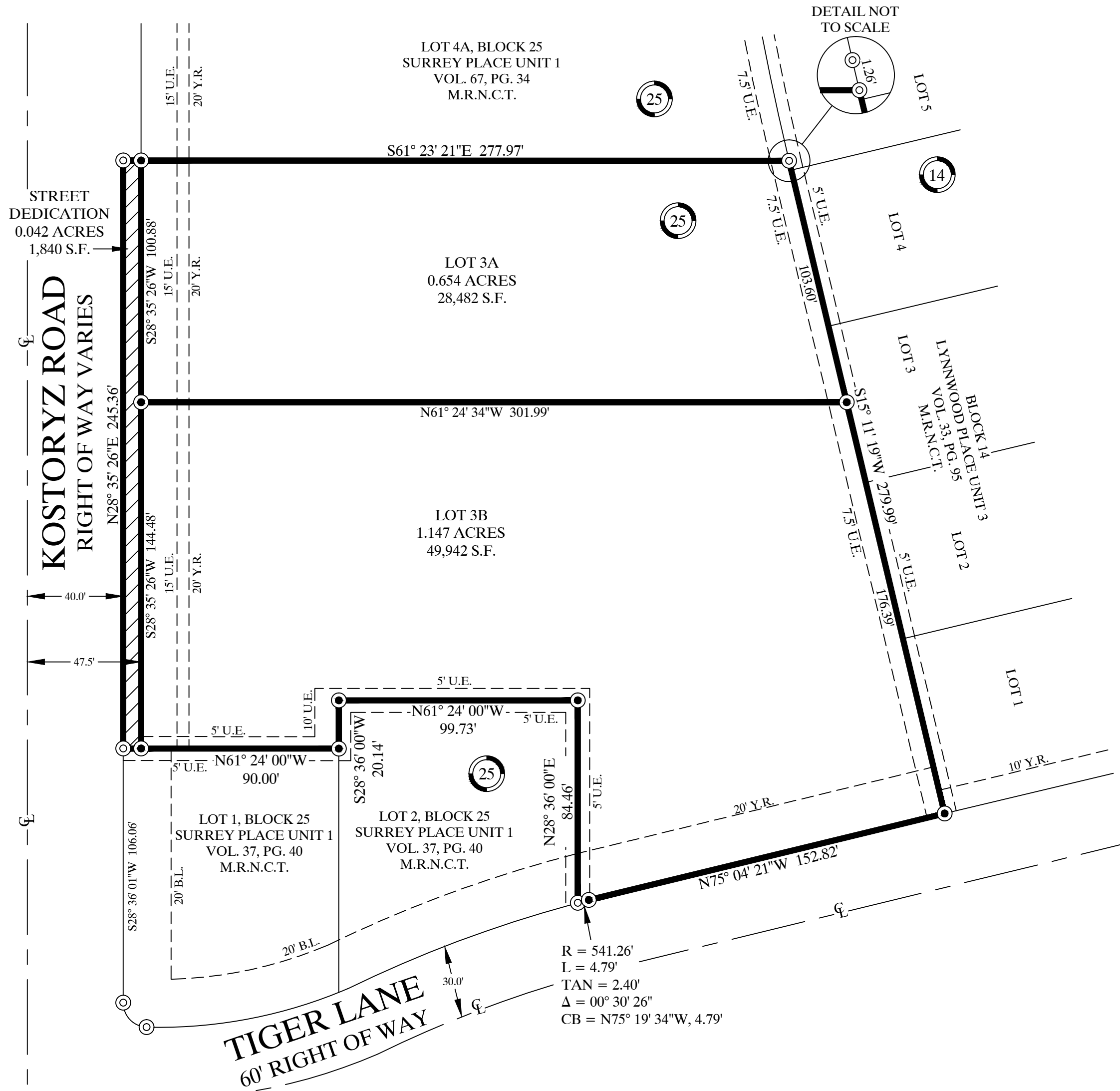
MICHAEL DICE
SECRETARY

STATE OF TEXAS
COUNTY OF NUECES

I, RONALD E. BRISTER, A REGISTERED PROFESSIONAL LAND SURVEYOR OF BRISTER SURVEYING, HAVE PREPARED THE FOREGOING MAP FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

THIS THE _____ DAY OF _____, 2025

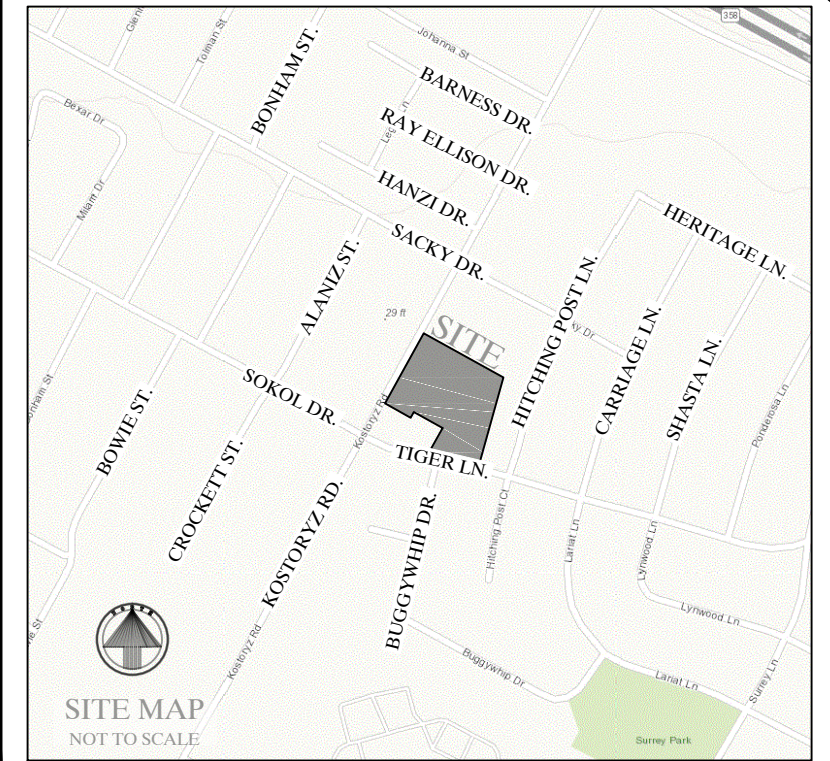
RONALD E. BRISTER
REGISTERED PROFESSIONAL
LAND SURVEYOR
LICENSE NO. 5407



LEGEND:
B.L. = BUILDING LINE
CL = CENTERLINE
M.R.N.C.T. = MAP RECORDS OF NUECES
COUNTY, TEXAS

PG. = PAGE
S.F. = SQUARE FEET
U.E. = UTILITY EASEMENT
VOL. = VOLUME
Y.R. = YARD REQUIREMENT

● = SET 5/8" RE-BAR
⊙ = FOUND 5/8" RE-BAR



Brister Surveying

5506 Cain Drive
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
bristersurveying@corpus.twcba.com
Firm Registration No. 10072800

NOTES:

1. THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATERS AS "CONTACT RECREATIONAL" USE.
2. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NOS. 48355C 0510 G, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022.
3. MEASURED BEARINGS ARE BASED ON GLOBAL POSITIONING SYSTEM NAD 83 (93) 4205 DATUM.
4. SET 5/8" RE-BAR = STEEL RE-BAR SET WITH YELLOW PLASTIC CAP LABELED BRISTER SURVEYING.
5. THE TOTAL PLATTED AREA IS 1.843 ACRES, INCLUDING STREET DEDICATION.
6. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
7. ANY INCREASE IN STORMWATER RUNOFF FLOW RATES SHALL BE MITIGATED TO COMPLY WITH UDC 8.2.A, 8.2.B.B., AND IDM 3.05.
8. SHARED OR CROSS ACCESS SHALL BE ALLOWED ACROSS LOT LINES.

STATE OF TEXAS
COUNTY OF NUECES

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, HEREBY CERTIFY THAT THE FOREGOING MAP DATED THE _____ DAY OF _____, 2025, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____, 2025 AT _____ O'CLOCK _____ AND DULY RECORDED IN VOLUME _____, PAGE _____ MAP RECORDS OF NUECES COUNTY, TEXAS. WITNESS MY HAND AND SEAL OF SAID COURT AT MY OFFICE, IN CORPUS CHRISTI, TEXAS.

DOCUMENT NO. _____

KARA SANDS
COUNTY CLERK

DEPUTY

DATE OF MAP: 9 JULY 2025

TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025

PL8736

Replat – Flour Bluff Estates

Lots 5R and 15R, Block E

(1.76 Acres)

(District 4). Generally located at 10414 South Padre Island Drive, east of Waldron Road and north of South Padre Island Drive.

Zoned: CG-1

Owner: KPH Investments

Surveyor: Urban Engineering

The applicant proposes to replat the property for commercial development. All Technical Review Committee comments have been addressed. The submitted Replat complies with the requirements of the Unified Development Code and State law. Staff recommends **approval**.



Merged Document Report

Application No.: PL8736

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
P0000070241_20250611.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
23	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: No Sidewalks: No B. Water: No Fire hydrants: No C. Wastewater: Yes D. Stormwater: No E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
1	P001	Note	Mark Zans : LD	Closed	<p>Please add the below 4 notes regarding access/drainage onto the state roadway system.</p> <ul style="list-style-type: none"> •No increase in stormwater discharge to the State right-of-way will be accepted by TxDOT. •TxDOT permits will be issued in accordance with access management standards and all applicable state and federal laws, including relevant rules and regulations. Considerations will include access connection spacing, materials, geometrics, accessibility, and other design specifications, as well as the impact on drainage and hydraulics, utility location or relocation, and environmental effects resulting from the requested construction of an access connection (43 Tex. Admin. Code § 11.52, 2020). •Drainage improvements must accommodate runoff from the upstream drainage area in its anticipated maximum "build-out" or "fully developed" condition and should be designed to prevent overloading the capacity of the downstream drainage system. •If the owner responsible for maintaining the permanent stormwater or water quality control fails to maintain it to TxDOT ROW standards, the owner must rectify the issue. •Any development that anticipates an increase in existing traffic generation may be required to conduct a traffic study. The necessary improvements identified in the traffic study may need to be constructed by the developer, based on TxDOT's discretion and approval, prior to the access connection being established. 	
1	P001	Note	Mark Zans : LD	Closed	<p>Please add the below 4 notes regarding access/drainage onto the state roadway system.</p> <ul style="list-style-type: none"> •No increase in stormwater discharge to the State right-of-way will be accepted by TxDOT. •TxDOT permits will be issued in accordance with access management standards and all applicable state and federal laws, including relevant rules and regulations. Considerations will include access connection spacing, materials, geometrics, accessibility, and other design specifications, as well as the impact on drainage and hydraulics, utility location or relocation, and environmental effects resulting from the requested construction of an access connection (43 Tex. Admin. Code § 11.52, 2020). •Drainage improvements must accommodate 	

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2	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 1-10</p> <p>1PlatNote: All code reference is based on currently adopted International Fire Code (IFC) 2021 and Corpus Christi Water Distribution Standards.</p> <p>2Plat"Commercial Development shall have a fire flow of 1,500 GPM with 20 psi residual Fire hydrant every 300 feet and operational."</p> <p>3Plat507.5.1 (amendment) Where Required: All premises, other than one-family detached dwellings, where buildings or portions of buildings are located more than 150 feet from a fire hydrant shall be provided with approved on-site hydrants and water mains capable of supplying the fire flow require by the fire official. The minimum arrangement being so as to have a hydrant available for distribution of hose to any portion of building on the premises at distances not exceeding 300 feet.</p> <p>4Infor.507.5.4 Obstruction. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Note: Hose lay from a hydrant will not cross an arterial street.</p> <p>5Infor.912.2.3 (amendment) Proximity to Hydrant: Fire department connections (FDC) for each sprinkler system or standpipe system shall be located not more than 100 feet from the nearest fire hydrant connected to an approved water source</p>	

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					<p>6 Infor. 503.1.1 (amendment) Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall allow access to three (3) sides of buildings in excess of fifteen thousand (15,000) square feet and all sides for buildings in excess of thirty thousand (30,000) square feet.</p> <p>7 Infor. 3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p> <p>8 Infor. 102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>9 Infor. 503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>10 Infor. Note: An accessible road and a suitable water supply is required once construction materials are brought on site.</p>	
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4	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 19-24</p> <p>19 Infor. D503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p>	

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4	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 19-24</p> <p>19 Infor. 503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p> <p>20 Infor. 503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to</p>	

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					<p>prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p> <p>21Infor. Table D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.</p> <p>22Infor. 503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>23Infor. D103.5 Fire apparatus access road gates. If installed-Gates securing the fire apparatus access roads shall comply with all the following criteria: Single gate width shall not be less than 20 feet. 12 foot gate width is required for a divided roadway. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official. Note: The use of a Knox Gate Switch is currently required by the Fire Official. Methods of locking shall be submitted for approval by the fire code official. Note: The Knox Padlock is currently required by the Fire Official. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed, and installed to comply with the requirements of ASTM F 2200.</p> <p>24PlatCommercial development of the property will require further Development Services review.</p>	
5	P001	Note	Mark Zans : LD	Closed	Change year reference on surveyor's certificate.	
5	P001	Note	Mark Zans : LD	Closed	Change year reference on surveyor's certificate.	
6	P001	Note	Mark Zans : LD	Closed	Remove red text on the plat.	
6	P001	Note	Mark Zans : LD	Closed	Remove red text on the plat.	
10	P001	Note	Mark Zans : LD	Closed	Plat is a replat.	
10	P001	Note	Mark Zans : LD	Closed	Plat is a replat.	
11	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 6/25/2025. The deadline for revisions to be submitted is 6/16/2025	
11	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 6/25/2025. The deadline for revisions to be submitted is 6/16/2025	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
12	P001	Note	Mark Zans : LD	Closed	The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
12	P001	Note	Mark Zans : LD	Closed	The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.	
13	P001	Note	Mark Zans : LD	Closed	:A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
13	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 11-18</p> <p>11 Infor. 0503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>12 Infor. 0103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>13 Infor. "The minimum required width of 20 feet that shall be maintained means a clear unobstructed path that allows the passage of fire apparatus.</p> <p>1. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2. Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street."</p> <p>14 Infor. "Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in. Note: The turning radius for fire apparatus should not be less than 45 degrees and curb to curb 36 feet. As a result, developers should be particularly</p>	

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					<p>careful not to design streets with acute angles that would prevent fire apparatus from completing a turn without having to back up to negotiate the turn."</p> <p>15 Infor. D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater</p> <p>16 Infor. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.</p> <p>17 Infor. D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.</p> <p>18 Infor. D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.</p>	
14	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments: 1-7</p> <p>1 Informational: Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7)</p> <p>2 Informational: Proposed driveway access to a public maintained by the Texas Department of Transportation (TXDOT) shall conform to TXDOT criteria. The developer and/or agent is responsible for coordination with the local TXDOT Area Office.</p> <p>3 Informational: The PW-Traffic Department(Right-of-Way Division) is responsible for reviewing and permitting new construction and repairs/modifications to driveways, sidewalks, and curb and gutter. The review and approval of the permit must be approved prior to the issuance of the building permit (issued by DSD). (Refer to Municode Chapter 49-30 for permit</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>requirements.)</p> <p>4□Informational:□Public improvement plans shall include all signage and pavement markings needed for traffic operations (e.g. signage, striping, traffic mitigation devices) in addition to standard "regulatory" STOP and street name blade sign installations. Additionally, cul-de-sacs must include either "NO OUTLET" or "DEAD END" signage. Temporary Dead-Ends should include the appropriate object markers and one-way streets must include signage for any one-way designations and affected side streets. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>5□Informational:□All traffic signs shall be furnished and installed by the Developer in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. This includes furnishing and installing "STOP" signs. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A. All entries to private streets from public streets shall be clearly signed by the owners or home owners association as a "private street." (Reference UDC Article 8.2.1.J. Private Streets)</p> <p>6□Informational:□Pavement markings shall be installed within the scope of the subdivision in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. Reference: Texas MUTCD and UDC Article 8.1.3.A</p> <p>7□Informational:□Pavement markings shall be installed within the scope of the subdivision on all streets classified as a collector (C1) or higher on the City's Urban Transportation Plan Map. Streets not designated as a collector (C1) or higher, but constructed with a 40-foot width (back-of-curb to back-of-curb) will be subject to specifications stated in public improvement plan review. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p>	
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15	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments 8-15</p> <p>8□Informational:□Raised blue pavement markers in accordance with the latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD)," shall be installed in the center of a street or safety lane at fire hydrant locations. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>9□Informational:□The developer or their representative is required to submit a "Street Lighting Plan", indicating the proposed locations and fixture type of street lights, for review and approval to the City's Traffic Engineering Department. All new fixture types will be LED. Street lights shall meet design requirements per the City of Corpus Christi Infrastructure Design Manual (IDM) Chapter 8 - Street Lighting Design Policy and Guidelines.</p> <p>10□Informational:□The "Street Lighting Plan" shall indicate all existing street lights within 500-ft (+/-) of proposed street lights along tangent street sections. Preliminary "written" approval of the "Street Lighting Plan", by the City's Traffic Engineering Department, is required before the utility company (AEP or NEC) can start the design of the street lighting system and determine developer fees, which are required for plat recordation. Traffic Engineering issues a Letter of Authorization to the utility company, allowing for construction of the street lighting system, once this process is complete.</p> <p>11□Informational:□A ROW Construction Permit, issued by PW-Traffic Department (Right-of-Way Division), is required for any work obstructing, closing, or occupying public right-of-way (Reference Chapter 49-2). Work within the Right-of-Way without a permit is subject to daily Non-Compliance Fees (Reference Municode Chapter 49).</p> <p>12□Informational:□An Urban Transportation Plan Amendment is required to modify or delete a master planned street. Coordinate with the Traffic Department (TrafficEngineering@cctexas.com) to complete this separate process and requirements.</p> <p>13□Informational:□Any street excavation, utility cut, or utility tap requires a permit issued by the Traffic Department (Right-of-Way Division). Restoration requirements are subject to the street Pavement Condition Index (PCI) and street age. New streets (Any street 0-6 years and / or PCI ≥ 80) will require restoration of 25-ft beyond the outermost edge of the excavation and up to curb to curb repair. Older streets (Any street > 6 years or PCI < 80) will require restoration of 10-ft beyond the outermost edge of the excavation and up to full lane (Refer to Municode Section 49-47-1).</p>	

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21	P001	Note	Mark Zans : LD	Closed		
21	P001	Note	Mark Zans : LD	Closed	Stormwater comments: add following note: During the development of the site, any increase in stormwater runoff flow rates must be mitigated in accordance with UDC 8.2.8.A, 8.2.8.B, and IDM 3.05 resulting in no adverse impacts between existing conditions and proposed conditions.	
24	P001	Note	Mark Zans : LD	Closed	Sewer comments: Wastewater construction is required for platting (UDC 1.2.1.D & 8.2.7; Wastewater Collection System Standards).	
24	P001	Note	Mark Zans : LD	Closed	Sewer comments: Wastewater construction is required for platting (UDC 1.2.1.D & 8.2.7; Wastewater Collection System Standards).	
25	P001	Note	Mark Zans : LD	Closed	Water comments: Water construction is not required for platting (UDC 1.2.1.D & 8.2.6; Water Distribution Standards).	
25	P001	Note	Mark Zans : LD	Closed	Water comments: Water construction is not required for platting (UDC 1.2.1.D & 8.2.6; Water Distribution Standards).	

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7	P002	Callout	Mark Zans : LD	Closed	Remove red text.	
8	P002	Note	Mark Zans : LD	Closed	Increase road name font size make reaadable.	
9	P002	Note	Mark Zans : LD	Closed	Outline plat boundries in thicker, darker line.	

STATE OF TEXAS
COUNTY OF NUECES

KPH INVESTMENTS, LLC, A TEXAS LIMITED LIABILITY HEREBY CERTIFIES THAT IT IS THE OWNER OF THE LANDS EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING PLAT; THAT IT HAS HAD SAID LANDS SURVEYED AND SUBDIVIDED AS SHOWN; THAT STREETS SHOWN ARE DEDICATED TO THE PUBLIC USE FOREVER; THAT EASEMENTS AS SHOWN ARE DEDICATED TO THE PUBLIC USE FOR THE INSTALLATION, OPERATION AND USE OF PUBLIC UTILITIES; AND THAT THIS MAP WAS MADE FOR THE PURPOSE OF DESCRIPTION AND DEDICATION.

THIS THE _____ DAY OF _____, 20____.

BY: _____
HEMANT BHAKTA, MEMBER

BY: _____
KEVIN J. BHAKTA, MEMBER

BY: _____
PRAMIT J. BHAKTA, MEMBER

STATE OF TEXAS
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED HEMANT BHAKTA, PROVEN TO ME TO BE THE PERSON WHOSE SIGNATURE HE MADE ON THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KEVIN J. BHAKTA, PROVEN TO ME TO BE THE PERSON WHOSE SIGNATURE HE MADE ON THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED PRAMIT J. BHAKTA, PROVEN TO ME TO BE THE PERSON WHOSE SIGNATURE HE MADE ON THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF NUECES

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, HEREBY CERTIFY THAT THE FOREGOING MAP DATED THE _____ DAY OF _____, 2025, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THIS _____ DAY OF _____, 2025. AT _____ O'CLOCK _____M., AND DULY RECORDED IN VOLUME _____, PAGE(S) _____, MAP RECORDS OF NUECES COUNTY, TEXAS. WITNESS MY HAND AND SEAL OF SAID COURT AT OFFICE IN CORPUS CHRISTI, TEXAS. THIS THE _____ DAY _____, 2025.

DOCUMENT NO: _____

KARA SANDS
COUNTY CLERK

DEPUTY

Plat of Flour Bluff Estates Block E, Lots 5R and 15R

RE-PLAT OF 1.756 ACRES, COMPRISED OF THE SOUTHWEST 20' OF LOT 4, ALL OF LOT 5, THE NORTHEAST 130' OF LOTS 9 THROUGH 15, AND THE SOUTH 70' OF LOT 16, BLOCK E, FLOUR BLUFF ESTATES, A MAP RECORDED IN VOLUME 8, PAGES 1-2 MAP RECORDS OF NUECES COUNTY, TEXAS.

LEGEND:

_____	PLAT BOUNDARY	✱	FOUND MAG NAIL FOUND WITH WASHER STAMPED "URBAN ENGR C.C. TX"
____ _ _ _ _	ROAD CENTERLINE	•	FOUND 5/8 INCH I.R. FOUND
_____	ADJACENT LOT LINE	● ¹⁹⁰⁷	FOUND 5/8 INCH I.R. WITH A PLASTIC CAP STAMPED "RPLS 1907" FOUND
____ _ _ _ _	YARD REQUIREMENT	FR •	FOUND 5/8 INCH I.R. WITH A PLASTIC CAP STAMPED "FRONTIER 10082900"
- - - - -	EASEMENT	⊙	FOUND TXDOT MONUMENT
Y.R.	YARD REQUIREMENT		
B.L.	BUILDING LINE		
U.E.	UTILITY EASEMENT		
VOL.	VOLUME		
PG.	PAGE		
M.R.N.C.T.	MAP RECORDS OF NUECES COUNTY, TEXAS		
D.R.N.C.T.	DEED RECORDS OF NUECES COUNTY, TEXAS		

STATE OF TEXAS
COUNTY OF NUECES

THIS PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE DEVELOPMENT SERVICES ENGINEER OF THE CITY OF CORPUS CHRISTI, TEXAS. THIS _____ DAY OF _____, 2025.

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
COUNTY OF NUECES

THIS PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE PLANNING COMMISSION ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS. THIS _____ DAY OF _____, 2025.

