

WATER ARTERIAL TRANSMISSION AND GRID MAIN CONSTRUCTION AND REIMBURSEMENT AGREEMENT

This Water Arterial Transmission and Grid Main Reimbursement Agreement ("Agreement") is entered into between the City of Corpus Christi ("City"), a Texas home-rule municipality, and **MPM Development, LP**, ("Developer/Owner"), a Texas Limited Partnership.

WHEREAS, the Developer/Owner, in compliance with the City's Unified Development Code ("UDC"), has a plat, approved by the Planning Commission on **July 23, 2025** to develop a tract of land, to wit: approximately **38.07** acres known as **King's Landing Unit 11 subdivision located north of Lady Alexa Dr and Lady Claudia Street**, as shown in the attached **Exhibit 1**, the content of such exhibit being incorporated by reference into this Agreement;

WHEREAS, under the UDC, the Developer/Owner is responsible for construction of the Arterial Transmission and Grid main extension ("Water Improvements");

WHEREAS, under the UDC, the Developer/Owner is eligible