MICHAEL DICE
DIRECTOR

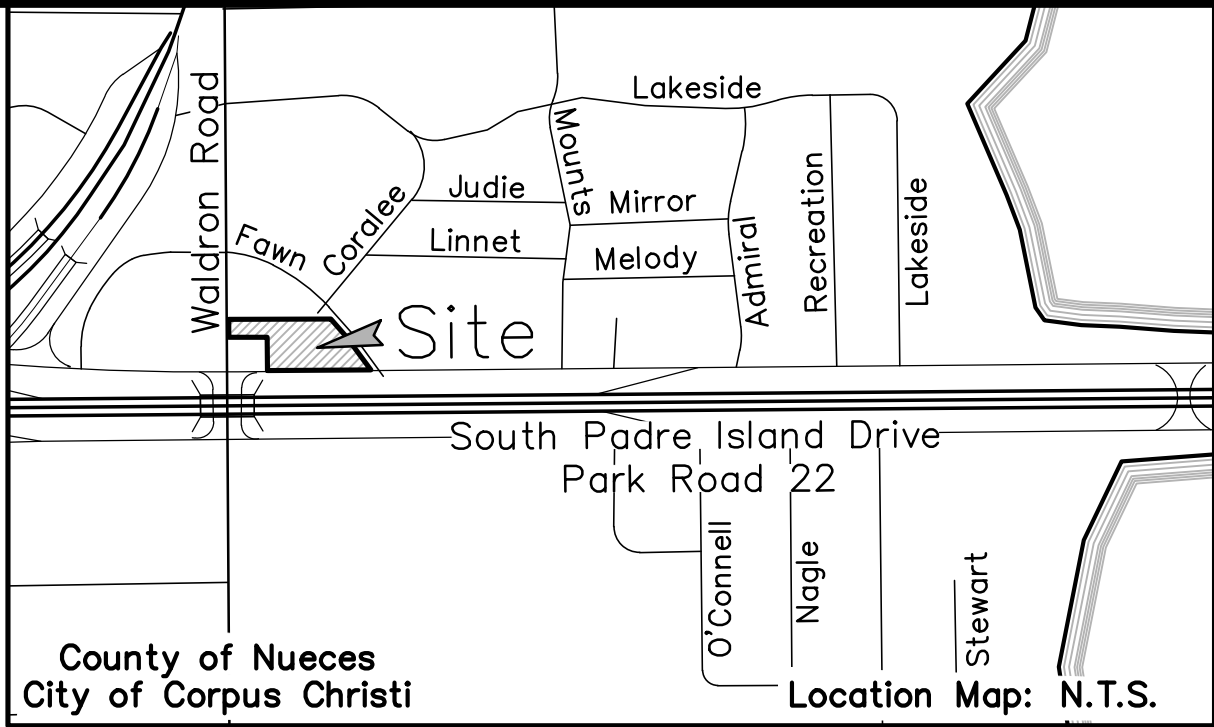
MICHAEL YORK
CHAIRMAN

STATE OF TEXAS
COUNTY OF NUECES

I, SAUL V. CASTILLO, A REGISTERED PROFESSIONAL LAND SURVEYOR FOR URBAN|DCCM, HAVE PREPARED THE FOREGOING MAP FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF; I HAVE BEEN ENGAGED UNDER CONTRACT TO SET ALL LOT AND BLOCK CORNERS AS SHOWN HEREON AND TO COMPLETE SUCH OPERATIONS WITH DUE AND REASONABLE DILIGENCE CONSISTENT WITH SOUND PROFESSIONAL PRACTICE.

THIS _____ DAY OF _____, 2025

SAUL V. CASTILLO
R.P.L.S. LICENSE NO. 6192

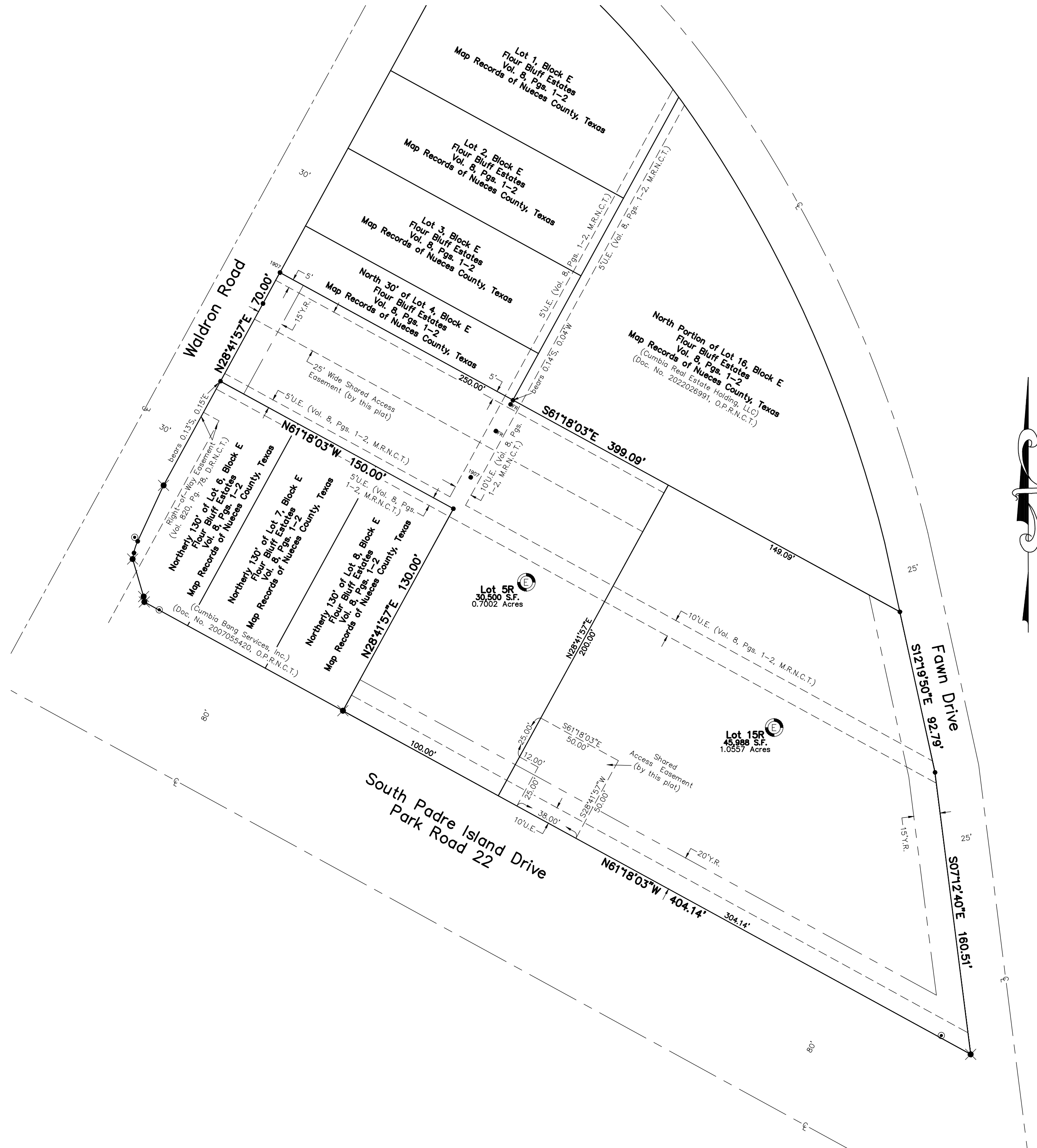


TBPELS FIRM NUMBERS: ENGINEERING 145 | SURVEYING 10032400
2725 SWANTNER DR, CORPUS CHRISTI, TX 78404
PHONE: 361.854.3101 WWW.URBANENG.COM

NOTES:

- THE ENTIRE PROPERTY LIES WITHIN THE CITY LIMITS OF THE CITY OF CORPUS CHRISTI.
- PROPERTY IS ZONED CG-1 (GENERAL COMMERCIAL).
- TOTAL PLATTED AREA IS 1.756 ACRES OF LAND INCLUDING ANY DEDICATION.
- THE YARD REQUIREMENT, AS DEPICTED ON THE PLAT, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE (UDC) AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
- SET 5/8 INCH IRON ROD WITH ORANGE PLASTIC CAP STAMPED "URBAN DCCM" AT ALL LOT CORNERS, UNLESS OTHERWISE NOTED.
- BEARINGS SHOWN HEREON ARE GRID BEARINGS AND REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH ZONE 4205, AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) (2011) EPOCH 2010.00. DISTANCES SHOWN ARE GROUND DISTANCES.
- THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE LAGUNA MADRE. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR LAGUNA MADRE AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE LAGUNA MADRE AS "CONTACT RECREATION" USE.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS CURRENTLY IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NUMBER 48355C0545G, NUECES COUNTY, TEXAS, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022 AND IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. THE FIRM PANEL 48355C0545G IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- NO INCREASE IN STORMWATER DISCHARGE TO THE STATE RIGHT-OF-WAY WILL BE ACCEPTED BY TxDOT.
- TxDOT PERMITS WILL BE ISSUED IN ACCORDANCE WITH ACCESS MANAGEMENT STANDARDS AND ALL APPLICABLE STATE AND FEDERAL LAWS, INCLUDING RELEVANT RULES AND REGULATIONS. CONSIDERATIONS WILL INCLUDE ACCESS CONNECTION SPACING, MATERIALS, GEOMETRICS, ACCESSIBILITY, AND OTHER DESIGN SPECIFICATIONS, AS WELL AS THE IMPACT ON DRAINAGE AND HYDRAULICS, UTILITY LOCATION OR RELOCATION, AND ENVIRONMENTAL EFFECTS RESULTING FROM THE REQUESTED CONSTRUCTION OF AN ACCESS CONNECTION (43 TEX. ADMIN CODE § 11.52, 2020).
- DRAINAGE IMPROVEMENTS MUST ACCOMODATE RUNOFF FROM THE UPSTREAM DRAINAGE AREA IN ITS ANTICIPATED MAXIMUM "BUILD-OUT" OF "FULLY DEVELOPED" CONDITION AND SHOULD BE DESIGNED TO PREVENT OVERLOADING THE CAPACITY OF THE DOWNSTREAM DRAINAGE SYSTEM.
- IF THE OWNER RESPONSIBLE FOR MAINTAINING THE PERMANENT STORMWATER OR WATER QUALITY CONTROL FAILS TO MAINTAIN IT TO TxDOT ROW STANDARDS, THE OWNER MUST RECTIFY THE ISSUE.
- SHARED ACCESS ACROSS LOTS 5R AND 15R SHALL NOT BE OBSTRUCTED.

Revised: 7/11/2025
Submitted: 5/21/2025
SCALE: None
JOB NO.: 0000070241
SHEET: 1 of 2
DRAWN BY: XG
usurveying@dccm.com



- LEGEND:**
- PLAT BOUNDARY
 - ROAD CENTERLINE
 - ADJACENT LOT LINE
 - YARD REQUIREMENT
 - EASEMENT
 - Y.R. YARD REQUIREMENT
 - B.L. BUILDING LINE
 - U.E. UTILITY EASEMENT
 - VOL. VOLUME
 - PG. PAGE
 - M.R.N.C.T. MAP RECORDS OF NUECES COUNTY, TEXAS
 - D.R.N.C.T. DEED RECORDS OF NUECES COUNTY, TEXAS
 - FOUND MAG NAIL FOUND WITH WASHER STAMPED "URBAN ENGR C.C. TX"
 - FOUND 5/8 INCH I.R. FOUND
 - 1907 FOUND 5/8 INCH I.R. WITH A PLASTIC CAP STAMPED "RPLS 1907" FOUND
 - FR FOUND 5/8 INCH I.R. WITH A PLASTIC CAP STAMPED "FRONTIER 10082900"
 - FOUND TXDOT MONUMENT

Plat of
Flour Bluff Estates
Block E, Lots 5R and 15R

RE-PLAT OF 1.756 ACRES, COMPRISED OF THE SOUTHWEST 20' OF LOT 4, ALL OF LOT 5, THE NORTHEAST 130' OF LOTS 9 THROUGH 15, AND THE SOUTH 70' OF LOT 16, BLOCK E, FLOUR BLUFF ESTATES, A MAP RECORDED IN VOLUME 8, PAGES 1-2 MAP RECORDS OF NUECES COUNTY, TEXAS.

TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025

PL8819

FINAL PLAT – Southside Storage Tract

Lot 1, Block 1 (1.166 acres)

(District 5) Generally located at 7106 Brooke Road, on the north corner of Rodd Field Road and Brooke Road.

Zoned: CG-2

Owner: Dearing Properties, LLC

Engineer/Surveyor: Brister Surveying

The applicant proposes to final plat the property to turn the existing storage units into commercial rental space. The submitted Final Plat complies with the requirements of the Unified Development Code and State law. Staff recommends **Approval**.

**Merged Document Report****Application No.: PL8819**

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
Plat.pdf
Utility Plan.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Mina Trinidad	minar@cctexas.com	361-826-3259
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
1	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: No Sidewalks: No B. Water: No Fire hydrants: No C. Wastewater: No D. Stormwater: No E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
2	Plat	Note	Mina Trinidad : DS	Closed	(Informational) CCRTA: This plat is not located along any existing or foreseeably planned CCRTA service route.	
3	Plat	Note	Mina Trinidad : DS	Closed	(Informational) GIS: Plat closes within acceptable engineering standards.	
7	Plat	Note	Mina Trinidad : DS	Closed	<p>(Informational) Traffic/ROW:</p> <ol style="list-style-type: none"> 1. Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7) 2. Proposed driveway access to a public maintained by the Texas Department of Transportation (TXDOT) shall conform to TXDOT criteria. The developer and/or agent is responsible for coordination with the local TXDOT Area Office. 3. The PW-Traffic Department(Right-of-Way Division) is responsible for reviewing and permitting new construction and repairs/modifications to driveways, sidewalks, and curb and gutter. The review and approval of the permit must be approved prior to the issuance of the building permit (issued by DSD). (Refer to Municode Chapter 49-30 for permit requirements.) 4. A ROW Construction Permit, issued by PW-Traffic Department (Right-of-Way Division), is required for any work obstructing, closing, or occupying public right-of-way (Reference Chapter 49-2). Work within the Right-of-Way without a permit is subject to daily Non-Compliance Fees (Reference Municode Chapter 49). 5. Provide the PHT form using 11th edition, or latest edition, of the Trip Generation Manual . A PHT Form is required for any rezoning, site plan or street closure request for developments that are projected to contain 500 or fewer weekday peak hour trips. A traffic impact analysis will be required for developments generating or 501 trips. (Reference UDC Section 3.29) 6. An Urban Transportation Plan Amendment is required to modify or delete a master planned street. Coordinate with the Traffic Department (TrafficEngineering@cctexas.com) to complete this separate process and requirements. 7. Any street excavation, utility cut, or utility tap requires a permit issued by the Traffic Department (Right-of-Way Division). Restoration requirements are subject to the street Pavement Condition Index 	

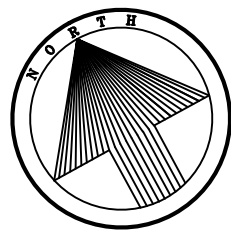
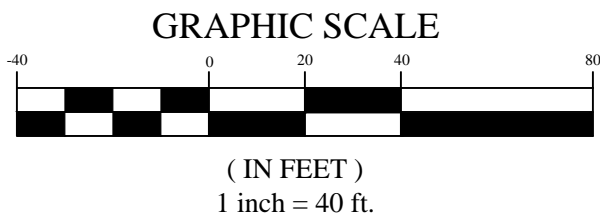
Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					(PCI) and street age. New streets (Any street 0-6 years and / or PCI \geq 80) will require restoration of 25-ft beyond the outermost edge of the excavation and up to curb to curb repair. Older streets (Any street > 6 years or PCI < 80) will require restoration of 10-ft beyond the outermost edge of the excavation and up to full lane (Refer to Municode Section 49-47-1). 8. Sidewalks required on both sides of local street as per IDM Chapter 6 - Street Design Requirements. Table 6.2.2 Street Right-of-Way Dimension Standards	
8	Plat	Note	Mina Trinidad : DS	Closed	(Informational) Parks and Recreation: No fees as plat is describing the construction of a restroom on a commercial plot. No proposed residential dwelling unit on site, and as such no fees are to be applied.	
9	Plat	Note	Mina Trinidad : DS	Closed	(Informational) Public Works Streets: 1. PW STR: Informational - Please refer to City of Corpus Christi Standards and Specifications for proposing roadwork, curb and gutter, sidewalk, utilities, etc and have the standards included in the plan set and the specifications referenced. Wherever available, please include a table of contents for which standards and specifications were used. 2. PW STR: Informational - A person shall be held responsible for damage to and in public right-of-way for the criteria outlined in Sec. 49-39-9 in the City's Municipal Code and will be held responsible for restoring the City assets per Municipal Code Sec. 49-47-1, Sec. 49-54-6 and Sec. 49-49-3. For further information, please email ROWManagement@cctexas.com.	
10	Plat	Note	Mina Trinidad : DS	Closed	(Informational) Fire: Comments 1-8 1. Note: All code reference is based on currently adopted International Fire Code (IFC) 2021 and Corpus Christi Water Distribution Standards. 2. Plat Comments states that site will be used for commercial purposes. Therefore, plat review will be focused on requirements for commercial buildings. 3. Commercial Development shall have a fire flow of 1,500 GPM with 20 psi residual Fire hydrant every 300 feet and operational. 4. 507.5.1 (amendment) Where Required: All premises, other than one-family detached	

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					<p>dwellings, where buildings or portions of buildings are located more than 150 feet from a fire hydrant shall be provided with approved on-site hydrants and water mains capable of supplying the fire flow require by the fire official. The minimum arrangement being so as to have a hydrant available for distribution of hose to any portion of building on the premises at distances not exceeding 300 feet.</p> <p>5. 507.5.4 Obstruction. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Note: Hose lay from a hydrant will not cross an arterial street.</p> <p>6. 912.2.3 (amendment) Proximity to Hydrant: Fire department connections (FDC) for each sprinkler system or standpipe system shall be located not more than 100 feet from the nearest fire hydrant connected to an approved water source</p> <p>7. 503.1.1 (amendment) Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall allow access to three (3) sides of buildings in excess of fifteen thousand (15,000) square feet and all sides for buildings in excess of thirty thousand (30,000) square feet.</p> <p>8. 3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p>	
11	Plat	Note	Mina Trinidad : DS	Closed	<p>(Informational) Fire: Comments 9-17</p> <p>9. D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>10. 503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed</p>	

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					<p>hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>11. Note: An accessible road and a suitable water supply is required once construction materials are brought on site.</p> <p>12. 503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>13. D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>14. The minimum required width of 20 feet that shall be maintained means a clear unobstructed path that allows the passage of fire apparatus. 1. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane. 2. Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street. 3. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street.</p> <p>15. Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in. Note: The turning radius for fire apparatus should not be less than 45 degrees and curb to curb 36 feet. As a result, developers should be particularly careful not to design streets with acute angles that would prevent fire apparatus from completing a turn without having to back up to negotiate the turn.</p> <p>16. D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave</p>	

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					<p>of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater</p> <p>17. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.</p>	
12	Plat	Note	Mina Trinidad : DS	Closed	<p>(Informational) Fire Comments 18-25</p> <p>18. D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.</p> <p>19. D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.</p> <p>20. 503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p> <p>21. 503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p> <p>22. Table D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.</p> <p>23. 503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>24. D103.5 Fire apparatus access road gates. If</p>	

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					<p>installed-Gates securing the fire apparatus access roads shall comply with all the following criteria: Single gate width shall not be less than 20 feet. 12 foot gate width is required for a divided roadway. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official. Note: The use of a Knox Gate Switch is currently required by the Fire Official. Methods of locking shall be submitted for approval by the fire code official. Note: The Knox Padlock is currently required by the Fire Official. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed, and installed to comply with the requirements of ASTM F 2200. Manually operated gates shall be secured with a Knox Pad Lock installed "daisy chain style"</p> <p>25. Commercial development of the property will require further Development Services review.</p>	
4	Utility Plan	Note	Mina Trinidad : DS	Closed	(Informational) AEP: AEP Texas Transmission has no comment for the subject plat.	
5	Utility Plan	Note	Mina Trinidad : DS	Closed	(Informational) Gas: The gas department has no comments for this plat.	
6	Utility Plan	Note	Mina Trinidad : DS	Closed	(Informational) AEP: AEP Texas Distribution has no comment.	



PLAT OF SOUTHSIDE STORAGE TRACT BLOCK 1, LOT 1

BEING A FINAL PLAT OF A 1.292 ACRE TRACT OUT OF THE SOUTH HALF OF LOT 9, SECTION 20, FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACTS, AS SHOWN ON A MAP RECORDED IN VOLUME "A", PAGES 41 - 43, MAP RECORDS OF NUECES COUNTY, TEXAS AND BEING THE SAME TRACT DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2015031952, OFFICIAL PUBLIC RECORDS OF NUECES COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF NUECES

WE, DEARING PROPERTIES, LLC, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN HEREON, THAT ALL EASEMENTS AND RIGHT-OF-WAYS AS SHOWN ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND MAINTENANCE OF PUBLIC STREETS AND UTILITIES, AND WE ADOPT THIS PLAT FOR THE PURPOSES OF DESCRIPTION AND DEDICATION. THIS THE _____ DAY OF _____, 2025.

STACEY A. DEARING,
REGISTERED AGENT

STATE OF TEXAS
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, STACEY A. DEARING, PROVEN TO ME TO BE THE PERSON WHOSE SIGNATURE THEY MADE ON THE FOREGOING INSTRUMENT OF WRITING, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE _____ DAY OF _____, 2025.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE PLANNING COMMISSION OF THE CITY OF CORPUS CHRISTI, TEXAS. THIS THE _____ DAY OF _____, 2025

MICHAEL YORK
CHAIRMAN

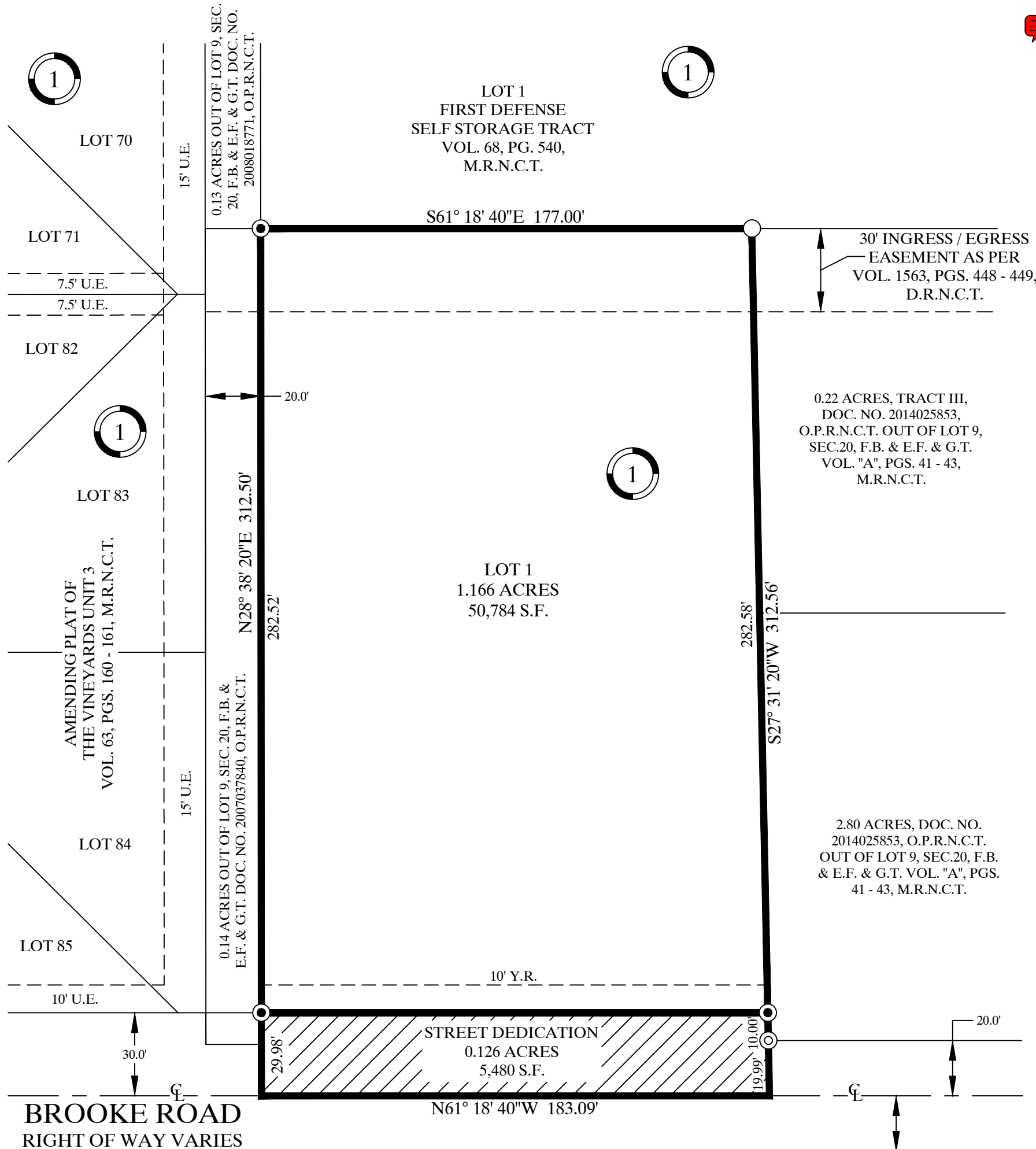
MICHAEL DICE
SECRETARY

STATE OF TEXAS
COUNTY OF NUECES

I, RONALD E. BRISTER, A REGISTERED PROFESSIONAL LAND SURVEYOR OF BRISTER SURVEYING, HAVE PREPARED THE FOREGOING MAP FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

THIS THE _____ DAY OF _____, 2025

RONALD E. BRISTER
REGISTERED PROFESSIONAL
LAND SURVEYOR
LICENSE NO. 5407



NOTES:

- THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NOS. 48355C 0540 G, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022.
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SITE MAP
NOT TO SCALE



Brister Surveying

5506 Cain Drive
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
bristersurveying@corpus.twbc.com
Firm Registration No. 10072800

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STATE OF TEXAS
COUNTY OF NUECES

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BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
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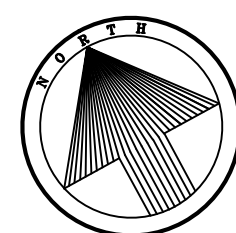
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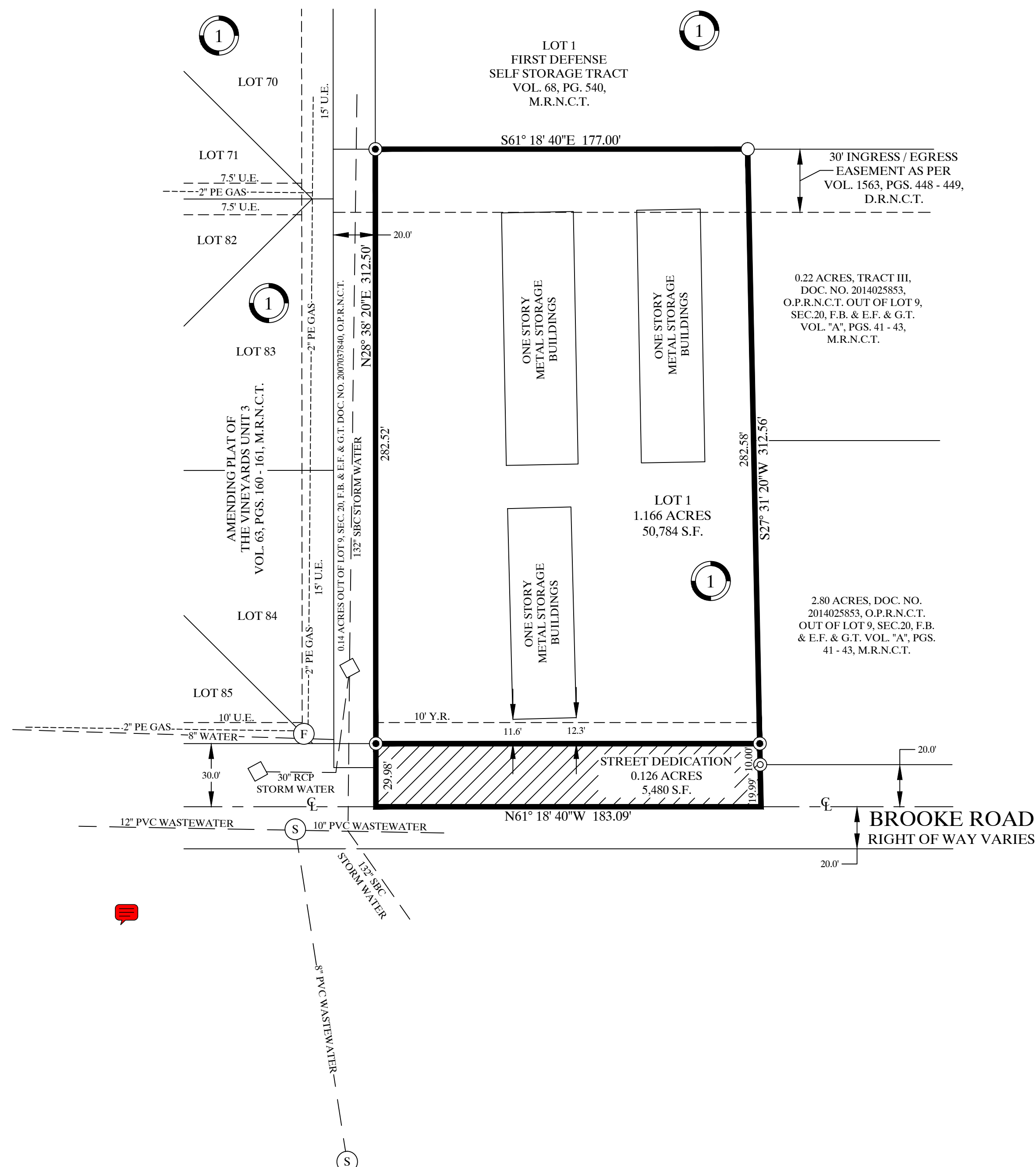
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DEPUTY

DATE OF MAP: 10 APRIL 2025



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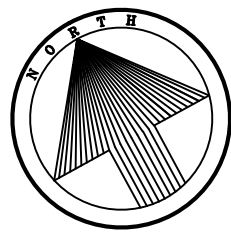
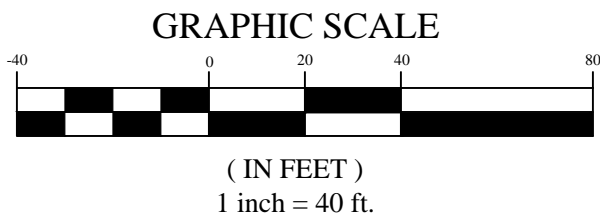
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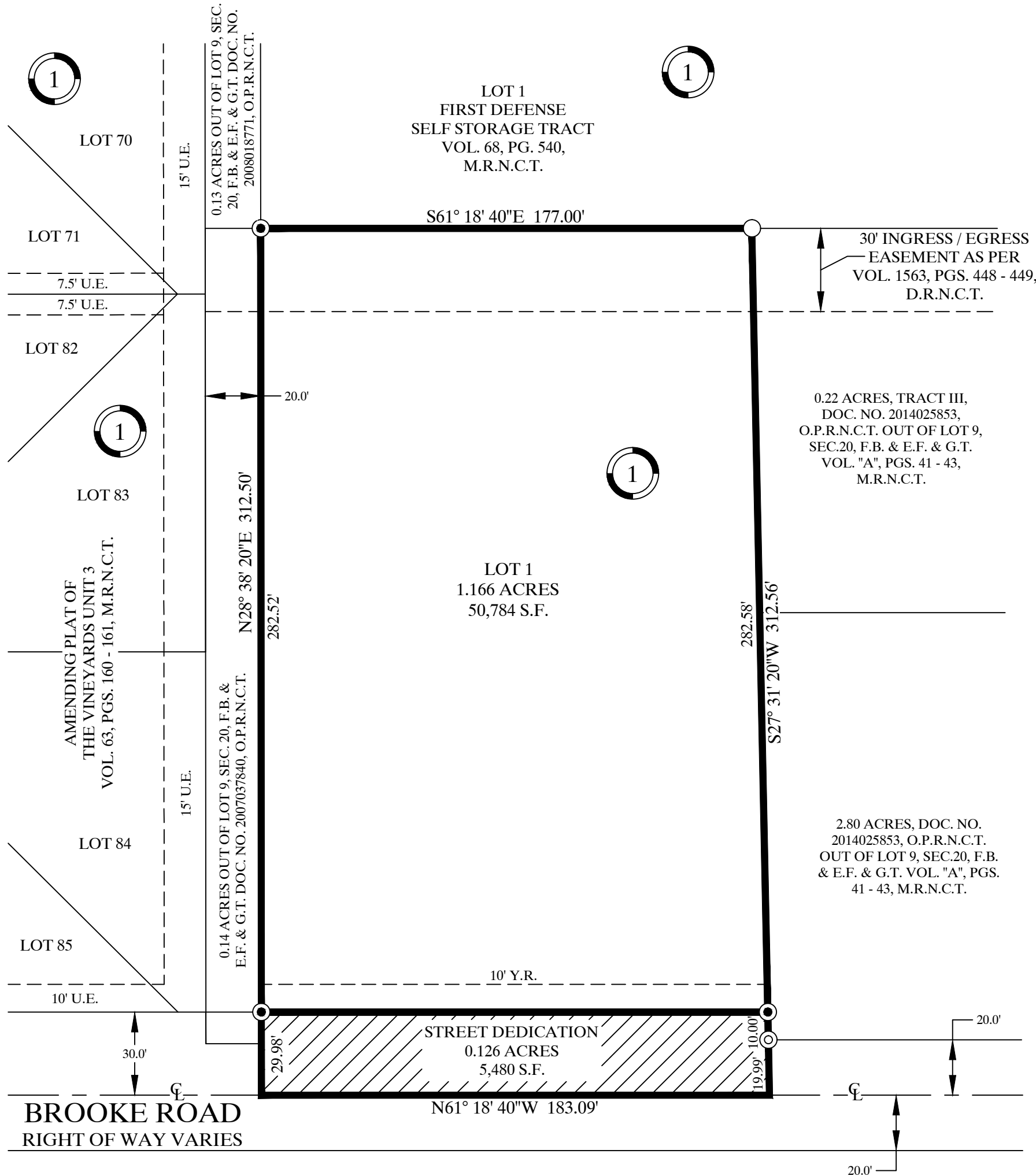
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DEPUTY

DATE OF MAP: 10 APRIL 2025

TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025

PL8811

Final Plat – Kosar Addition

Lot 1R Block 8

(1.84 Acres)

Location: North of Highland Ave. and east of Osage St.

(District 3). Generally located at 3146 Highland Drive, north of Highland Drive east of Osage Street.

Zoned: RS-6

Owner: ERF Westside, Inc.

Surveyor: Brister Surveying

The applicant proposes to replat the property for playground development. All Technical Review Committee comments have been addressed. The submitted Replat complies with the requirements of the Unified Development Code and State law. Staff recommends **approval**.

**Merged Document Report****Application No.: PL8811**

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
Updated Plat 7-10.pdf

Comment Author Contact Information:

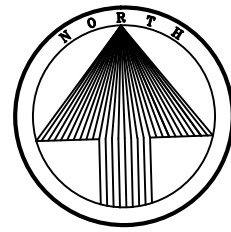
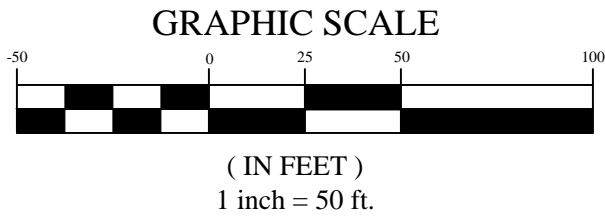
Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
5	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: No Sidewalks: No B. Water: No Fire hydrants: No C. Wastewater: No D. Stormwater: No E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
1	P001	Note	Mark Zans : LD	Closed	Plat is a final plat.	
2	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 7/23/2025. The deadline for revisions to be submitted is 7/14/2025	
3	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 7/23/2025. The deadline for revisions to be submitted is 7/14/2025	
4	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.	
6	P001	Note	Mark Zans : LD	Closed	Revise picture of map and make road names readable. When this picture is reproduced it comes out as a black blob.	
7	P001	Note	Mark Zans : LD	Closed	Lable lot as 1R	



Brister Surveying

5506 Cain Drive
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
bristersurveying@corpus.twbc.com
Firm Registration No. 10072800

**PLAT OF
KOSAR ADDITION
BLOCK 8, LOT 1R**

BEING A REPLAT OF A PORTION OF BLOCKS 6, 7, AND 8, "KOSAR ADDITION" AS SHOWN ON THE PLAT RECORDED IN VOLUME 9, PAGE 36, MAP RECORDS NUECES COUNTY, TEXAS AND ALSO BEING A PORTION OF THE CLOSED ELEANOR STREET AND ELESIA STREET, RECORDED IN CITY ORDINANCE NO. 411335, OFFICIAL PUBLIC RECORDS, NUECES COUNTY, TEXAS. SAID REPLAT ALSO BEING THE SAME TRACT DESCRIBED IN DEED RECORDED IN DOCUMENT NO. 2020054853, OFFICIAL RECORDS NUECES COUNTY, TEXAS.



STATE OF TEXAS
COUNTY OF NUECES

WE, ERF WEST SIDE, INC, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN HEREON, THAT ALL EASEMENTS AND RIGHT-OF-WAYS AS SHOWN ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND MAINTENANCE OF PUBLIC STREETS AND UTILITIES, AND WE ADOPT THIS PLAT FOR THE PURPOSES OF DESCRIPTION AND DEDICATION. THIS THE _____ DAY OF _____, 2025.

PAUL ALTHEIDE,
REGISTER AGENT

STATE OF TEXAS
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, PAUL ALTHEIDE, PROVEN TO ME TO BE THE PERSON WHOSE SIGNATURE THEY MADE ON THE FOREGOING INSTRUMENT OF WRITING, AND THEY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE _____ DAY OF _____, 2025.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE DEVELOPMENT SERVICES ENGINEER OF THE CITY OF CORPUS CHRISTI, TEXAS.

THIS THE _____ DAY OF _____, 2025

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE PLANNING COMMISSION OF THE CITY OF CORPUS CHRISTI, TEXAS. THIS THE _____ DAY OF _____, 2025

MICHAEL YORK
CHAIRMAN

MICHAEL DICE
SECRETARY

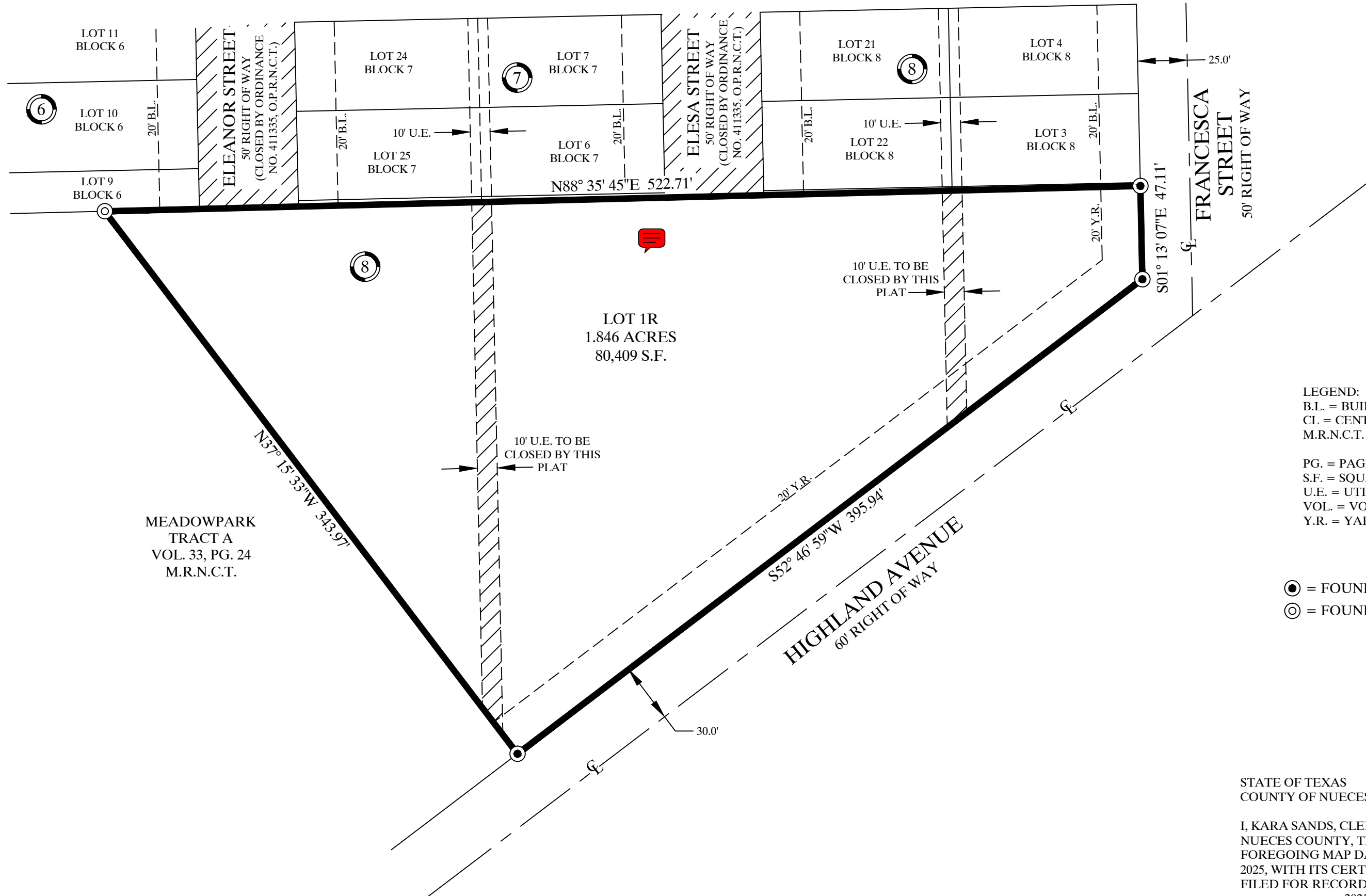
STATE OF TEXAS
COUNTY OF NUECES

I, RONALD E. BRISTER, A REGISTERED PROFESSIONAL LAND SURVEYOR OF BRISTER SURVEYING, HAVE PREPARED THE FOREGOING MAP FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

THIS THE _____ DAY OF _____, 2025

RONALD E. BRISTER
REGISTERED PROFESSIONAL
LAND SURVEYOR
LICENSE NO. 5407

KOSAR ADDITION
VOL. 9, PG. 36
M.R.N.C.T.



LEGEND:
B.L. = BUILDING LINE
CL. = CENTERLINE
M.R.N.C.T. = MAP RECORDS OF NUECES COUNTY, TEXAS
PG. = PAGE
S.F. = SQUARE FEET
U.E. = UTILITY EASEMENT
VOL. = VOLUME
Y.R. = YARD REQUIREMENT

● = FOUND DRILL HOLE
⊙ = FOUND 5/8" RE-BAR

STATE OF TEXAS
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I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, HEREBY CERTIFY THAT THE FOREGOING MAP DATED THE _____ DAY OF _____, 2025, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____, 2025 AT _____ O'CLOCK _____ AND DULY RECORDED IN VOLUME _____, PAGE _____ MAP RECORDS OF NUECES COUNTY, TEXAS. WITNESS MY HAND AND SEAL OF SAID COURT AT MY OFFICE, IN CORPUS CHRISTI, TEXAS.

DOCUMENT NO. _____

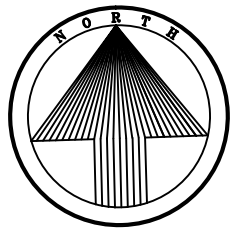
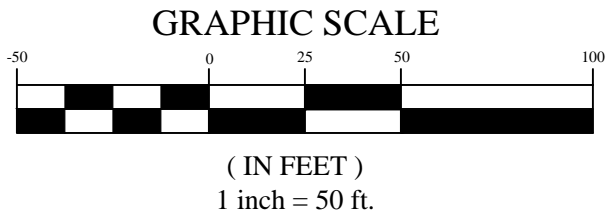
KARA SANDS
COUNTY CLERK

DEPUTY

DATE OF MAP: 26 JUNE 2025

NOTES:

1. THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE CORPUS CHRISTI INNER HARBOR. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE CORPUS CHRISTI INNER HARBOR AS "INTERMEDIATE".
2. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48355C 0320 G, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022.
3. MEASURED BEARINGS ARE BASED ON GLOBAL POSITIONING SYSTEM NAD 83 (93) 4205 DATUM.
4. SET 5/8" RE-BAR = STEEL RE-BAR SET WITH YELLOW PLASTIC CAP LABELED BRISTER SURVEYING.
5. THE TOTAL PLATTED AREA IS 1.846 ACRES.
6. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
7. ANY INCREASE IN STORMWATER RUNOFF FLOW RATES SHALL BE MITIGATED TO COMPLY WITH UDC 8.2.A, 8.2.8.B., AND IDM 3.05.



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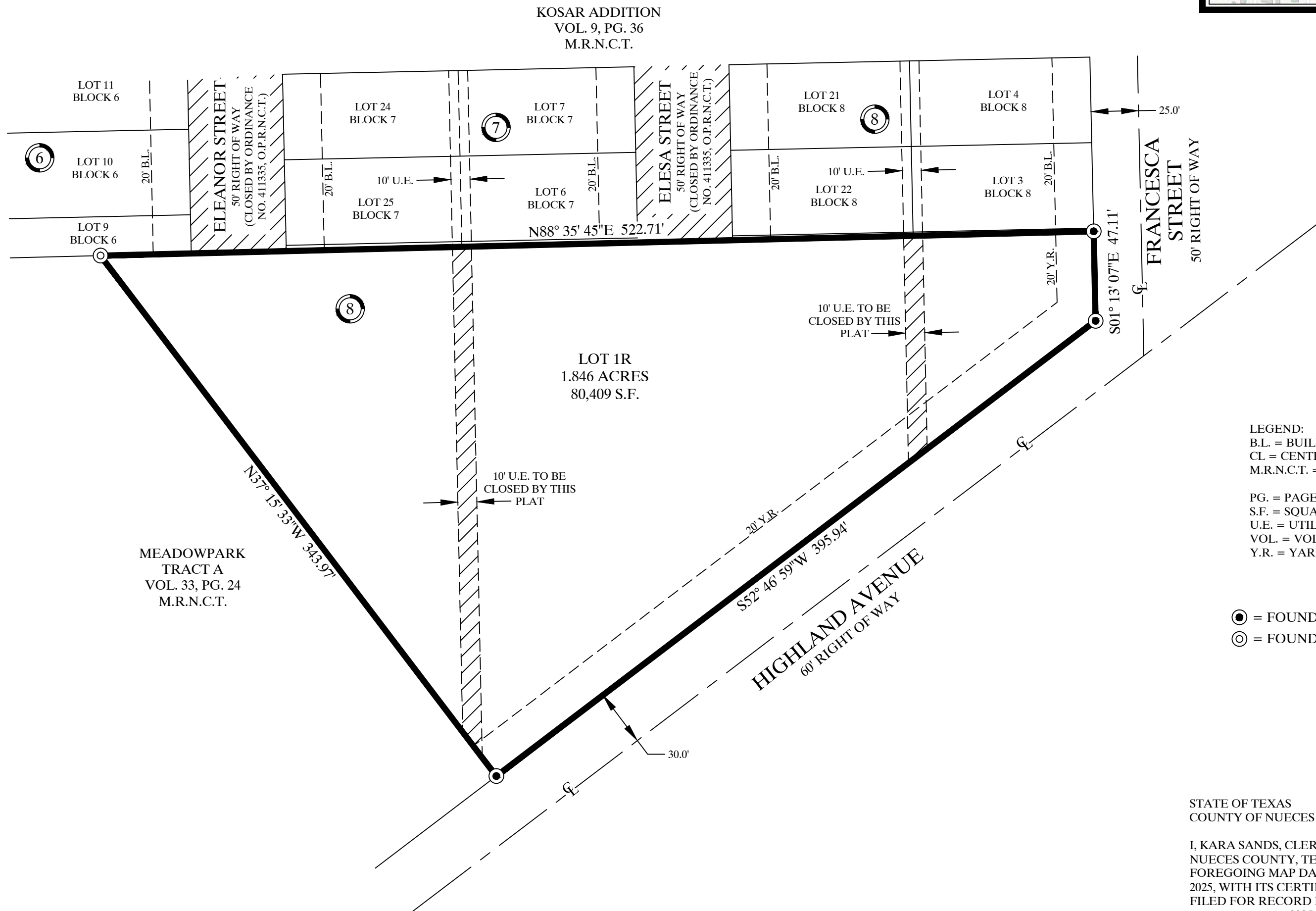
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DOCUMENT NO. _____

KARA SANDS
COUNTY CLERK

DEPUTY

DATE OF MAP: 26 JUNE 2025



TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025

PL8742

Preliminary Plat – Yellowstone
(154.42 Acres)

(District 1). Generally located north of Haven Road and west of Warrior Road

Zoned: RS-4.5 and CN-1

Owner: MPM Development

Surveyor: Bass & Welch

The applicant proposes to replat the property to create 775 lots for housing and commercial development. Staff recommends **Conditional Approval**, subject to compliance with the technical review committee's comments, City Ordinances, UDC, and state law.

- **Condition:** unresolved plat comments

Development Services

2406 Leopard Street, Corpus Christi, TX 78408

Date: 07-14-2025**17:04:49****Final Report - Corrections Required**
Application No. PL8742**Comment Author Contact Information:**

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments
23	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: Yes Sidewalks: Yes B. Water: Yes Fire hydrants: Yes C. Wastewater: Yes D. Stormwater: Yes E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.

Corrections in the following table need to be applied before a permit can be issued

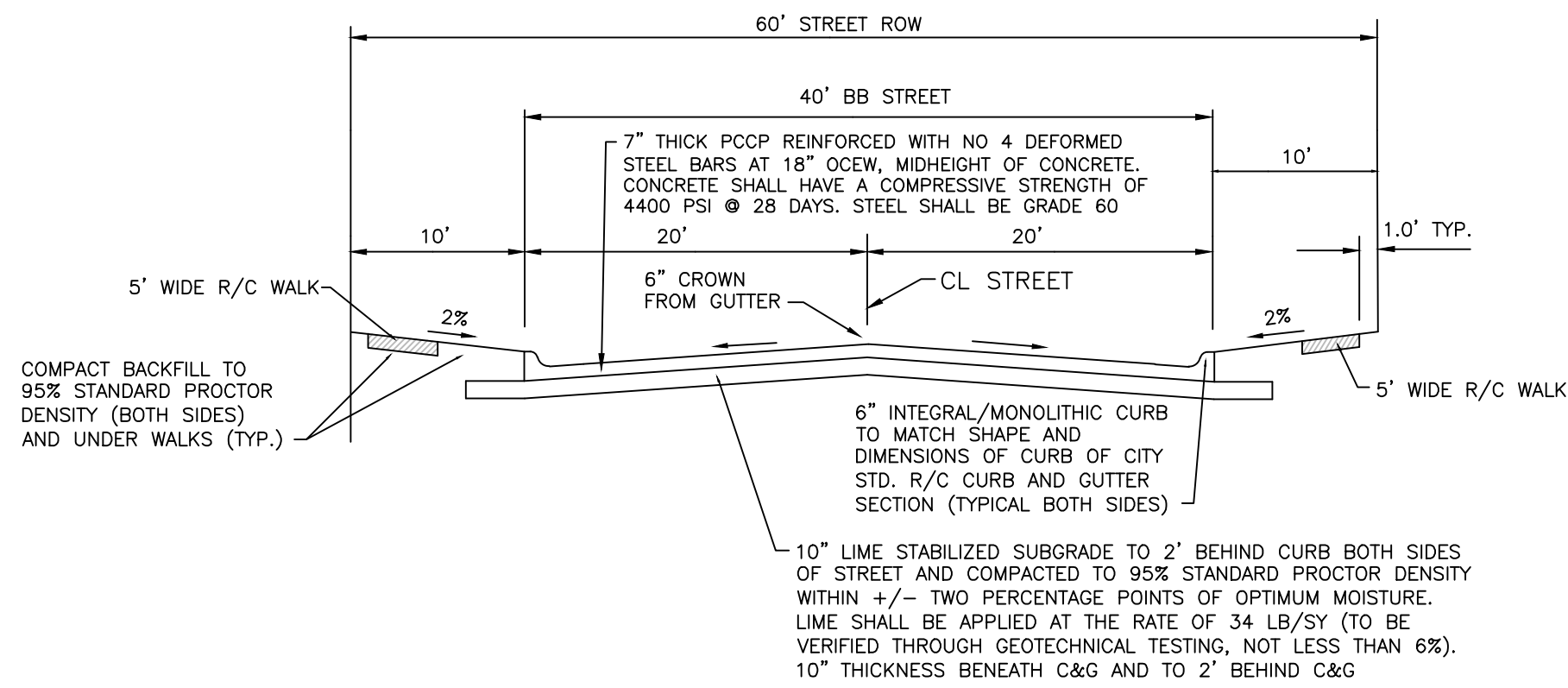
Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
1	P001	Note	Mark Zans : DS	Closed	<p>Application has been deemed incomplete. Please provide the following items:</p> <ol style="list-style-type: none"> 1. Signed preliminary plat application. 2. Signed disclosure of interest form. 3 Latest deeds showing the ownership of the land. Ownership shall be the same on the plat. 4. A utility plan showing the entire platting area. 5. A SWQMP for the entire platting area. 6. A signed and properly filled out PHT form for the entire platting area. <p>Be advised that the plat application will not be deemed complete until all items are received</p>
16	P001	Note	Alex Harmon : DS	Closed	<p>Per City of Corpus Christi - Code of Ordinances Ch. 14, Art.X, Sec. 14-1003, a Storm Water Quality Management Plan (SWQMP) is required. The following information is not included with the submittal:</p> <ul style="list-style-type: none"> -Hydraulic calculations based upon established procedures (such as the rational method). This should be done for the predveloped land and post developed land. -An on-site drainage plan, which details the direction of flow (using arrows or contours) and collection structures, including the size and required capacity of the drainage structures. -The on-site drainage plan should address how run-on storm water will be handled, including sheet flow entering the site from adjoining property. -Demonstrations of the conformance with existing master plan drainage and/or the need to master plan amendment for both on-site and off-site improvements. In the absence of a request for rezoning, the most impactful land use allowed under the current or proposed zoning will be assumed. Clearly indicate (shading) what surface will be pervious and what will be impervious. -Delineation of the route of runoff to ultimate outfall. -Identification of any environmentally sensitive area that is on the site, or that would be sensitive to storm water pollution from the site. (water supply sources, recreational waters, wetlands, barrier island dunes, and other sensitive ecological systems.
17	P001	Note	Alex Harmon : DS	Closed	Sidewalks for 60' ROW streets should be 5' width and not 4' width.
18	P001	Note	Alex Harmon : DS	Open	<p>6/25/25 UPDATE: Separate overall utility plan should be submitted with plat.</p> <p>Provide a preliminary utility plan that is separate from the public improvement plans.</p>
2	P001	Note	Mark Zans : LD	Closed	Per AT&T comment: please provide the location and label the AT&T easement that runs thru the property. It is LD understanding that the easement lies with the pipeline easement.
3	P001	Note	Mark Zans : LD	Closed	This plat is a preliminary plat.
4	P001	Note	Mark Zans : LD	Closed	: This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 7/9/2025 The deadline for revisions to be submitted is 6/30/25.
5	P001	Note	Mark Zans : LD	Closed	The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.
6	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to resolve Open comments. This request must be made directly to Development Services within the 30-day initial period.
7	P001	Note	Mark Zans : LD	Closed	Per the UTP/RMP a C-1 60' wide roadway is planned to run from Haven Dr. north to connect to Sunny Ln. on the north boundary. a UTP amendment is needed to change the plan or remove the planned roadway.
8	P001	Note	Mark Zans : LD	Closed	Is this subdivision to be done in phases?
9	P001	Note	Mark Zans : LD	Closed	Fire comments 1-10

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
					<p>1 Infor. The plat references both residential and commercial areas.</p> <p>2 Infor. Note: All code reference is based on currently adopted International Fire Code (IFC) 2021 and Corpus Christi Water Distribution Standards.</p> <p>3 Plat Fire flow for residential areas require 750 GPM with 20 psi residual</p> <p>4 Plat 507.5.1 Exception 1: Group R-3 (one- or two-family dwellings): Fire hydrants to be located every 600 feet apart.</p> <p>5 Plat Mercantile/Commercial areas require a fire flow of 1,500 GPM with 20 psi residual.</p> <p>6 Plat 507.5.1 (amendment) Where Required: All premises, other than one-family detached dwellings, where buildings or portions of buildings are located more than 150 feet from a fire hydrant shall be provided with approved on-site hydrants and water mains capable of supplying the fire flow require by the fire official. The minimum arrangement being so as to have a hydrant available for distribution of hose to any portion of building on the premises at distances not exceeding 300 feet.</p> <p>7 Plat 507.5.4 Obstruction. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants.</p> <p>8 Plat 912.2.3 (amendment) Proximity to Hydrant: (if required) Fire department connections (FDC) for each sprinkler system or standpipe system shall be located not more than 100 feet from the nearest fire hydrant connected to an approved water supply.</p> <p>9 Plat 503.1.1 (amendment) Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall allow access to three (3) sides of buildings in excess of fifteen thousand (15,000) square feet and all sides for buildings in excess of thirty thousand (30,000) square feet.</p> <p>10 Plat 503.1.1 (amendment): During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p>
10	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 11-17</p> <p>11 Plat 3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p> <p>12 Plat D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>13 Plat 503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches. The minum UDC standard is 28 ft. curb to curb. Due to the number of residential units, Haven street should be expanded and be considered a " Collector Street"</p> <p>14 plat D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>15 Note "1. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2. Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street</p>

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
					<p>that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street."</p> <p>16Infor.□"Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Note, this is posted due to a few of the proposed streets have sharp angles for turning fire apparatus. Layout of the street design should not result in acute angles that would prevent fire apparatus from completing a turn without having to back up to negotiate the turn."</p> <p>17Plat□503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p>
11	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 18-24</p> <p>18Plat□503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p> <p>19Plat□503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>20Plat□Table D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac. Note Cul-de-sacs are required to meet these standards.</p> <p>21Note□The Fire Department will not accept a hammerhead designs as a turnaround provisions.</p> <p>22Plat□D107.1 One- or two-family dwelling residential developments. Developments of one- or two-family dwellings where the number of dwelling units exceeds 50 shall be provided with two separate and approved fire apparatus access roads.</p> <p>23Note□During time of construction, streets that terminate in a dead-end are to be provided with temporary turnarounds in accordance with the above requirements. The temporary turn-around may be removed upon completion of the street.</p> <p>24Note□Comments are not to be considered all-inclusive. Development of the property will require further Development Services review.</p>
12	P001	Note	Mark Zans : LD	Closed	Per the UTP/RMP a A-2, 100' wide roadway to run from Haven Dr. northwest to the west boundary line of the plat. A UTP amendment is needed to change the plan or remove the planned roadway.
13	P001	Note	Mark Zans : LD	Open	Provide a second plat sheet showing lots and the square footage of the lots on the sheet.
14	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments 1-8</p> <p>1Informational:□Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7)</p> <p>2Informational:□Proposed driveway access to a public maintained by the Texas Department of Transportation (TXDOT) shall conform to TXDOT criteria. The developer and/or agent is responsible for coordination with the local TXDOT Area Office.</p> <p>3Informational:□The PW-Traffic Department(Right-of-Way Division) is responsible for reviewing and permitting new construction and repairs/modifications to driveways, sidewalks, and curb and gutter. The review and approval of the permit must be approved prior to the issuance of the building permit (issued by DSD). (Refer to Municode Chapter 49-30 for permit requirements.)</p> <p>4Informational:□Public improvement plans shall include all signage and pavement markings</p>

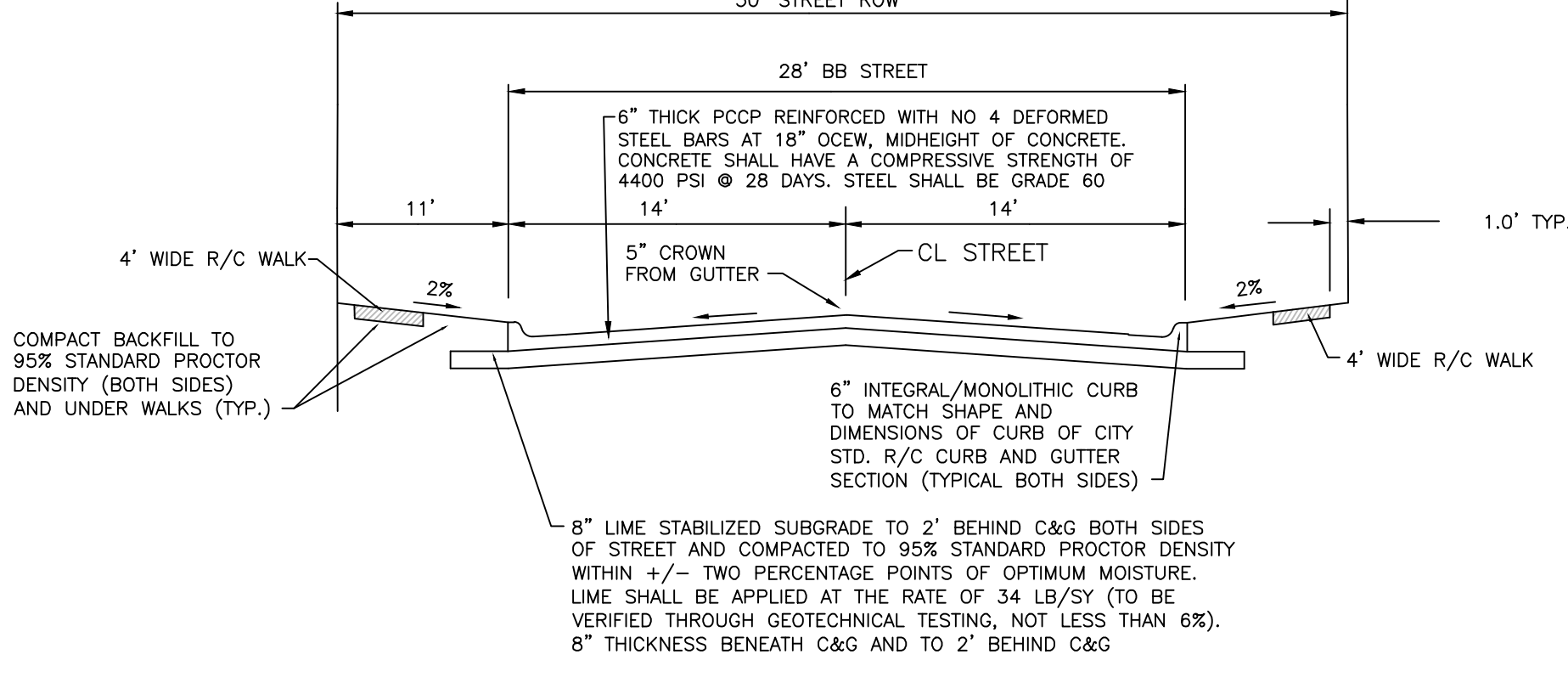
Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
					<p>needed for traffic operations (e.g. signage, striping, traffic mitigation devices) in addition to standard "regulatory" STOP and street name blade sign installations. Additionally, cul-de-sacs must include either "NO OUTLET" or "DEAD END" signage. Temporary Dead-Ends should include the appropriate object markers and one-way streets must include signage for any one-way designations and affected side streets. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>5□Informational:□All traffic signs shall be furnished and installed by the Developer in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. This includes furnishing and installing "STOP" signs. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A. All entries to private streets from public streets shall be clearly signed by the owners or home owners association as a "private street." (Reference UDC Article 8.2.1.J. Private Streets)</p> <p>6□Informational:□Pavement markings shall be installed within the scope of the subdivision in accordance to specifications of, and subject to, latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD), public improvement plan reviews and inspections, by the City. Reference: Texas MUTCD and UDC Article 8.1.3.A</p> <p>7□Informational:□Pavement markings shall be installed within the scope of the subdivision on all streets classified as a collector (C1) or higher on the City's Urban Transportation Plan Map. Streets not designated as a collector (C1) or higher, but constructed with a 40-foot width (back-of-curb to back-of-curb) will be subject to specifications stated in public improvement plan review. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p> <p>8□Informational:□Raised blue pavement markers in accordance with the latest version of the "Texas Manual on Uniform Traffic Control Devices (TMUTCD)," shall be installed in the center of a street or safety lane at fire hydrant locations. Reference: Texas MUTCD based on CC UDC Article 8.1.3.A</p>
15	P001	Note	Mark Zans : LD	Closed	<p>Traffic comments 9-16</p> <p>9□Informational:□The developer or their representative is required to submit a "Street Lighting Plan", indicating the proposed locations and fixture type of street lights, for review and approval to the City's Traffic Engineering Department. All new fixture types will be LED. Street lights shall meet design requirements per the City of Corpus Christi Infrastructure Design Manual (IDM) Chapter 8 - Street Lighting Design Policy and Guidelines.</p> <p>10□Informational:□The "Street Lighting Plan" shall indicate all existing street lights within 500-ft (+/-) of proposed street lights along tangent street sections. Preliminary "written" approval of the "Street Lighting Plan", by the City's Traffic Engineering Department, is required before the utility company (AEP or NEC) can start the design of the street lighting system and determine developer fees, which are required for plat recordation. Traffic Engineering issues a Letter of Authorization to the utility company, allowing for construction of the street lighting system, once this process is complete.</p> <p>11□Informational:□A ROW Construction Permit, issued by PW-Traffic Department (Right-of-Way Division), is required for any work obstructing, closing, or occupying public right-of-way (Reference Chapter 49-2). Work within the Right-of-Way without a permit is subject to daily Non-Compliance Fees (Reference Municode Chapter 49).</p> <p>12□Informational:□Provide the PHT form using 11th edition, or latest edition, of the Trip Generation Manual . A PHT Form is required for any rezoning, site plan or street closure request for developments that are projected to contain 500 or fewer weekday peak hour trips. A traffic impact analysis will be required for developments generating or 501 trips. (Reference UDC Section 3.29)</p> <p>13□Informational:□An Urban Transportation Plan Amendment is required to modify or delete a master planned street. Coordinate with the Traffic Department (TrafficEngineering@cctexas.com)</p>

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
					<p>to complete this separate process and requirements.</p> <p>14□Informational:□Any street excavation, utility cut, or utility tap requires a permit issued by the Traffic Department (Right-of-Way Division). Restoration requirements are subject to the street Pavement Condition Index (PCI) and street age. New streets (Any street 0-6 years and / or PCI ≥ 80) will require restoration of 25-ft beyond the outermost edge of the excavation and up to curb to curb repair. Older streets (Any street > 6 years or PCI < 80) will require restoration of 10-ft beyond the outermost edge of the excavation and up to full lane (Refer to Municode Section 49-47-1).</p> <p>15□Informational:□"Sidewalks required on both sides of local street as per IDM Chapter 6 - Street Design Requirements.</p> <p>Table 6.2.2 Street Right-of-Way Dimension Standards"</p> <p>16□Informational:□Culd-de-Sacs shall conform to access management standards outlined in Article 8 of the UDC (UDC 8.2.1 G)</p>
20	P001	Note	Mark Zans : LD	Closed	<p>Parks comments:</p> <p>Total of fees based on the number of lots presented. Additionally, Apartment complex listed under same CN-1 Zoning as proposed commercial units to be developed, the number of dwelling units in the apartment complexes are going to be necessary in order to properly calculate additional fees to be added. Please note to separate the amount of units of single residential dwelling units under RS 4.5 & Dwelling units included in the CN-1 Apartment complexes to be built in order for fees to be properly calculated. This preliminary plat is 775 lots x 462.50 = \$358,437.50</p>
21	P001	Note	Mark Zans : LD	Open	<p>water comments:</p> <p>1. Water construction is required for platting (UDC 1.2.1.D & 8.2.6; Water Distribution Standards).</p>
22	P001	Note	Mark Zans : LD	Closed	<p>Wastewater comments:</p> <p>1. Wastewater construction is required for platting (UDC 1.2.1.D & 8.2.7; Wastewater Collection System Standards).</p>



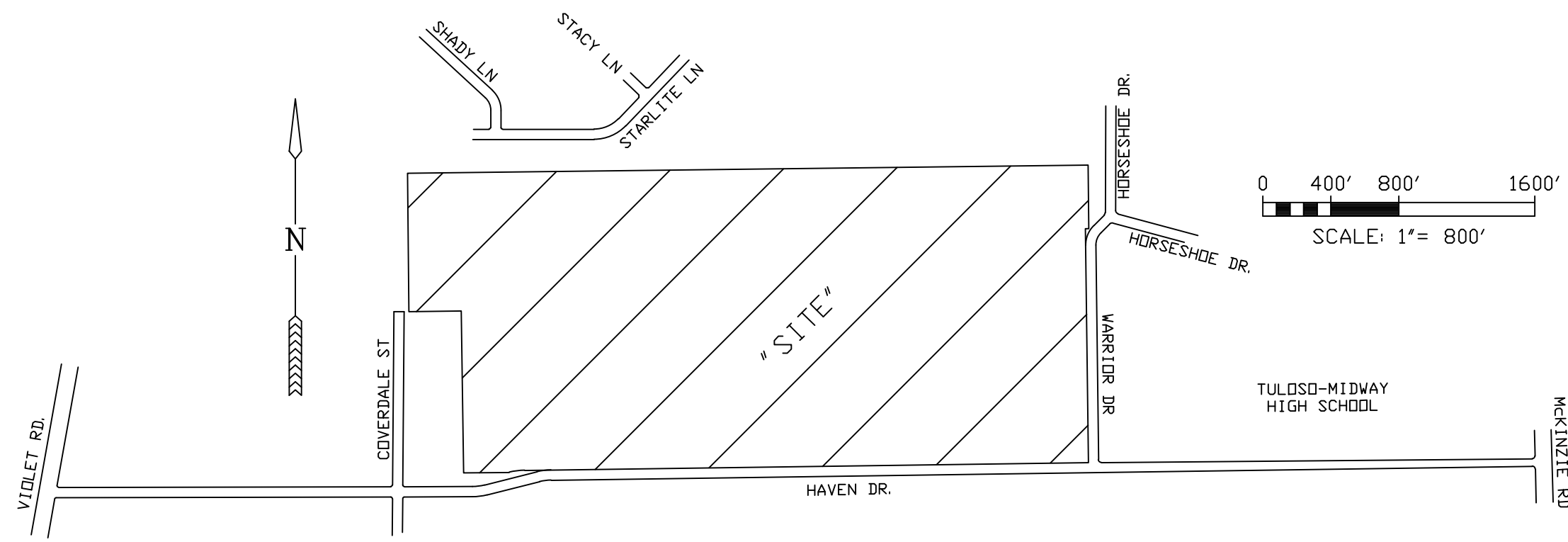
TYPICAL STREET SECTION - 60' ROW

NTS



TYPICAL STREET SECTION - 50' ROW

NTS



LOCATION MAP

1" = 800'



NOTES

1. THE BASIS OF BEARINGS IS THE STATE OF TEXAS LAMBERT GRID, SOUTH ZONE, NAD 1983.
2. THE SUBJECT SITE LIES IN ZONE "OTHER AREAS" ACCORDING TO FEMA MAP 48355C0280G, OCTOBER 13, 2022.
3. NUECES BAY IS RECEIVING WATERS.
4. ALL OF THE SITE IS ZONED RS-4, S EXCEPT FOR LOT 109, BLOCK 23, AS SHOWN, WHICH IS ZONED CN-1.
5. THERE ARE NO KNOWN NATURAL WATER BODIES, JURISDICTIONAL WETLANDS, ENDANGERED SPECIES HABITAT, STATE SUBMERGED LANDS OR CRITICAL DUNES ON THE SITE.
6. A STORM WATER POLLUTION PREVENTION PLAN WILL BE SUBMITTED WITH THE CONSTRUCTION PLANS FOR ANY PROJECT ONE (1) ACRE OR GREATER OR A STORM WATER POLLUTION CONTROL PLAN IF LESS THAN ONE (1) ACRE.

NOTES, CONTINUED

7. LEGAL DESCRIPTION - A 154.427 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF LOTS 85 - 92, ARTEMUS ROBERTS SUBDIVISION, A MAP OF WHICH IS RECORDED IN VOLUME 3, PAGE 41, MAP RECORDS, NUECES COUNTY, TX AND ALSO CONSISTING OF A PORTION OF PARCEL 2, DOC. NO. 1998054737, OFFICIAL RECORDS OF SAID COUNTY, CORPUS CHRISTI, NUECES CO., TX.
8. EACH LOT AREA MUST COMPLY WITH THE APPROPRIATE ZONING DESIGNATION.
9. WATER, WASTEWATER AND PARK FEES SHALL BE PAID PRIOR TO RECORDATION OF THE FINAL PLAN.
10. THE TOTAL PLATTED AREA CONTAINS 154.427 ACRES OF LAND INCLUDING STREET DEDICATIONS.
11. EACH ZONING DISTRICT SHALL CONFORM TO MINIMUM LOT WIDTH (FT.) AND LOT AREA (SF) STANDARDS.

NOTES, CONTINUED

12. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
13. STREET CENTER LINES SHALL BE 25' - 25' FOR 50' RIGHTS-OF-WAY, AND 30' - 30' FOR 60' RIGHTS-OF-WAY.
14. CONFORMANCE TO THE VISIBILITY TRIANGLE REQUIREMENTS OF UDC SECTION 4.2.9, TO PREVENT VISION OBSTRUCTIONS AT STREET INTERSECTIONS SHALL BE REQUIRED.
15. THERE SHALL BE NO DRIVEWAY ACCESS TO HAVEN DRIVE EXCEPT FOR LOT 109, BLOCK 23, AS SHOWN.
16. INSIDE STREET CORNER INTERSECTIONS REQUIRE A RADIUS OF A MINIMUM OF 10' ON LOCAL RESIDENTIAL STREETS AND 15' TO 60' RIGHT-OF-WAY STREETS AND TO HAVEN DRIVE.
17. ALL DRIVEWAYS TO PUBLIC STREETS WITHIN THE SUBDIVISION SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS OUTLINED IN ARTICLE 7 OF THE UDC.

ADDITIONAL NOTE:

SEE PLANS BY OTHERS FOR SWAMP AND DRAINAGE DESIGN AND FOR SANITARY SEWER AND WATER PLANS

0 75' 150' 300'
SCALE: 1" = 150'

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PRELIMINARY PLAT OF YELLOWSTONE

A 154.427 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF LOTS 85 - 92, ARTEMUS ROBERTS SUBDIVISION, A MAP OF WHICH IS RECORDED IN VOLUME 3, PAGE 41, MAP RECORDS, NUECES COUNTY, TX AND ALSO CONSISTING OF A PORTION OF PARCEL 2, DOC. NO. 1998054737, OFFICIAL RECORDS OF SAID COUNTY, CORPUS CHRISTI, NUECES CO., TX

DWN.	_____	PLOT SCALE: 1" = 150'	COM. NO.	_____
CHK.	N. WELSH	SCALE (H): SAME	JOB NO.	21048
		SCALE (V): NONE		
		ORIG DATE PLOTTED 6/20/25	SHEET 1 OF 1	



6/20/25

**TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025**

PL8719

Final Plat – King’s Landing Unit 11
(38.07 Acres)

(District 3) Generally located at 1498 Farm-to-Market Road (FM) 43, north of FM 43 and east of Digger Ln.

Zoned: RS-4.5

Owner: MPM Development

Surveyor: Bass & Welch

The applicant proposes to replat the property to create 155 lots for residential development. Staff recommends **Conditional Approval**, subject to compliance with the technical review committee’s comments, City Ordinances, UDC, and state law.

- **Condition:** unresolved plat comments

Development Services

2406 Leopard Street, Corpus Christi, TX 78408

Date: 07-14-2025**16:45:24****Final Report - Corrections Required**
Application No. PL8719**Comment Author Contact Information:**

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Elena Buentello	elenab@cctexas.com	361-826-3598
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments
33	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: Yes Sidewalks: Yes B. Water: Yes Fire hydrants: Yes C. Wastewater: Yes D. Stormwater: Yes E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
1	P001	Note	Elena Buentello : DS	Open	UDC 3.1.6.B.2.A Please submit an application and all other required documents for this application.
2	P001	Note	Mark Zans : DS	Closed	The submitted application has been accepted. We are now in need of the following: 1. A signed copy of the DOI form. 2 A copy of the deeds for the land showing correct ownership for MPM Development. 3. A utility plan showing all utility connections. 4. A SWQMP for the site and show calculations. The plat cannot move forward unless all required plans and documentsd are submitted.
30	P001	Note	Alex Harmon : DS	Open	6/25/25 UPDATE: To be addressed with Pls. Plat may need to be adjusted based on review. Please review IDM Ch. 3.05: No Adverse Impacts. For new developments and other improvements that will increase the impervious cover, decrease the time of concentration (Tc), or increase peak flows from drainage areas, mitigation of adverse storm water impacts shall be required. Mitigation methods shall be designed to release the post-development storm water runoff from a site at a controlled rate, which does not exceed the predeveloped peak runoff rate. Habitable structures must be mitigated to the 100 yr-storm event, per UDC 8.2.8
31	P001	Note	Alex Harmon : DS	Open	6/25/25 UPDATE: Separate SWQMP should be submitted that shows path of delineation as well as pre and post flows. See Plat Submittal application checklist for more information. Per City of Corpus Christi - Code of Ordinances Ch. 14, Art.X, Sec. 14-1003, a Storm Water Quality Management Plan (SWQMP) is required. The following information is not included with the submittal: -Hydraulic calculations based upon established procedures (such as the rational method). This should be done for the predeveloped land and post developed land.
32	P003	Note	Alex Harmon : DS	Open	6/25/25 UPDATE: Contact USACE as they are the only ones who can determine if this is actually wetlands. The US Fish and Wildlife Service (FWS) identifies one wetland areas within this proposed platted area. please identify the area on this plat. Approval from the USACE is needed prior to recordation/construction in these areas.
14	P001	Note	Mark Zans : LD	Closed	Provide state surveyor registration number.
20	P001	Note	Mark Zans : LD	Closed	Plat is a final plat.
21	P001	Note	Mark Zans : LD	Closed	This plat is on the 30-day tract for approval, approval with Conditions, or disapproval by 6/25/2025. The deadline for revisions to be submitted is 6/19/2025
22	P001	Note	Mark Zans : LD	Closed	The plat will be recommended as Conditional Approval for Resolution comments received and that have remained Open and unmet.
23	P001	Note	Mark Zans : LD	Closed	A request or response may be made for an additional 30 days for Public Notice plat with a Waiver or to res olve Open comments. This request must be made directly to Development Services within the 30-day initial period.
27	P001	Note	Mark Zans : LD	Closed	fire comments 1-10 1 Infor.□Water Distribution Standards: Fire flow for residential areas require 750 GPM with 20 psi residual 2□Plat□The UDP has a standard regarding the continuation of streets. Will Natasha Lane be

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
					<p>connected to Digger Lane and will CR 26 be further developed as another entry into the subdivision?</p> <p>3Infor.507.5.1 Exception 1: Group R-3 (one- or two-family dwellings): Fire hydrants to be located every 600 feet apart.</p> <p>4Infor.3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p> <p>5Infor.D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p> <p>6Infor.503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>7Infor.Note: An accessible road and a suitable water supply is required before going vertical with any structure.</p> <p>8Infor.503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches. The standard UDP requirement is 28 ft. curb to curb.</p> <p>9Infor.D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>10Infor."1.Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>2.Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street.</p> <p>3.The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street."</p>
28	P001	Note	Mark Zans : LD	Closed	<p>Fire comments 11-15</p> <p>11PlatNote: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in."</p> <p>12Infor.503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p> <p>13Infor.503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p> <p>14PlatD107.1 One- or two-family dwelling residential developments. Developments of one- or two-family dwellings where the number of dwelling units exceeds 50 shall be provided with two</p>

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
					<p>separate and approved fire apparatus access roads.</p> <p>Exceptions:</p> <p>1. Where there are more than 30 dwelling units on a single public or private fire apparatus access road and all dwelling units are equipped throughout with an approved automatic sprinkler system, access from two directions shall not be required.</p> <p>2. The number of dwelling units on a single fire apparatus access road shall not be increased unless fire apparatus access roads will connect with future development, as determined by the fire code official."</p> <p>15PlatD107.2 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses. Unless otherwise approved by the Fire Marshal.</p>
29	P001	Note	Mark Zans : LD	Closed	<p>Fire comments: 16--17</p> <p>16Plat503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>17PlatTable D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.</p>
34	P001	Note	Mark Zans : LD	Closed	Park Fee: 155 lots x 462.50 = \$71,687.50
35	P001	Note	Mark Zans : LD	Closed	<p>Stormwater comments:</p> <p>Please review IDM Ch. 3.05: No Adverse Impacts. For new developments and other improvements that will increase the impervious cover, decrease the time of concentration (Tc), or increase peak flows from drainage areas, mitigation of adverse storm water impacts shall be required. Mitigation methods shall be designed to release the post-development storm water runoff from a site at a controlled rate, which does not exceed the predeveloped peak runoff rate. Habitable structures must be mitigated to the 100 yr-storm event, per UDC 8.2.8.</p> <p>If local private on-site storm water detention facilities are provided, they shall be designed using the appropriate methodology for their acreage and require a licensed professional engineer to inspect and certify that the facility is functioning as originally designed.</p> <p>Per City of Corpus Christi - Code of Ordinances Ch. 14, Art.X, Sec. 14-1003, a Storm Water Quality Management Plan (SWQMP) is required. The following information is not included with the submittal:</p> <ul style="list-style-type: none"> -Hydraulic calculations based upon established procedures (such as the rational method). This should be done for the predeveloped land and post developed land. -An on-site drainage plan, which details the direction of flow (using arrows or contours) and collection structures, including the size and required capacity of the drainage structures. -The on-site drainage plan should address how run-on storm water will be handled, including sheet flow entering the site from adjoining property.
36	P001	Note	Mark Zans : LD	Closed	<p>PW Streets comments:</p> <ul style="list-style-type: none"> •PW STR: Were our PIP comments for this unit addressed? If so, can we see the developer's answers? •PW STR: Please provide an overall location map that identifies all units within King's Landing •PW STR: Informational - RCC pavement section shall adhere to Section 2 of the Pilot Program for Roller Compacted Concrete Roadway Improvements and Participation Agreement for Kings Landing Subdivision •PW STR: Informational - County Road 26 is on the Transportation Plan as a C3 Collector. Please coordinate with Public Works Traffic Department for a proposal to modify the Urban Transportation Plan.

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments
					<ul style="list-style-type: none"> •PW STR: Informational - A person shall be held responsible for damage to and in public right-of-way for the criteria outlined in Sec. 49-39-9 in the City's Municipal Code and will be held responsible for restoring the City assets per Municipal Code Sec. 49-47-1, Sec. 49-54-6 and Sec. 49-49-3. For further information, please email ROWManagement@cctexas.com. •PW STR: Informational - Please refer to City of Corpus Christi Standards and Specifications for proposing roadwork, curb and gutter, sidewalk, utilities, etc and have the standards included in the plan set and the specifications referenced. Wherever available, please include a table of contents for which standards and specifications were used.
15	P002	Note	Mark Zans : LD	Closed	Provide Vol. and Pg number for Unit 10 recording.
16	P002	Note	Mark Zans : LD	Closed	Provide Vol. and Pg number for Unit 10 recording.
17	P003	Note	Mark Zans : LD	Closed	PW Streets comments: <ul style="list-style-type: none"> •PW STR: Were our PIP comments for this unit addressed? If so, can we see the developer's answers? •PW STR: Please provide an overall location map that identifies all units within King's Landing •PW STR: Informational - RCC pavement section shall adhere to Section 2 of the Pilot Program for Roller Compacted Concrete Roadway Improvements and Participation Agreement for Kings Landing Subdivision •PW STR: Informational - County Road 26 is on the Transportation Plan as a C3 Collector. Please coordinate with Public Works Traffic Department for a proposal to modify the Urban Transportation Plan. •PW STR: Informational - A person shall be held responsible for damage to and in public right-of-way for the criteria outlined in Sec. 49-39-9 in the City's Municipal Code and will be held responsible for restoring the City assets per Municipal Code Sec. 49-47-1, Sec. 49-54-6 and Sec. 49-49-3. For further information, please email ROWManagement@cctexas.com. •PW STR: Informational - Please refer to City of Corpus Christi Standards and Specifications for proposing roadwork, curb and gutter, sidewalk, utilities, etc and have the standards included in the plan set and the specifications referenced. Wherever available, please include a table of contents for which standards and specifications were used.
18	P003	Note	Mark Zans : LD	Closed	Provide Vol. and Pg number for Unit 8 recording.
19	P003	Note	Mark Zans : LD	Closed	Provide Vol. and Pg number for Unit 8 recording.
24	P003	Note	Mark Zans : LD	Closed	Gas company comments. Gas company request easements on Block 20, Lots 28 and 29, 5' on each side of common lot line for a total of ten feet.
25	P003	Note	Mark Zans : LD	Closed	Gas company comments. Gas company request easements on Block 20, Lots 33 and 34, 5' on each side of common lot line for a total of ten feet.
26	P003	Note	Mark Zans : LD	Closed	Gas company comment; 5' easement along the south line of lot 38 for a total easement of 5 feet.

STATE OF TEXAS §
COUNTY OF NUECES §
WE, MPM DEVELOPMENT, LP, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING PLAT, SUBJECT TO A LIEN IN FAVOR OF _____ THAT WE HAVE HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN, THAT STREETS AND EASEMENTS AS SHOWN HAVE BEEN HERETOFORE DEDICATED, OR IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE FOREVER AND THAT THIS PLAT WAS MADE FOR THE PURPOSES OF DESCRIPTION AND DEDICATION.

THIS THE ____ DAY OF _____, 20____,

MOSSA MOSTAGHASI, GENERAL PARTNER

STATE OF TEXAS §
COUNTY OF NUECES §
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MOSSA MOSTAGHASI, GENERAL PARTNER OF MPM DEVELOPMENT, LP.

THIS THE ____ DAY OF _____, 20____,

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS §
COUNTY OF NUECES §
I, NIXON M. WELSH, REGISTERED PROFESSIONAL LAND SURVEYOR OF BASS & WELSH ENGINEERING, HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION.
THIS THE ____ DAY OF _____, 20____,

NIXON M. WELSH, RPLS NO. 2211

STATE OF TEXAS §
COUNTY OF NUECES §
WE, _____(NAME), HEREBY CERTIFY THAT WE ARE THE HOLDERS OF A LIEN ON THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING MAP AND THAT WE APPROVE THE SUBDIVISION AND DEDICATION FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.
BY: _____
TITLE: _____

STATE OF TEXAS §
COUNTY OF NUECES §
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____(NAME), _____(TITLE), OF _____
THIS THE ____ DAY OF _____, 20____,

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

PLAT OF
KING'S LANDING UNIT 11
A 38.072 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF A 293.041 ACRE TRACT, DDC. NO. 2019035726, D.R. AND A PORTION OF A 130.570 ACRE TRACT, DDC. NO. 2019051482, D.R., SAID 38.072 ACRE TRACT BEING A PORTION OF SURVEY 137, ABSTRACT 579 AND SURVEY 139, ABSTRACT 577, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX
CORPUS CHRISTI, NUECES COUNTY, TEXAS
BASS & WELSH ENGINEERING
TX SURVEY REG. NO 100027-00, TX ENGINEERING
REG. NO. F-52, 3054 S. ALAMEDA STREET,
CORPUS CHRISTI, TEXAS 78404
DATE PLOTTED: 06/19/25
COMP. NO.: PLAT-SH1
JOB NO.: 24008
SCALE: 1" = 60'
PLOT SCALE: SAME
SHEET 1 OF 3

STATE OF TEXAS §
COUNTY OF NUECES §
THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE DEPARTMENT OF DEVELOPMENT SERVICES OF THE CITY OF CORPUS CHRISTI, TEXAS

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

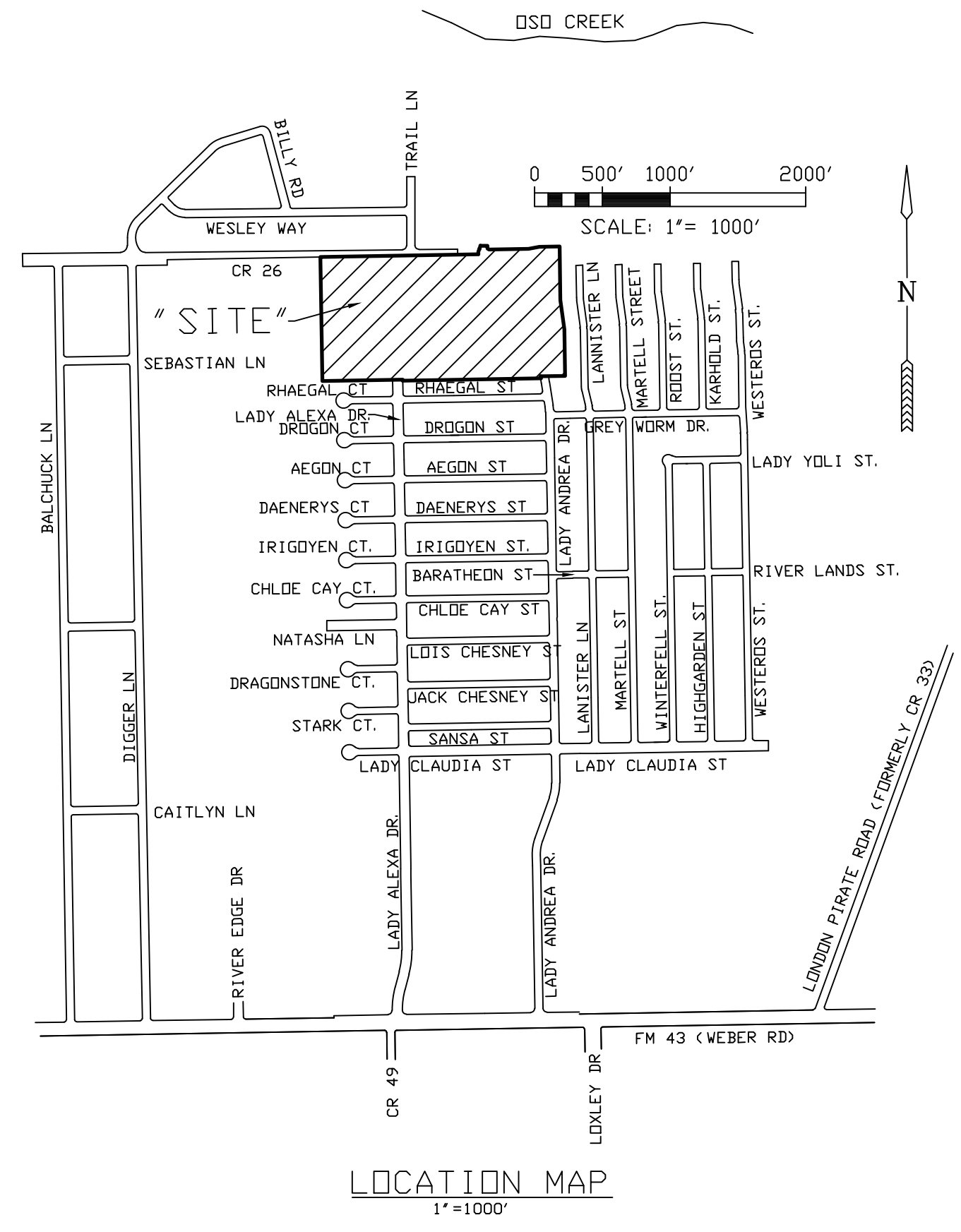
DATE

STATE OF TEXAS §
COUNTY OF NUECES §
THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS, BY THE PLANNING COMMISSION.
THIS THE ____ DAY OF _____, 20____,

CHAIRMAN
MICHAEL YORK

SECRETARY
MICHAEL DICE

STATE OF TEXAS §
COUNTY OF NUECES §
I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE ____ DAY OF _____, 20____ WITH ITS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE THE ____ DAY OF _____, 20____ AT ____ O'CLOCK ____M., AND DULY RECORDED THE ____ DAY OF _____, 20____ AT ____ O'CLOCK ____M. IN THE MAP RECORDS OF SAID COUNTY IN VOLUME ____PAGE ____INSTRUMENT NUMBER ____WITNESS MY HAND AND SEAL OF THE COUNTY COURT IN AND FOR SAID COUNTY AT OFFICE IN CORPUS CHRISTI, NUECES COUNTY, TEXAS, THE DAY AND YEAR LAST WRITTEN.
BY: _____
DEPUTY
KARA SANDS, CLERK
COUNTY COURT
NUECES COUNTY, TEXAS



LEGEND:

- DE DRAINAGE EASEMENT
- D.R. DEED RECORDS, NUECES CO., TX
- M.R. MAP RECORDS, NUECES CO., TX
- O.R. OFFICIAL RECORDS, NUECES CO., TX
- UE UTILITY EASEMENT

NOTES

- SET 5/8" IRON RODS WHERE POSSIBLE AT ALL LOT CORNERS; WHERE NOT POSSIBLE TO SET 5/8" IRON RODS, SET NAILS OR CHISEL MARKS AT LOT CORNERS IF POSSIBLE. ALL IRON RODS SET CONTAIN PLASTIC CAPS LABELED BASS AND WELSH ENGINEERING.
- THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
- THE BASIS OF BEARINGS IS THE STATE OF TEXAS LAMBERT GRID, SOUTH ZONE, NAD 1983.
- THE ENTIRE SUBJECT SITE IS IN FEMA ZONE X, OTHER AREAS AND FEMA ZONE X OTHER FLOOD AREAS AS SHOWN, MAP NO. 48355C0505G (10/13/2022).
- LEGAL DESCRIPTION: A 38.072 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF A 293.041 ACRE TRACT, DDC. NO. 2019035726, D.R. AND A PORTION OF A 130.570 ACRE TRACT, DDC. NO. 2019051482, D.R., SAID 38.072 ACRE TRACT BEING A PORTION OF SURVEY 137, ABSTRACT 579 AND SURVEY 139, ABSTRACT 577, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX.
- THE TOTAL PLATTED AREA CONTAINS 38.072 ACRES OF LAND INCLUDING STREET DEDICATIONS.
- THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
- ALL DRIVEWAYS TO RESIDENTIAL AND COLLECTOR PUBLIC STREETS WITHIN THE SUBDIVISION SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS OUTLINED IN ARTICLE 7 OF THE UDC.

DATE PLOTTED: 6/19/25
COMP. NO.: PLAT-SHT2
JOB NO.: 24008
SCALE: 1" = 60'
PLAT SCALE: SAME
SHEET 2 OF 3

CONTINUED FROM PREVIOUS SHEET



DATE PLOTTED: 6/19/25
COMP. NO.: PLAT-SHT3
JOB NO.: 24008
SCALE: 1" = 60'
PLAT SCALE: SAME
SHEET 3 OF 3

- D=90° 00' 00"
 R=15. 00'
 T=15. 00'
 L=23. 56'
 CB=N45° 55' 32" W
 CH=21. 21'
- (G) D=90° 00' 00"
 R=15. 00'
 T=15. 00'
 L=23. 56'
 CB=S44° 04' 28" W
 CH=21. 21'
- (H) D=99° 12' 43"
 R=15. 00'
 T=17. 63'
 L=25. 97'
 CB=S39° 28' 06" W
 CH=22. 85'
- (I) D=09° 12' 43"
 R=350. 00'
 T=28. 20'
 L=56. 27'
 CB=S05° 31' 54" E
 CH=56. 21'
- (J) D=09° 12' 43"
 R=290. 00'
 T=23. 36'
 L=46. 63'
 CB=N05° 31' 54" W
 CH=46. 58'
- (K) D=41° 24' 35"
 R=35. 00'
 T=13. 23'
 L=25. 30'
 CB=N68° 22' 11" E
 CH=24. 75'
- (L) D=90° 00' 00"
 R=10. 00'
 T=10. 00'
 L=15. 71'
 CB=S45° 55' 32" E
 CH=14. 14'
- (M) D=41° 25' 35"
 R=35. 00'
 T=13. 23'
 L=25. 31'
 CB=N19° 47' 16" E
 CH=24. 76'
- (N) D=54° 10' 28"
 R=45. 00'
 T=23. 02'
 L=22. 55'
 CB=S1° 24' 49" W
 CH=40. 98'
- (O) D=118° 39' 41"
 R=45. 00'
 T=75. 88'
 L=93. 20'
 CB=N73° 30' 16" W
 CH=77. 41'
- (P) D=02° 40' 47"
 R=352. 51'
 T=8. 24'
 L=16. 49'
 CB=S02° 14' 07" E
 CH=16. 48'

STATE OF TEXAS §
COUNTY OF NUECES §

WE, MPM DEVELOPMENT, LP, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING PLAT, SUBJECT TO A LIEN IN FAVOR OF _____ THAT WE HAVE HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN, THAT STREETS AND EASEMENTS AS SHOWN HAVE BEEN HERETOFORE DEDICATED, OR IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE FOREVER AND THAT THIS PLAT WAS MADE FOR THE PURPOSES OF DESCRIPTION AND DEDICATION.

THIS THE ____ DAY OF _____, 20____,

MOSSA MOSTAGHASI, GENERAL PARTNER

STATE OF TEXAS §
COUNTY OF NUECES §
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MOSSA MOSTAGHASI, GENERAL PARTNER OF MPM DEVELOPMENT, LP.

THIS THE ____ DAY OF _____, 20____,

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS §
COUNTY OF NUECES §
I, NIXON M. WELSH, REGISTERED PROFESSIONAL LAND SURVEYOR OF BASS & WELSH ENGINEERING, HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION.

THIS THE ____ DAY OF _____, 20____,

NIXON M. WELSH, RPLS NO. 2211

STATE OF TEXAS §
COUNTY OF NUECES §
WE, _____(NAME), HEREBY CERTIFY THAT WE ARE THE HOLDERS OF A LIEN ON THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING MAP AND THAT WE APPROVE THE SUBDIVISION AND DEDICATION FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

BY: _____

TITLE: _____

STATE OF TEXAS §
COUNTY OF NUECES §
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____ (NAME), _____ (TITLE), OF _____

THIS THE ____ DAY OF _____, 20____,

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

PLAT OF
KING'S LANDING UNIT 11
A 38.072 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF A 293.041 ACRE TRACT, DDC. NO. 2019035726, D.R. AND A PORTION OF A 130.570 ACRE TRACT, DDC. NO. 2019051482, D.R., SAID 38.072 ACRE TRACT BEING A PORTION OF SURVEY 137, ABSTRACT 579 AND SURVEY 139, ABSTRACT 577, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX
CORPUS CHRISTI, NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
TX SURVEY REG. NO 100027-00, TX ENGINEERING
REG. NO. F-52, 3054 S. ALAMEDA STREET,
CORPUS CHRISTI, TEXAS 78404
DATE PLOTTED: 06/19/25
COMP. NO.: PLAT-SH1
JOB NO.: 24008
SCALE: 1" = 60'
PLOT SCALE: SAME
SHEET 1 OF 3

STATE OF TEXAS §
COUNTY OF NUECES §
THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE DEPARTMENT OF DEVELOPMENT SERVICES OF THE CITY OF CORPUS CHRISTI, TEXAS

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

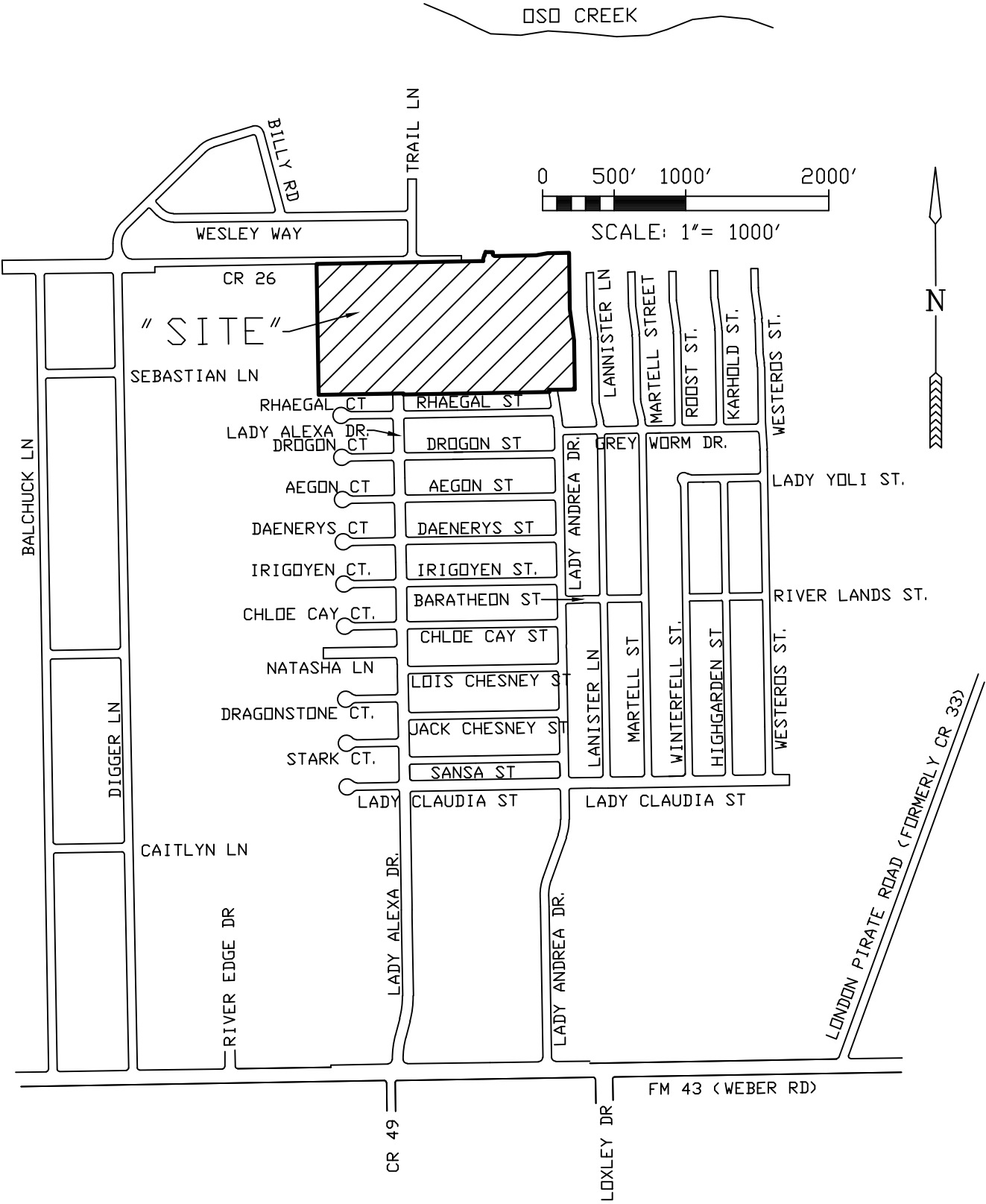
DATE

STATE OF TEXAS §
COUNTY OF NUECES §
THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS, BY THE PLANNING COMMISSION.
THIS THE ____ DAY OF _____, 20____,

CHAIRMAN _____ SECRETARY _____
MICHAEL YORK MICHAEL DICE

STATE OF TEXAS §
COUNTY OF NUECES §
I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR SAID COUNTY,
DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE ____ DAY OF _____, 20____ WITH ITS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE THE ____ DAY OF _____, 20____ AT ____ O'CLOCK ____M., AND DULY RECORDED THE ____ DAY OF _____, 20____ AT ____ O'CLOCK ____M. IN THE MAP RECORDS OF SAID COUNTY IN VOLUME ____PAGE ____INSTRUMENT NUMBER _____. WITNESS MY HAND AND SEAL OF THE COUNTY COURT IN AND FOR SAID COUNTY AT OFFICE IN CORPUS CHRISTI, NUECES COUNTY, TEXAS, THE DAY AND YEAR LAST WRITTEN.

BY: _____ DEPUTY _____
KARA SANDS, CLERK
COUNTY COURT
NUECES COUNTY, TEXAS

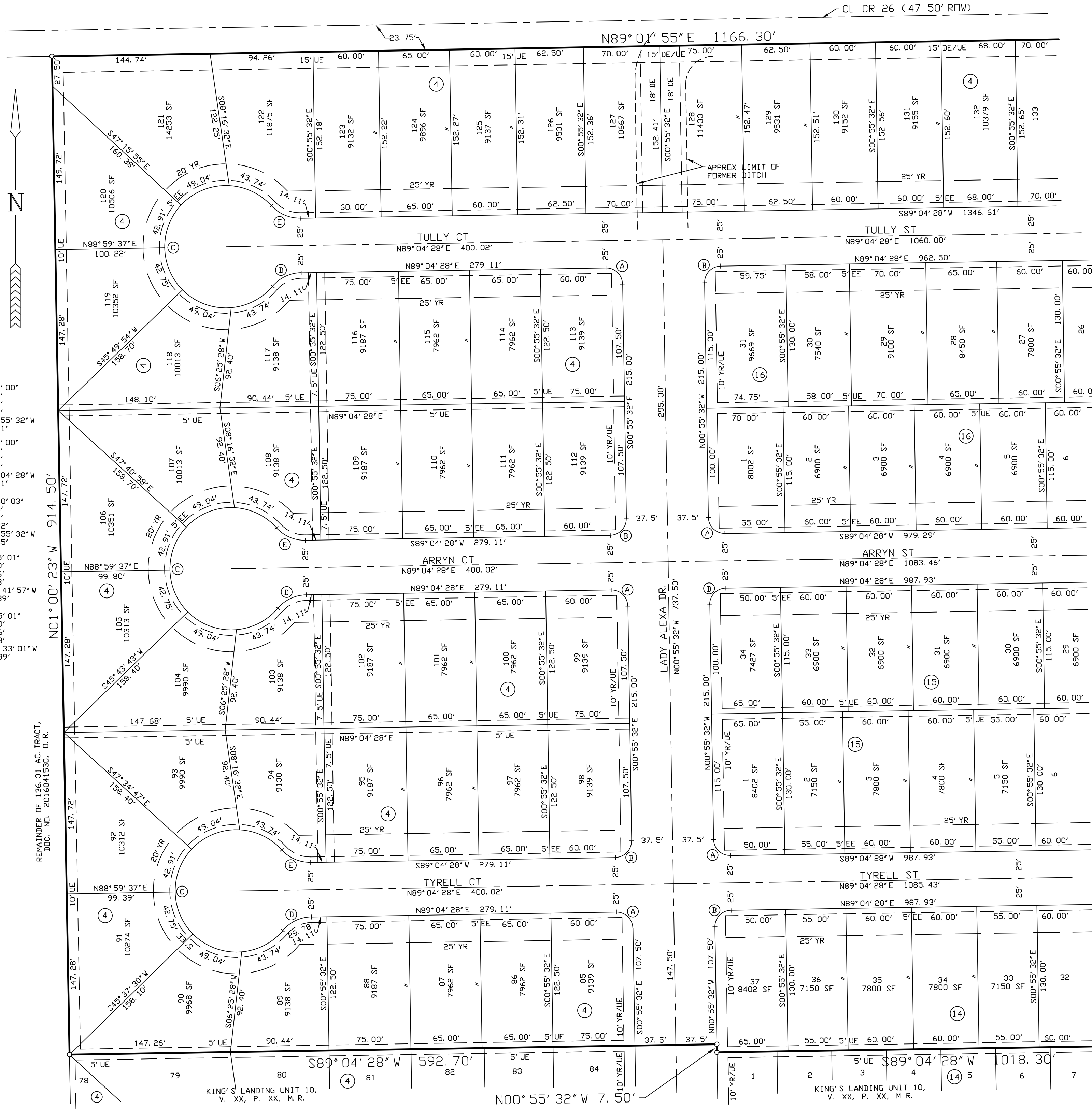


- LEGEND:
- DE DRAINAGE EASEMENT
 - D.R. DEED RECORDS, NUECES CO., TX
 - M.R. MAP RECORDS, NUECES CO., TX
 - O.R. OFFICIAL RECORDS, NUECES CO., TX
 - UE UTILITY EASEMENT

- NOTES
- SET 5/8" IRON RODS WHERE POSSIBLE AT ALL LOT CORNERS; WHERE NOT POSSIBLE TO SET 5/8" IRON RODS, SET NAILS OR CHISEL MARKS AT LOT CORNERS IF POSSIBLE. ALL IRON RODS SET CONTAIN PLASTIC CAPS LABELED BASS AND WELSH ENGINEERING.
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- (A) D=90° 00' 00"
R=15.00'
T=15.00'
L=23.56'
CB=N45° 55' 32" W
CH=21.21'
- (B) D=90° 00' 00"
R=15.00'
T=15.00'
L=23.56'
CB=S44° 04' 28" W
CH=21.21'
- (C) D=277° 30' 03"
R=56.00'
T=49.11'
L=271.22'
CB=N00° 55' 32" W
CH=73.85'
- (D) D=48° 45' 01"
R=35.00'
T=15.86'
L=29.78'
CB=S64° 41' 57" W
CH=28.89'
- (E) D=48° 45' 01"
R=35.00'
T=15.86'
L=29.78'
CB=N66° 33' 01" W
CH=28.89'

REMAINDER OF 136.31 AC. TRACT,
DOC. NO. 2016041530, D.R.



CONTINUED ON FOLLOWING SHEET

CONTINUED ON FOLLOWING SHEET

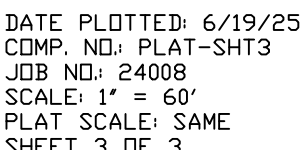
CONTINUED ON FOLLOWING SHEET

PLAT OF
KING'S LANDING UNIT 11
CORPUS CHRISTI,
NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING
REG. NO. F-52, 3054 S. ALAMEDA STREET,
CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 6/19/25
COMP. NO.: PLAT-SHT2
JOB NO.: 24008
SCALE: 1" = 60'
PLAT SCALE: SAME
SHEET 2 OF 3

CONTINUED FROM PREVIOUS SHEET



**TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
July 23, 2025**

PL8076

EXTENSION REQUEST – Azali District 1 (Final)

(28.90 acres)

(District 3): Generally located at 3602 Saratoga Boulevard, north of Saratoga Boulevard, and south of Glenway Drive, east of Kostoryz Road and west of Weber Road.

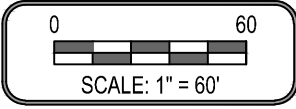
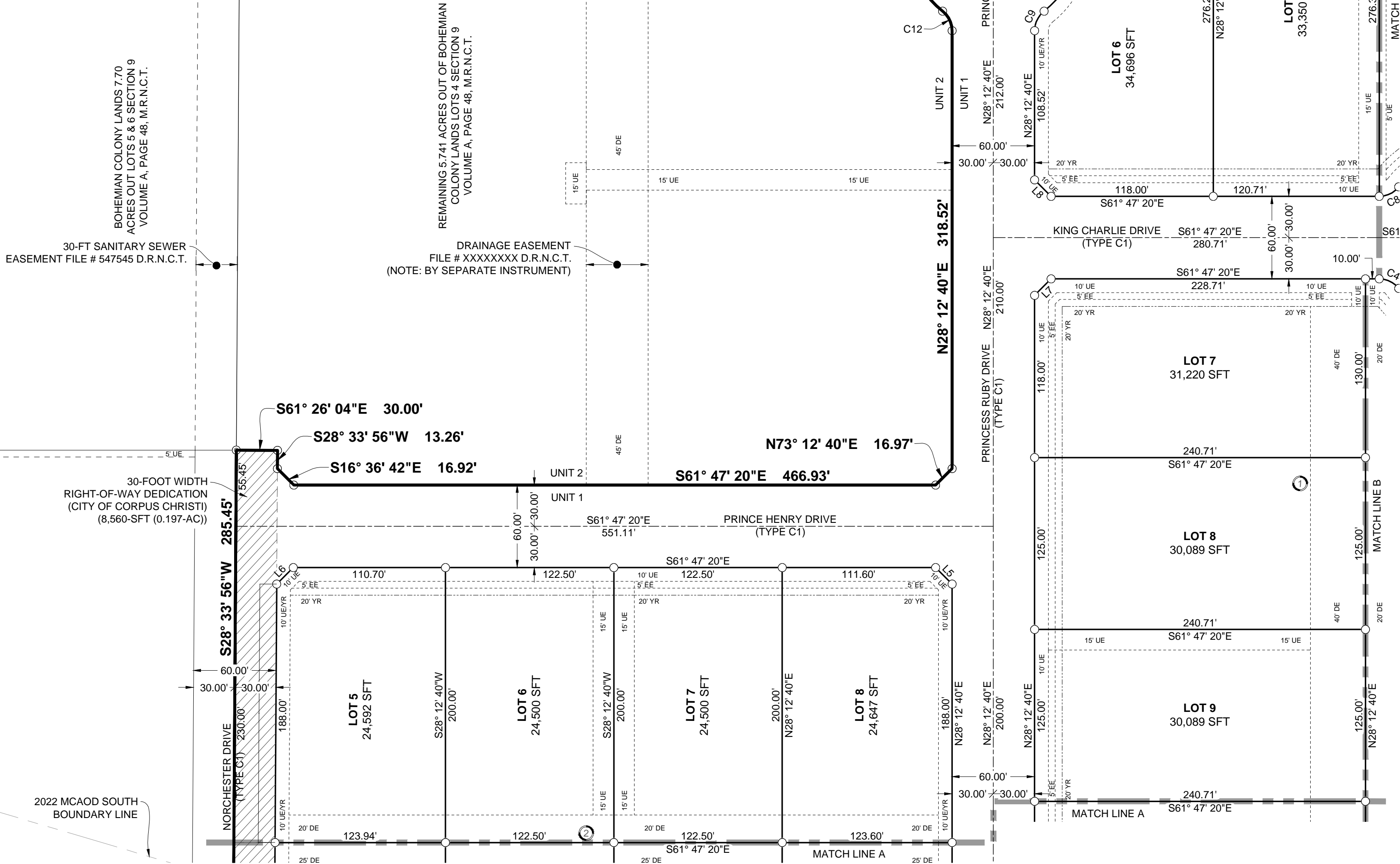
Owner: P & A LLC

Surveyor: Munoz Engineering

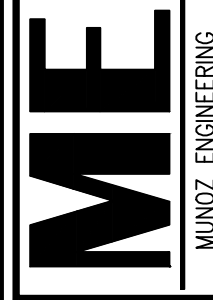
In the extension request, the applicant states “The purpose of this correspondence is to formally request a 12-month time extension for the plat. The project was delayed and has not started construction.”

The Planning Commission originally approved the above Final plat on May 1, 2024. This request is for a 12-month extension. If approved, the new expiration date would be July 23, 2026 – twelve months from the date of the Planning Commission’s approval of the extension. Staff recommends **approval**.

PLAT - FULL SIZE - 18" x 24"
MUNOZ ENGINEERING, LLC © 2023. M:\Projects - Dorset Development\230085 - Azali District\02 - DRAWINGS\01 LAND\02 PLATTING\02 FINAL\01 DWG\230085 - AZALI DISTRICT\11 - PLAT DOCUMENT.dwg



MUNOZ ENGINEERING



FINAL PLAT OF
AZALI DISTRICT UNIT 1
CORPUS CHRISTI, NUECES COUNTY, TEXAS

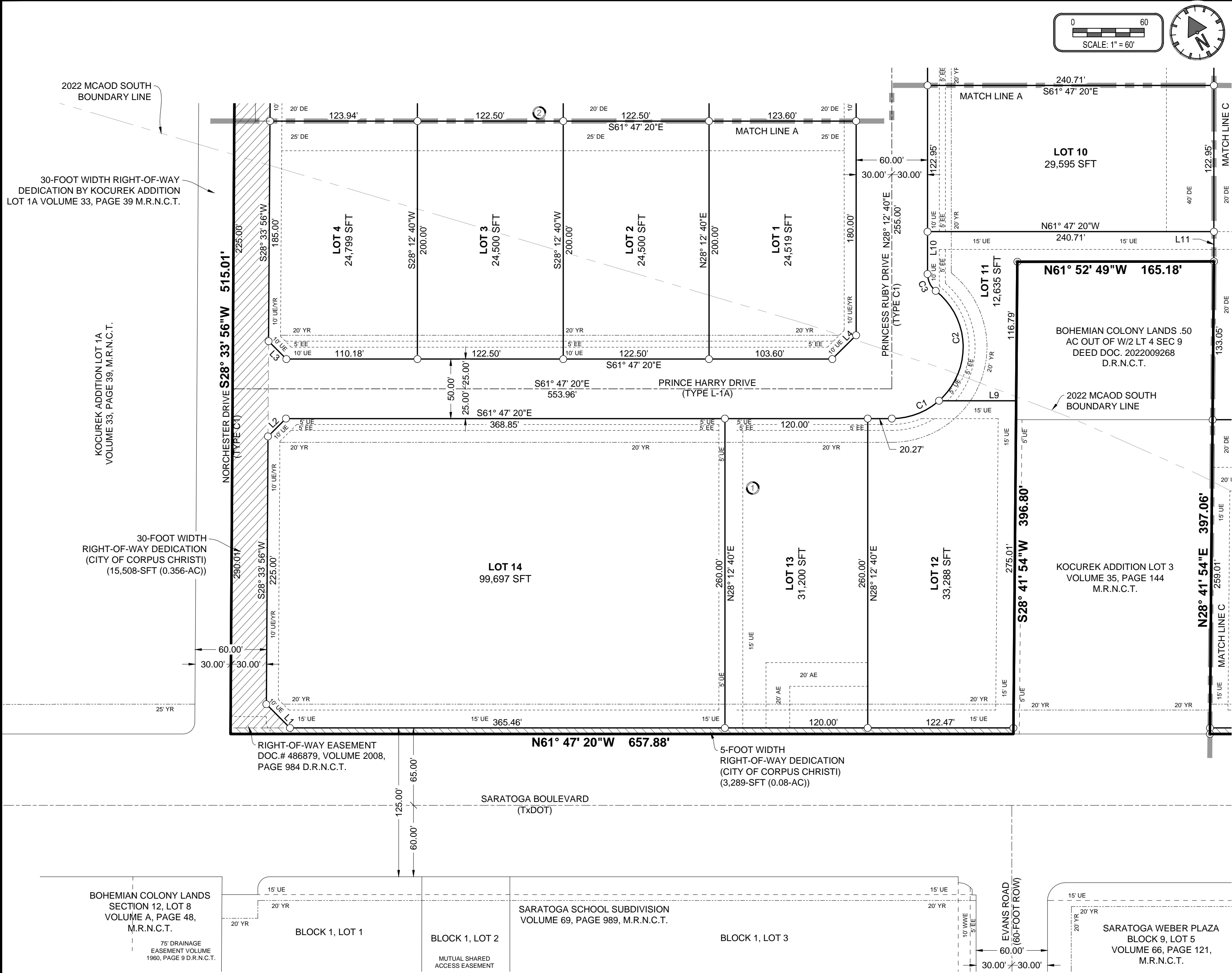
1608 S. BROWNLEE BOULEVARD
CORPUS CHRISTI, TX 78404
OFFICE: 361.946.4848
TBEPLS FIRM F-12240

CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT

Brister Surveying
4455 South Padre Island Drive Suite 51
Corpus Christi, Texas 78411
Office: 361.850.1800
Fax: 361.850.1802
bristersurveying@corpus.twhc.com
Firm Registration No. 10072800

ENGINEER	THOMAS TIFIN, PE
SURVEYOR	RONALD BRISTER, RPLS
OWNER	P & A, LLC
ENGINEER	BRISTER SURVEYING, P.C.
SURVEY PID	OWNER PID
APPROVED	ANNA
DRAWN BY	CHKD BY
TT	AN
SURVEY DATE	REV #
	4/04/2024

PLAT - FINAL SIZE - 19.24
MUNOZ ENGINEERING, LLC © 2023. All Rights Reserved. - Dorset Development/230085 - Azali District Unit 1 - PLAT DOCUMENT.dwg



PLAT SYMBOL AND LINE LEGEND (NOT ALL MAY BE USED)		
● PROPERTY CORNER	⊙ FOUND 5/8-INCH RE-BAR	⊙ BLOCK IDENTIFICATION
⊙ FOUND 1/2-INCH IRON PIPE	⊙ FOUND 1-INCH IRON PIPE	
○ SET 5/8" DIAMETER BY 18-INCH LONG RE-BAR WITH YELLOW PLASTIC CAP LABELED "BRISTER SURVEYING"		
— ADJACENT BOUNDARY LINE	— PROPERTY BOUNDARY LINE	
— ADJACENT PROPERTY LINE	— PROPERTY LOT LINE	
— ADJACENT ROW CENTER LINE	— ROW CENTER LINE	
— ADJACENT EASEMENT	— EASEMENT	
— ADJACENT SETBACK REQUIREMENT	— SETBACK REQUIREMENT	
	— FEMA BOUNDARY LINE	

PLAT ABBREVIATION LEGEND (NOT ALL MAY BE USED)		
SEC - SECTION	AE - PUBLIC ACCESS EASEMENT	PAE - PRIVATE ACCESS EASEMENT
VOL - VOLUME	DE - PUBLIC DRAINAGE EASEMENT	PDE - PRIVATE DRAINAGE EASEMENT
PG - PAGE	UE - PUBLIC UTILITY EASEMENT	PUE - PRIVATE UTILITY EASEMENT
LT - LOT	WE - PUBLIC WATER EASEMENT	PWE - PRIVATE WATER EASEMENT
AC - ACRE	WWE - PUBLIC WASTEWATER EASEMENT	PWWE - PRIVATE WASTEWATER EASEMENT
SFT - SQUARE FEET	EE - ELECTRICAL EASEMENT	
ROW - RIGHT-OF-WAY	TE - TEMPORARY EASEMENT (SEE NOTES)	FEMA - FEDERAL EMERGENCY MANAGEMENT AGENCY
NB - NON-BUILDABLE	MCAOD - MILITARY COMPATIBILITY AREA OVERLAY DISTRICT	
YR - YARD REQUIREMENT	M.R.N.C.T. - MAP RECORDS NUECES COUNTY, TEXAS	
GR - GARAGE REQUIREMENT	D.R.N.C.T. - DEED RECORDS NUECES COUNTY, TEXAS	
D - DRIVEWAY LOCATION	O.P.R.N.C.T. - OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS	

ENGINEER
THOMAS TIFIN, PE

SURVEYOR
RONALD BRISTER, RPLS

OWNER
P & A, LLC

ENGINEER
P & A, LLC

DRAWN BY
TT

APPROVED BY
AN

SURVEY DATE
4/04/2024

Brister Surveying

4455 South Padre Island Drive Suite 51
Corpus Christi, Texas 78411
Office 361-850-1800
Fax 361-850-1802
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MUNOZ ENGINEERING

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CORPUS CHRISTI, TX 78404
OFFICE 361-946-4848
TBP&S FIRM F-12240

CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT

FINAL PLAT OF

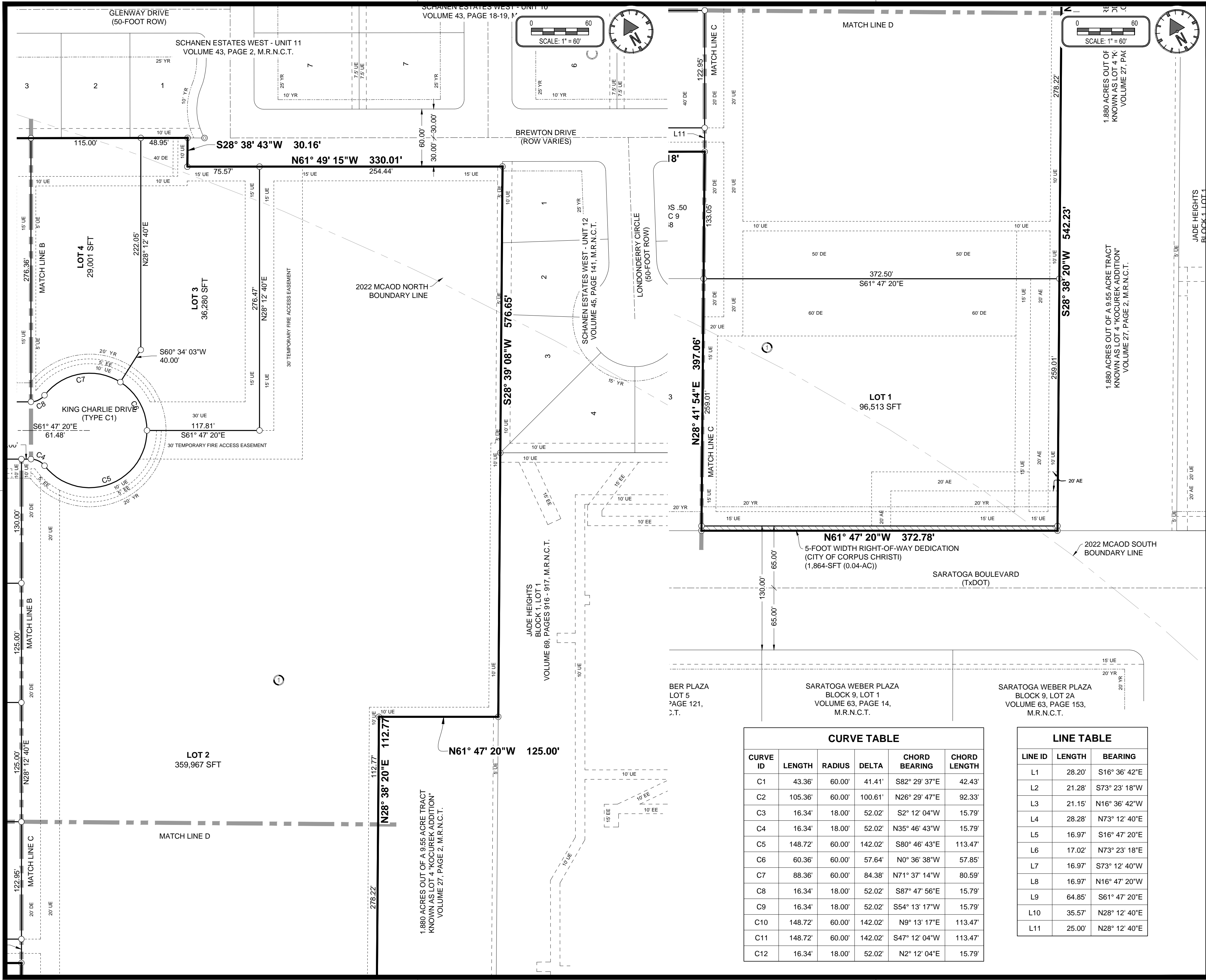
AZALI DISTRICT UNIT 1

CORPUS CHRISTI, NUECES COUNTY, TEXAS

PAGE

3 OF 4

PLAT - FULL SIZE - 18" x 24"
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CURVE TABLE					
CURVE ID	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	43.36'	60.00'	41.41'	S82° 29' 37"E	42.43'
C2	105.36'	60.00'	100.61'	N26° 29' 47"E	92.33'
C3	16.34'	18.00'	52.02'	S2° 12' 04"W	15.79'
C4	16.34'	18.00'	52.02'	N35° 46' 43"W	15.79'
C5	148.72'	60.00'	142.02'	S80° 46' 43"E	113.47'
C6	60.36'	60.00'	57.64'	N0° 36' 38"W	57.85'
C7	88.36'	60.00'	84.38'	N71° 37' 14"W	80.59'
C8	16.34'	18.00'	52.02'	S87° 47' 56"E	15.79'
C9	16.34'	18.00'	52.02'	S54° 13' 17"W	15.79'
C10	148.72'	60.00'	142.02'	N9° 13' 17"E	113.47'
C11	148.72'	60.00'	142.02'	S47° 12' 04"W	113.47'
C12	16.34'	18.00'	52.02'	N2° 12' 04"E	15.79'

LINE TABLE		
LINE ID	LENGTH	BEARING
L1	28.20'	S16° 36' 42"E
L2	21.28'	S73° 23' 18"W
L3	21.15'	N16° 36' 42"W
L4	28.28'	N73° 12' 40"E
L5	16.97'	S16° 47' 20"E
L6	17.02'	N73° 23' 18"E
L7	16.97'	S73° 12' 40"W
L8	16.97'	N16° 47' 20"W
L9	64.85'	S61° 47' 20"E
L10	35.57'	N28° 12' 40"E
L11	25.00'	N28° 12' 40"E

FINAL PLAT OF
AZALI DISTRICT UNIT 1
CORPUS CHRISTI, NUECES COUNTY, TEXAS



MUNOZ ENGINEERING

1608 S. BROWNLEE BOULEVARD
CORPUS CHRISTI, TX 78404
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CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT



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Firm Registration No. 10072800

ENGINEER	THOMAS TIFFIN, PE	SURVEYOR	RONALD BRISTER, RPLS	OWNER	P & A, LLC	SURVEY PID	OWNER PID
DRAWN BY	TT	CHECKED BY	RB	APPROVED BY	AN	DATE	REV #
SURVEY DATE						DRAWING DATE	
						4/4/2024	

	EXISTING CURB INLET		PROPOSED CURB INLET
	EXISTING GRATE INLET		PROPOSED GRATE INLET
	EXISTING POST INLET		PROPOSED POST INLET

	EXISTING STORMWATER UTILITY MARKER
	PROPOSED STORMWATER UTILITY MARKER
	EXISTING GENERAL LINE (PIPE TYPE NOT DETERMINED)
	PROPOSED GENERAL LINE (PIPE TYPE NOT DETERMINED)
	EXISTING REINFORCED CONCRETE BOX
	PROPOSED REINFORCED CONCRETE BOX
	EXISTING HIGH-PERFORMANCE POLYPROPYLENE (HP) PIPE
	PROPOSED HIGH-PERFORMANCE POLYPROPYLENE (HP) PIPE
	EXISTING POLYVINYL CHLORIDE (PVC) PIPE
	PROPOSED POLYVINYL CHLORIDE (PVC) PIPE
	EXISTING REINFORCED CONCRETE PIPE (RCP)
	PROPOSED REINFORCED CONCRETE PIPE (RCP)
	EXISTING DITCH/DETENTION POND CENTERLINE
	PROPOSED DITCH/DETENTION POND CENTERLINE
	EXISTING DITCH/DETENTION POND TOE
	PROPOSED DITCH/DETENTION POND TOE
	EXISTING STORMWATER FLOW DIRECTION
	PROPOSED STORMWATER FLOW DIRECTION
	EXISTING STORMWATER BASIN BOUNDARY
	PROPOSED STORMWATER BASIN BOUNDARY
	ROUTE TO RECEIVING WATERS

02/08

STATE OF TEXAS
★
RAMIRO MUÑOZ III
100346
LICENSED
PROFESSIONAL ENGINEER

2005 1157

RAMIRO MUÑOZ III, P.E. NO. 100346



NOTICE: THIS SWQMP IS NOT A STORMWATER POLLUTION PREVENTION PLAN, AND THEREFORE, WILL NOT SATISFY THE REQUIREMENTS FOR PERMITTING OF THE DISCHARGE OF STORMWATER ASSOCIATED WITH ANY CONSTRUCTION ACTIVITY.

GENERAL INFORMATION







- RECEIVING WATERS**
1. THE RECEIVING WATERS FOR THE STORMWATER FROM THIS SITE IS AS FOLLOWS:
- 1.1. OSO CREEK DRAINAGE BASIN - THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION USE."













- 1.1. OSO CREEK DRAINAGE BASIN - THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.

- PROPOSED SITE INFORMATION**
1. PROPOSED LAND USE ASSUMPTION AS PER AERAS DEVELOPMENT OR TRANSPORTATION (NOT) STORMWATER MANAGEMENT IS INDICATED BELOW:
- 1.1. BUSINESS - HIGH DENSITY/RESIDENTIAL AREAS
- 1.2. INDUSTRIAL - LIGHT AREAS
2. AFTER CONSTRUCTION THE SITE COVERAGE WILL GENERALLY CONSIST OF THE FOLLOWING:
1. LANDSCAPED AREAS
2. PAVED
3. AFTER CONSTRUCTION THE DRAINAGE STRUCTURES ONSITE WILL CONSIST OF THE FOLLOWING:
1. CURB INLETS
2. GRATE INLETS
3. DETENTION INLETS
4. PIPED OUTFALLS
5. ABOVE GROUND DETENTION AREAS
4. AFTER CONSTRUCTION, THE ON-SITE STORMWATER GENERAL FLOW DIRECTION IS PER THE FOLLOWING:
1. DIRECTION OF THE FLOW OF THE STORMWATER RUNOFF WILL CONTINUE TO BE TOWARD SARAOTO BAYWATER, HOWEVER, THE ROUTING OF THE STORMWATER WILL BE THROUGH THE DEVELOPMENT AND THE TIME THAT IT WILL TAKE TO PROCEED TO SARAOTO BAYWATER WILL BE SUBSTANTIALLY INCREASED.
4. THE EXISTING STORMWATER FLOW (PIPED, CHANNELIZED, AND/OR SHEET FLOW) FROM ADJACENT PROPERTIES SHALL NOT BE BLOCKED IN A MANNER THAT RESULTS IN DELAYS THAT WILL HARMEN THE AVAILABILITY OF THE STORMWATER.
5. THE STORMWATER FLOW WILL BE ALLOWED TO CONTINUE INTO THE PROPERTY AND WILL BE RELEASED INTO PERMANENT OPEN PIPES, CHANNELS, AND/OR GRADING OF THE PROPOSED SURFACE TO THE EXISTING STRUCTURES.
5. TEMPORARY AND PERMANENT EROSION CONTROL DEVICES WILL BE OBTAINED WITHIN THE STORM WATER POLLUTION PREVENTION PLAN OR THE STORM WATER CONTROL EFFECTS STATEMENT WITH THE PROPOSED DEVELOPMENT.
6. THE STORMWATER FLOW FROM THIS SITE WILL HAVE NO ADVERSE EFFECTS DOWNSTREAM.

1. PROPOSED LAND USE ASSUMPTION AS PER TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STORMWATER MANAGEMENT, IS INDICATED BELOW:

2. BUSINESS - NEIGHBORHOOD AREAS
3. INDUSTRIAL - LIGHT AREAS
4. AFTER CONSTRUCTION THE SITE COVERAGE WILL GENERALLY CONSIST OF THE FOLLOWING:
 1. LANDSCAPED AREAS
 2. PAVED
5. AFTER CONSTRUCTION THE DRAINAGE STRUCTURES ONSITE WILL CONSIST OF THE FOLLOWING:
 1. CURB INLETS
 2. GRADE INLETS
 3. DETENTION INLETS
 4. PERFORATED OUTFALLS
6. ABOVE GROUND DETENTION AREAS
7. THE FLOW OF THE ON-SITE STORMWATER GENERAL FLOW DIRECTION IS AS FOR THE FOLLOWING:
 1. THE GENERAL DIRECTION OF THE FLOW OF THE STORMWATER WILL CONTINUE TOWARDS SAKATOGA SUBURBANLY. HOWEVER THE ROUTING OF THE STORMWATER WILL BE THROUGH THE STORMWATER AND THE TIME THAT IT WILL TAKE TO PROCEED TO SAKATOGA SUBURBANLY WILL BE SUBSTANTIALLY INCREASED.
 2. THE STORMWATER FLOW (PIPED, CHANNELIZED, AND/OR SHEET FLOW FROM ADJACENT PROPERTIES) SHALL NOT BE BLOCKED IN A MANNER THAT RESULTS IN DEPLETS THAT WILL RESULT IN FLOODING OF HABITABLE STRUCTURES.
 3. THE STORMWATER FLOW WILL BE ALLOWED TO CONTINUE INTO THE PROPERTY AND WILL BE HANDLED EITHER BY CONTAINING ANY PIPES, CHANNELS, AND/OR GRADING OF THE PROPOSED SURFACE TO PREPARED STRUCTURES.
8. TO PREVENT STORMWATER EROSION CONTROL DEVICES WILL BE OBTAINED WITHIN THE STORM WATER POLLUTION PREVENTION PLAN OR THE STORM WATER CONTROL PLAN ASSOCIATED WITH THE CONSTRUCTION OF THE SITE.
9. THE STORMWATER FLOW FROM THIS SITE WILL HAVE NO ADVERSE EFFECTS DOWNSTREAM.

	EXISTING CURB INLET		PROPOSED CURB INLET
	EXISTING GRATE INLET		PROPOSED GRATE INLET
	EXISTING CATCH BASIN		PROPOSED CATCH BASIN

	EXISTING POINT INLET		PROPOSED MANHOLE
	EXISTING MANHOLE		PROPOSED MANHOLE
	EXISTING JUNCTION BOX		PROPOSED JUNCTION BOX
	EXISTING SAFETY END TREATMENT (SET)		
	PROPOSED SAFETY END TREATMENT (SET)		
	EXISTING SLOPED DITCH/POND OUTFALL		
	PROPOSED SLOPED DITCH/POND OUTFALL		
	EXISTING STORMWATER UTILITY MARKER		
	PROPOSED STORMWATER UTILITY MARKER		
EST	EXISTING GENERAL PIPE (PIPE TYPE NOT DETERMINED)		
ST	PROPOSED GENERAL PIPE (PIPE TYPE NOT DETERMINED)		
EST RCP	EXISTING REINFORCED CONCRETE BOX		
ST RCP	PROPOSED REINFORCED CONCRETE BOX		
EST HP	EXISTING HIGH-PERFORMANCE POLYPROPYLENE (HP) PIPE		
ST HP	PROPOSED HIGH-PERFORMANCE POLYPROPYLENE (HP) PIPE		
EST PVC	EXISTING POLYVINYL CHLORIDE (PVC) PIPE		
ST PVC	PROPOSED POLYVINYL CHLORIDE (PVC) PIPE		
EST RCP	EXISTING REINFORCED CONCRETE PIPE (RCP)		
ST RCP	PROPOSED REINFORCED CONCRETE PIPE (RCP)		
EST DCL	EXISTING DITCH/DETENTION POND CENTERLINE		
ST DCL	PROPOSED DITCH/DETENTION POND CENTERLINE		
EST TOP	EXISTING DITCH/DETENTION POND TOP		
ST TOP	PROPOSED DITCH/DETENTION POND TOP		
EST BOT	EXISTING DITCH/DETENTION POND TOE		
ST BOT	PROPOSED DITCH/DETENTION POND TOE		

PRELIMINARY STORMWATER QUALITY MANAGEMENT PLAN FOR

AZALI DISTRICT

CORPUS CHRISTI, NUECES COUNTY, TEXAS

PAGE
NQMP 1

MUNOZ ENGINEERING

1608 S. BROWNLEE BOULEVARD
CORPUS CHRISTI, TX 78404
OFFICE: 361.946.4848
TBPELS FIRM F-12240

CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT

Brister Surveying

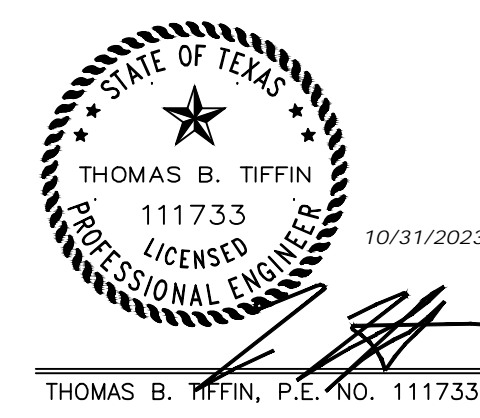
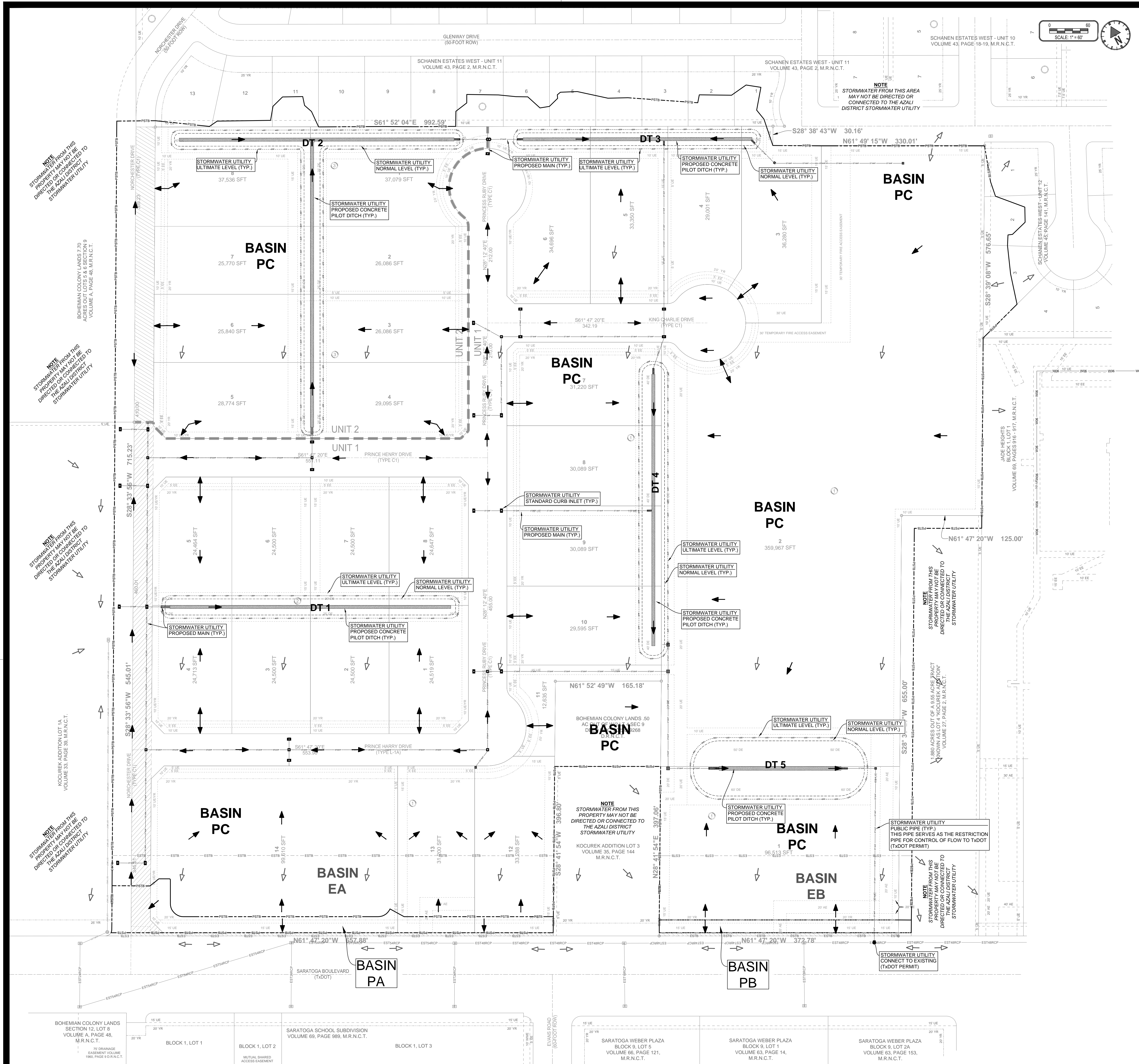
4455 South Padre Island Drive Suite 51
Corpus Christi, Texas 78411

Corpus Christi, Texas 78411
Office 361-850-1800

Fax 361-850-1802

cristersurveying@corpus.twcbc.com
Firm Registration No. 10072800

Figure 1



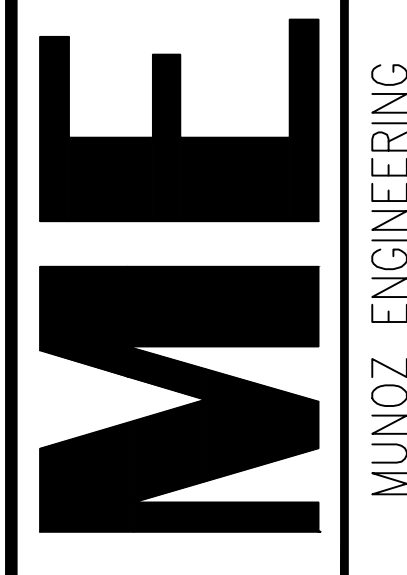
PRELIMINARY STORMWATER QUALITY MANAGEMENT PLAN FOR

AZALI DISTRICT

CORPUS CHRISTI, NUECES COUNTY, TEXAS

MUNOZ ENGINEERING

1608 S. BROWNLEE BOULEVARD
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bristersurveying@corpus.tbhc.com
Firm Registration No. 10072800

ENGINEER	THOMAS TIFFIN, PE
SURVEYOR	RONALD BRISTER, RPLS
OWNER	P&A, LLC
SURVEY PID	230085
OWNER PID	NA
DRAWN BY	TT
CHECKED BY	AN
APPROVED BY	RB
REV #	2
SURVEY DATE	10/31/2023

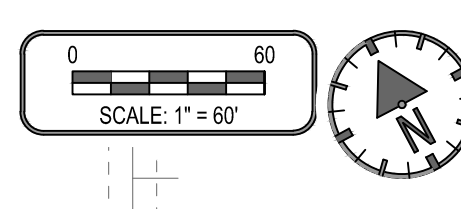
[illegible]

EXHIBIT B

ESTIMATED WATER DEMAND

DEVELOPMENT NAME:

AQUA DISTRICT

ENGINEERING FIRM:

MUNDY ENGINEERING, LLC (TX REG # 12240)

1608 S. BROWNLIE BLVD., CORPUS CHRISTI, TEXAS 78404

DESIGN DATE:

September 29, 2023

DESIGN ENGINEER:

THOMAS TIFFIN, PE (TX PE #137373)

WATER DEMAND

A. DEVELOPMENT ACREAGE (TOTAL):













34.65 ACRES

B. WATER DEMAND FROM LAND USE:

DESCRIPTION	UNIT	UNIT QTY	PERSONS PER UNIT	RATE PER PERSON (GPD)	TOTAL FLOW (GPD)
RESIDENTIAL - SINGLE FAMILY	EACH	0	x 3.5	110	= 0
RESIDENTIAL - TOWNHOUSE	EACH	0	x 3.5	110	= 0
RESIDENTIAL - APARTMENT 1 - BEDROOM	EACH	0	x 2.0	75	= 0
RESIDENTIAL - APARTMENT 2 - BEDROOM	EACH	0	x 3.5	110	= 0
RESIDENTIAL - MANUFACTURED HOME	EACH	0	x 3.0	110	= 0
RESIDENTIAL - RECREATIONAL VEHICLE	EACH	0	x 2.5	24	= 0
COMMERCIAL - HOTEL	ROOM	0	x 2.5	65	= 0
COMMERCIAL - STORAGE CENTER OFFICE	EACH	1	x 1.0	6	= 32
DESCRIPTION	UNIT	UNIT QTY	PERSONS PER UNIT	RATE PER PERSON (GPD)	TOTAL FLOW (GPD)
COMMERCIAL - OFFICE	SOFT FLOOR SPACE	18,885.00	187	x 10	= 1,869
COMMERCIAL - RETAIL	SOFT FLOOR SPACE	-	0	x 16	= 0
COMMERCIAL - RESTAURANT	SOFT FLOOR SPACE	19,855.00	596	x 32	= 19,061
COMMERCIAL - WATERHOUSE	SOFT FLOOR SPACE	336,000.00	336	x 6	= 2,016
ESTIMATED WATER DEMAND FLOW IN GALLONS PER DAY (GPD) =					22,886
ESTIMATED WATER DEMAND FLOW IN GALLONS PER MINUTE (GPM) =					16

LEGEND AND ABBREVIATION DEFINITIONS

BE USED AND ARE INCLUDED AS REFERENCE.

WASTEWATER UTILITY		WATER UTILITY	
	EXISTING MANHOLE		EXISTING VALVE
	PROPOSED MANHOLE		PROPOSED VALVE
	EXISTING PIPE		EXISTING FIRE HYDRANT
	PROPOSED PIPE		PROPOSED FIRE HYDRANT
	EXISTING FORECMAIN		EXISTING PIPE
	PROPOSED FORECMAIN		PROPOSED PIPE



ENGINEER
THOMAS TIFFIN, PE
SURVEYOR

1608 S. BROWNLEE BOULEVARD
CORPUS CHRISTI, TX 78404
OFFICE: 361.946.4848
TBPELS FIRM F-12240

CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT

TT	AN	SURVEY DATE
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bristersurveying@corpus.twcbc.com
Firm Registration No. 10072800

MUNOZ ENGINEERING

TBPE FIRM No. 12240

Practical Engineering Solutions

June 12, 2025

City of Corpus Christi
2406 Leopard Street, 1st Floor
Corpus Christi, TX 78408

Attn: Mark L. Zans, Planner II

Re: PLAT EXTENSION

COCC ID – PL8076

AZALI DISTRICT FINAL PLAT PHASE 1

Mr. Zans:

We respectfully request a (12) twelve month time extension of the plat for the subject project. This project was delayed and has not gone to construction. The preliminary plat that is associated with this project is still valid until January 24th, 2026.

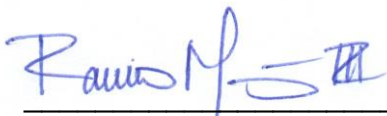
Please feel free to call if you have any questions.

If you have any questions, please call me at (361) 944-1301 or e-mail me at ram@munozenrg.com.

Sincerely,

MUNOZ ENGINEERING

TBPE FIRM No. F-12240



Ramiro Muñoz III, PE, MLSE
Principal/Project Manager

ZONING REPORT

CASE ZN8769

Applicant & Subject Property			
District: 1 Owner: Gary Crook Applicant: Gary Crook Address: 14454 Northwest Boulevard; with the area of request located immediately south of Riverwood Road, east of River Hill Road, an interior to the north side of Northwest Boulevard. Legal Description: Lot 2B, Nueces River Irrigation Park Annex #2 Acres of Subject Property: 0.93 acre. Refer to Attachment (A) Metes and Bounds.			
Zoning Request			
From: "RS-6" Single-Family 6 District To: "ON" Neighborhood Office District Purpose of Request: To allow commercial development on a split-zoned parcel.			
Land Development & Surrounding Land Uses			
	Zoning District	Existing Land Use	Future Land Use
Site	"RS-6" Single-Family 6	Commercial	Mixed-Use
North	"RS-6" Single-Family 6	Transportation (Riverwood Rd), Medium-Density Residential	Transportation (Riverwood Rd), Medium-Density Residential
South	"CG-2" General Commercial	Commercial	Mixed-Use
East	"RS-6" Single-Family 6	Medium-Density Residential	Mixed-Use
West	"ON/SP" Neighborhood Office with a Special Permit	Professional Office	Mixed-Use
Plat Status: The subject property is a portion of a platted property. Development may require a subdivision application. Military Compatibility Area Overlay District (MCAOD, Effective August 22, 2022): The subject property is not within a MCAOD District. Code Violations: None.			
Roadway Master Plan			
Northwest Boulevard	Designation	Section Proposed	Section Existing
	"A3" Primary Arterial Divided	130-Foot ROW 6 Lanes, Median	95-Foot ROW 2 Lanes, Median

Riverwood Road	Designation	Section Proposed	Section Existing
	"Local" Residential	46-Foot ROW 2 Thru Lanes, No Median/Center Turn Lane	60-Foot ROW 2 Lanes, No Median/Center Turn Lane
Transit: The Corpus Christi RTA provides service to the subject property via Bus Route 27 S Leopard, approximately one mile to the east.			
Bicycle Mobility Plan: The subject property is adjacent to multiple planned mobility infrastructure; an off-road multi-use trail along the drainage corridor Northwest of the site; a buffered bike lane, along Riverhills Drive, also north of the site; as well as a one-way cycle track along both sides of Northwest Boulevard.			
Utilities			
<p>Gas: A 6-inch WS (public and active) grid main exists along Riverwood Road.as well as Northwest Boulevard.</p> <p>Stormwater: There are ditches/surface drainage facilities along Riverwood Road and Northwest Boulevard.</p> <p>Wastewater: A 16-inch PVC (public and active) wastewater main exists along the north side of Riverwood Road.</p> <p>Water: A 12-inch ACP (public and active) distribution line exists along the north side of Northwest Boulevard; and an 8-inch ACP (public and active) distribution line exists along the south side of Riverwood Road.</p>			
Corpus Christi Comprehensive Plan			
<p>Plan CC: Provides a vision, goals, and strategies to guide, regulate, and manage future development and redevelopment within the corporate limits and extraterritorial jurisdiction (ETJ) was adopted in 2016.</p> <p>ADP (Area Development Plan): According to Plan CC the subject property is located within the Northwest ADP (Adopted on January 9, 2001).</p>			
<p>Water Master Plan: No improvements have been proposed.</p> <p>Wastewater Master Plan: No improvements have been proposed.</p> <p>Stormwater Master Plan: No improvements have been proposed.</p> <p>Roadway Master Plan: Improvements have been proposed, which, include the widening of Northwest Boulevard.</p>			
Public Notification			
Number of Notices Mailed		18 within a 200-foot notification area 3 outside 200-foot notification area	
In Opposition		0 inside the notification area 0 outside the notification area 0 % in opposition within the 200-foot notification area (0 individual property owner)	

Public Hearing Schedule
Planning Commission Hearing Date: July 23, 2025 City Council 1st Reading/Public Hearing Date: September 2, 2025 City Council 2nd Reading Date: September 9, 2025

Background:

The subject area of request located in the Northwest Area of the City of Corpus Christi, is a 0.93-acre tract out of a recorded lot, immediately south of Ridgewood Road, a local residential road, north of Northwest Boulevard, a primary arterial road, and River Hill Drive, a minor residential collector. The parent parcel is split zoned with a general commercial district designation along Northwest Boulevard, and the remaining portion zoned "RS-6" Single-Family 6 District.

The applicant is requesting a change in zoning for commercial development of a split zoned property.

The properties surrounding the area of request are zoned for commercial use; except for the property to its immediate east, which is zoned "RS-6" Single-Family 6 district, with a low-density residential use. To the north of the area of Riverwood Road, and subject parcel, is the medium-density residential New River Hills Subdivision, zoned "RS-6" Single-Family 6 District. The property to the west is zoned "ON//SP" Neighborhood Office District with a special permit with professional office use. To the south, the current land use is commercial, and the zoning is "CG-2" General Commercial on the remaining of the subject property.

The "ON" Neighborhood Office District permits office uses, apartments, commercial parking, overnight accommodation uses (except for a bed and breakfast home), educational facilities, government facilities (except for detention facilities), medical facilities, places of worship, and community service uses.

Plan CC (City of Corpus Christi Comprehensive Plan) Consistency:

The proposed rezoning is consistent with Elements, Goals and Strategies for Decision Makers:

- Corpus Christi development patterns support efficient and cost-effective use of resources and a high quality of life.
 - Encourage orderly growth of new residential, commercial, and industrial areas.
 - Promote a balanced mix of land uses to accommodate continuous growth and promote the proper location of land uses based on compatibility, locational needs, and characteristics of each use.

Northwest ADP (Area Development Plan) and FLUM (Future Land Use Map) Consistency:

The proposed rezoning is inconsistent with the Northwest ADP ; however is not consistent with the FLUM designation of mixed-use.

Staff Analysis:

Staff reviewed the subject property's background information and the applicant's purpose for the rezoning request and conducted research into the property's land development history to include platting, zoning, existing surrounding land uses, and potential code violations. Staff compared the proposed zoning's consistency with the applicable elements of the comprehensive plan. As a result of the above analysis, staff notes the following:

- The amendment to be applied through this request, while generally consistent with the City of Comprehensive Plan; however, is inconsistent with the future land use designation of mixed-use.

- The amendment requested is compatible with the present zoning and conforming uses of nearby properties and to the character of the surrounding area. Staff does not foresee any adverse impact.
 - Neighborhood office use is deemed compatible with residential use and the traffic pattern that may be generated will not have any adverse impact on the surrounding area. None of the rights-of-way connect to the neighborhood or above zoning districts.
- The property is suitable for the uses to be permitted by the zoning district to be applied.

Staff Recommendation:

After evaluation of case materials provided and subsequent staff analysis including land development, surrounding uses and zoning, transportation and circulation, utilities, Comprehensive Plan consistency, and considering public input, Staff Recommends approval of the change of zoning from the “RS-6” Single-Family 6 District to the “ON” Neighborhood Office District.

Attachment(s):

- (A) Metes & Bounds Description and Exhibit.
- (B) Existing Zoning and Notice Area Map.

(A) Metes & Bounds Description and Exhibit

Exhibit _____

STATE OF TEXAS COUNTY OF NUECES

Field notes of a 0.926 acre tract, for zoning purposes only, out of Lot 2B, "Nueces River Irrigation Park Annex No. 2", as shown on the plat recorded in Volume 70, Page 86, Map Records Nueces County, Texas. Said 0.926 acre tract being more particularly described as follows:

BEGINNING at a point in the southwest right of way of Riverwood Road, for the northwest corner of Lot 1B, "Nueces River Irrigation Park Annex No. 2", as shown on the plat recorded in Volume 58, Pages 201 – 202, Map Records Nueces County, Texas, for the common northeast corner of said Lot 2B and this exhibit.

THENCE with the common line of said Lot 2B, said Lot 1B, and this exhibit, South 05° 06' 40" West, a distance of 114.37 feet to a point in the west line of said Lot 1B, for the northeast corner of Lot 2A, "Nueces River Irrigation Park Annex No. 2", as shown on the plat recorded in Volume 70, Page 86, Map Records Nueces County, Texas, for the upper southeast corner of said Lot 2B, and for the southeast corner of this exhibit.

THENCE with the common line of said Lot 2A, said Lot 2B, and this exhibit, North 84° 57' 22" West, at a distance of 100.08 feet pass a point for the northwest corner of said Lot 2A, and in all a total distance of 199.67 feet to a point in the west line of said Lot 2B, in the east line of Lot 4B, Block 11, "Northwest Estates", as shown on the plat recorded in Volume 68, Page 198, Map Records Nueces County, Texas, and for the southwest corner of this exhibit.

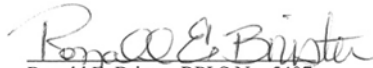
THENCE with the common line of said Lot 2B, said Lot 4B, and this exhibit, North 05° 10' 23" East, a distance of 289.66 feet to a point in the southwest right of way of Riverwood Road, for the northeast corner of said Lot 4B, for the northwest corner of said Lot 2B, and for the northwest corner of this exhibit.

THENCE with the common line of the southwest right of way of Riverwood Road, said Lot 2B, and this exhibit, South 43° 36' 08" East, a distance of 265.31 feet to the **POINT of BEGINNING** of this exhibit, and containing 0.926 acres of land, more or less.

Notes:

- 1.) Bearings are based on the recorded plat of Nueces River Irrigation Park Annex No. 2, Volume 70, Page 86, M.R.N.C.T.
- 2.) A Map of equal date accompanies this Metes and Bounds description.
- 3.) Set 5/8" re-bar = re-bar set with yellow plastic cap labeled Brister Surveying.

I, Ronald E. Brister do hereby certify that this exhibit of the property legally described herein does not represent an on the ground survey and is correct to the best of my knowledge and belief.



Ronald E. Brister, RPLS No. 5407

Date: May 21, 2025



Job No. 250768

EXHIBIT OF
A 0.926 ACRE TRACT, FOR ZONING PURPOSES ONLY, OUT OF LOT 2B, "NUECES
RIVER IRRIGATION PARK ANNEX NO. 2", AS SHOWN ON THE PLAT RECORDED IN
VOLUME 70, PAGE 86, MAP RECORDS NUECES COUNTY, TEXAS.



SCALE 1" = 60'

CURRENT ZONING: ON

LOT 4B, BLOCK 11
NORTHWEST ESTATES
VOL. 68, PG. 192
M.R.N.C.T.

N05° 10' 23" E 289.66'

5' U.E.

RIVERWOOD ROAD
60' RIGHT OF WAY
S43° 36' 08" E 265.31'

LOT 2B

0.926 ACRES
40,319 S.F.

CURRENT ZONING: RS-6
PROPOSED ZONING: ON

N84° 57' 22" W 199.67'

REMAINDER
OF LOT 2B

LOT 2A

CURRENT ZONING: CG-2

5' U.E.

S05° 06' 40" W 114.37'

CURRENT ZONING: RS-6

LOT 1B
NUECES RIVER
IRRIGATION PARK
ANNEX NO. 2
VOL. 58, PGS. 201 - 202
M.R.N.C.T.

● = EXHIBIT CORNER

PAGE 2 OF 2

EXHIBIT _____

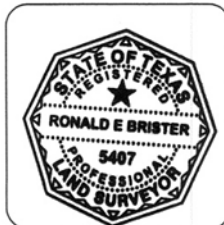


Brister Surveying

5506 Cain Drive
Corpus Christi, Texas 78411
Off 361-850-1800
Fax 361-850-1802
Bristersurveying@corpus.twcbs.com
Firm Registration No. 10072800

NOTES:

- 1.) TOTAL AREA OF EXHIBIT IS 0.926 ACRES
- 2.) BEARINGS ARE BASED ON THE RECORDED PLAT OF NUECES RIVER IRRIGATION PARK ANNEX NO. 2, VOLUME 70, PAGE 86, M.R.N.C.T.
- 3.) SET 5/8" RE-BAR = STEEL RE-BAR SET WITH YELLOW PLASTIC CAP LABELED BRISTER SURVEYING.
- 4.) A METES AND BOUNDS DESCRIPTION OF EQUAL DATE ACCOMPANIES THIS EXHIBIT
- 5.) THIS DOCUMENT IS INTENDED FOR REZONING PURPOSES ONLY AND DOES NOT REPRESENT A BOUNDARY SURVEY.



THIS EXHIBIT DOES NOT INCLUDE THE RESEARCH, INVESTIGATION, OR LOCATIONS OF ALL SERVITUDES, EASEMENTS, RIGHT OF WAYS, OR UTILITIES ON THIS PROPERTY.

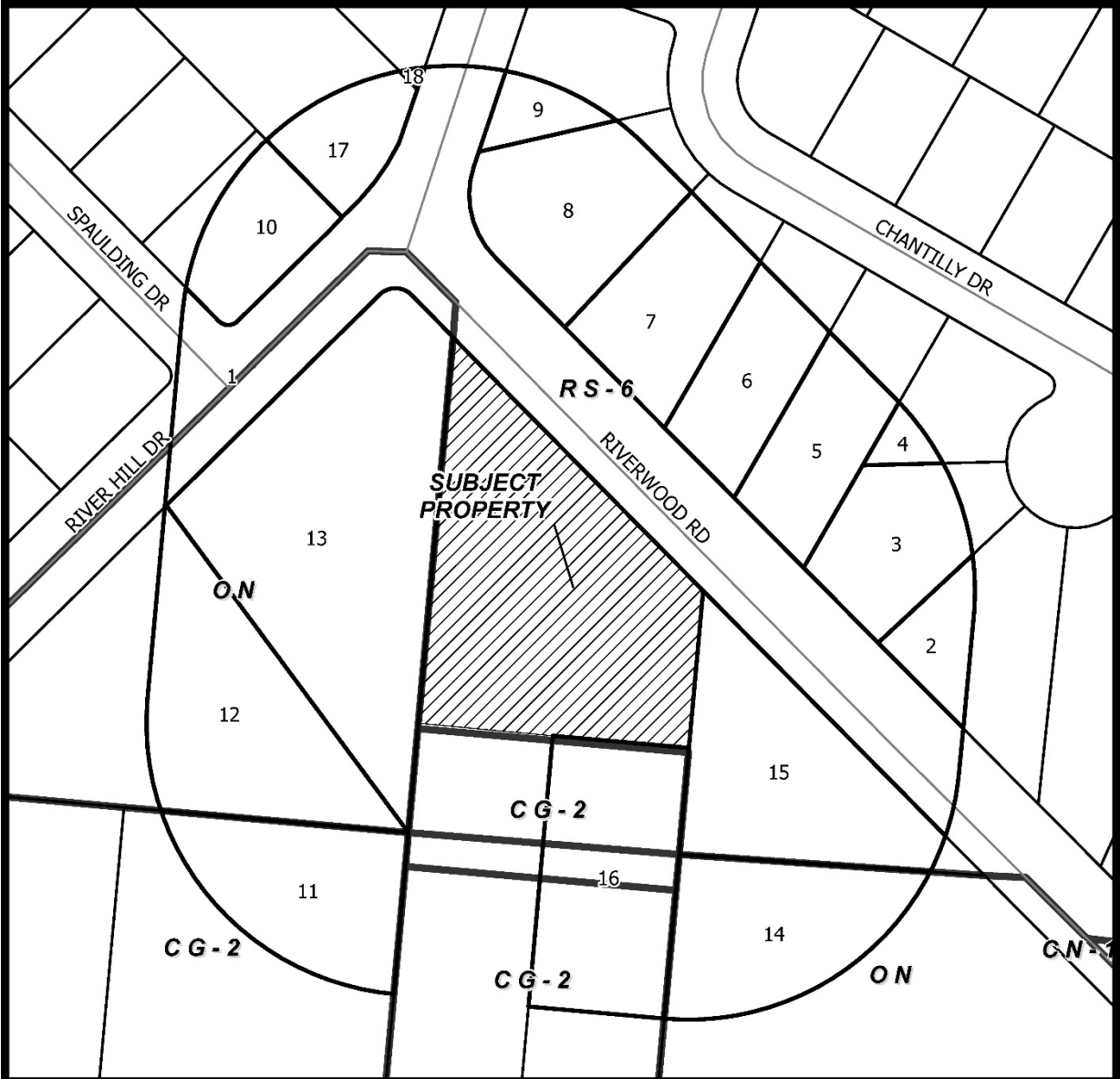
I, RONALD E. BRISTER DO HEREBY CERTIFY THAT THIS EXHIBIT OF THE PROPERTY LEGALLY DESCRIBED HEREIN DOES NOT REPRESENT AN ON THE GROUND SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Ronald E. Brister
RONALD E. BRISTER R.P.L.S. NO. 5407

SURVEY DATE MAY 21, 2025

JOB NO. 250768

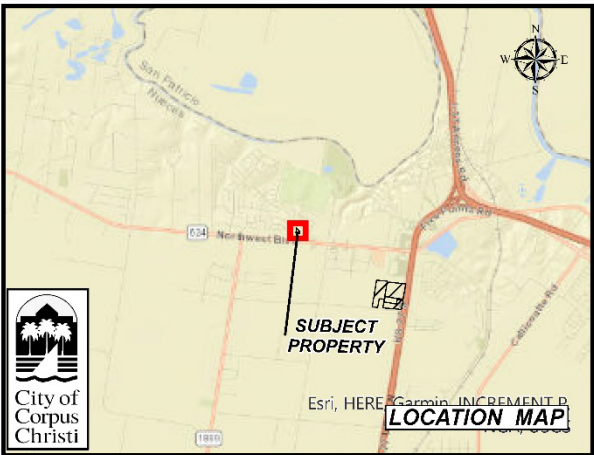
(B) Existing Zoning and Notice Area Map



CASE: ZN8769 Zoning and notice Area

RM-1 Multifamily 1	IL Light Industrial
RM-2 Multifamily 2	IH Heavy Industrial
RM-3 Multifamily 3	PUD Planned Unit Dev. Overlay
ON Professional Office	RS-10 Single-Family 10
RM-AT Multifamily AT	RS-6 Single-Family 6
CN-1 Neighborhood Commercial	RS-4.5 Single-Family 4.5
CN-2 Neighborhood Commercial	RS-TF Two-Family
CR-1 Resort Commercial	RS-15 Single-Family 15
CR-2 Resort Commercial	RE Residential Estate
CG-1 General Commercial	RS-TH Townhouse
CG-2 General Commercial	SP Special Permit
CI Intensive Commercial	RV Recreational Vehicle Park
CBD Downtown Commercial	RMH Manufactured Home
CR-3 Resort Commercial	
FR Farm Rural	
H Historic Overlay	
BP Business Park	

- Subject Property with 200' buffer
 Owners in favor
 Owners within 200' listed on attached ownership table
 Owners in opposition

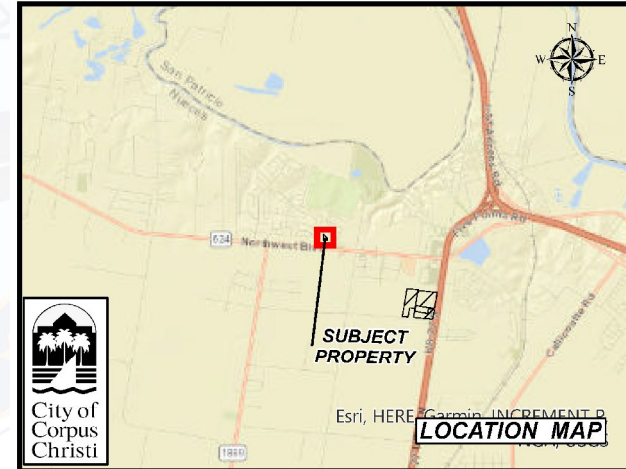


Zoning Case ZN8769



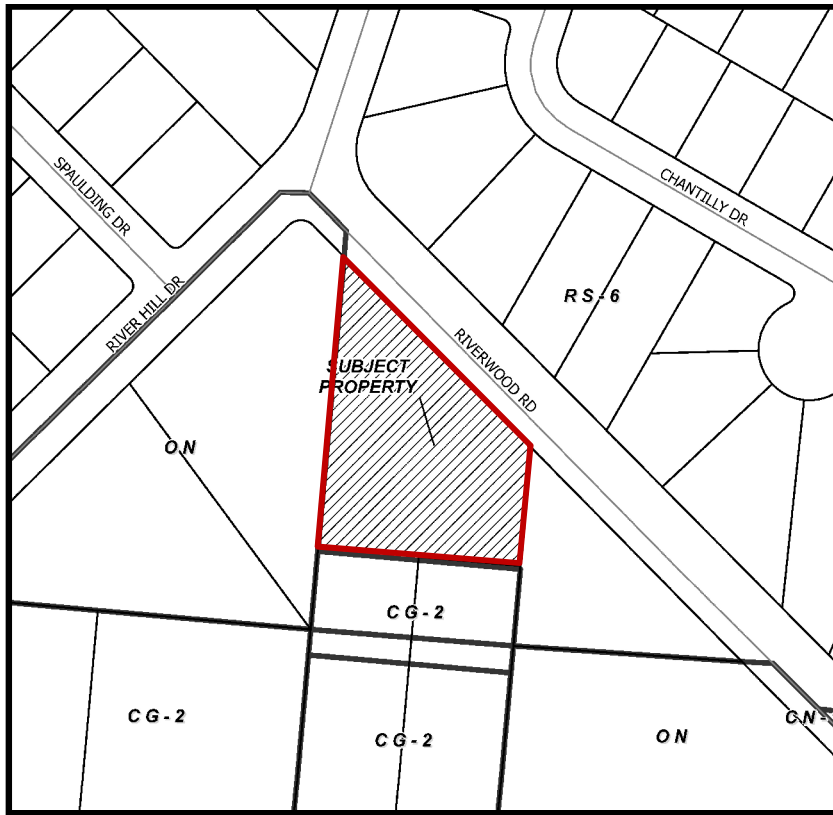
Gary Crook District 1

Rezoning for a property at or near
14454 Northwest Boulevard
From the "RS-6" Single-Family 6 District
To the "ON" Neighborhood Office District



Planning Commission
July 23, 2025

Zoning and Land Use



Proposed Use:

To allow commercial development of the property.

ADP (Area Development Plan):

Northwest, Adopted on January 9, 2001

FLUM (Future Land Use Map):

Mixed-Use

Existing Zoning District:

"RS-6" Single-Family 6 District

Adjacent Land Uses:

North: ROW, Low-Density Residential;
Zoned: RS-6

South: Commercial; Zoned: CG-2

East: Low-Density Residential; Zoned: RS-6

West: Professional Office; Zoned: ON/SP

Public Notification

18 Notices mailed inside the 200' buffer
3 Notices mailed outside the 200' buffer

Notification Area

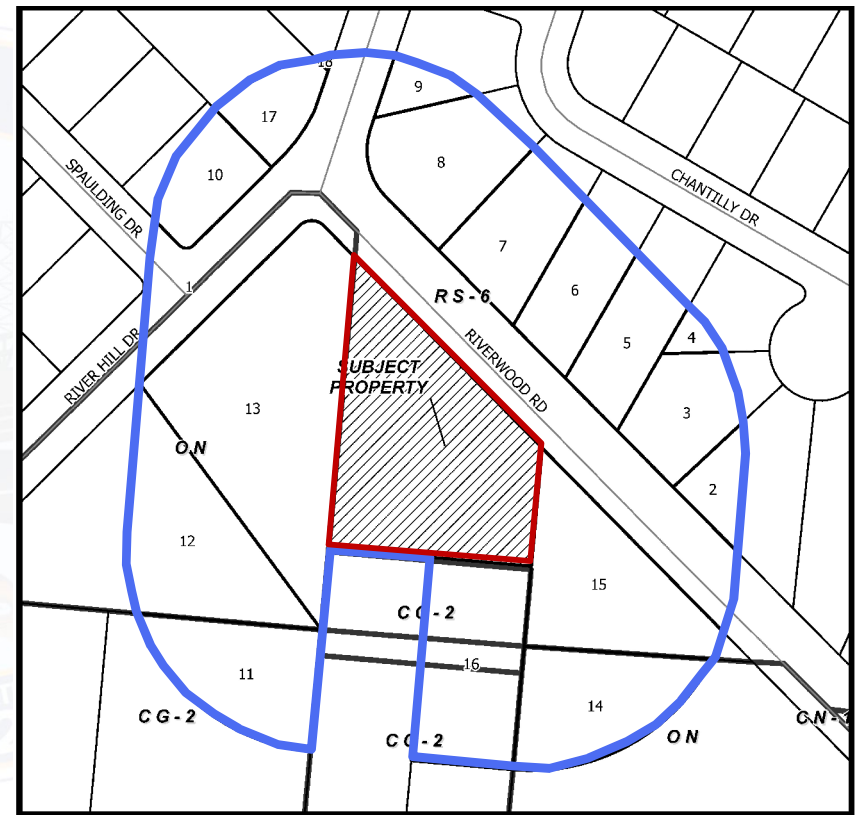
Opposed: 0 (0.00%)
Separate Opposed Owners: (0)

X

In Favor: 0 (0.00%)

O

**Notified property owner's land in SQF/ Total SQF of all properties in the notification area = Percentage of public in opposition and/or favor.*



Staff Analysis and Recommendation

- The amendment to be applied through this request, while generally consistent with the City of Comprehensive Plan, is inconsistent with the future land use designation of mixed-use.
- The amendment requested is compatible with the present zoning and conforming uses of nearby properties and to the character of the surrounding area. Staff does not foresee any adverse impact.
- The property is suitable for the uses to be permitted by the zoning district to be applied.

**STAFF RECOMMENDS APPROVAL
TO THE “ON” NEIGHBORHOOD OFFICE DISTRICT**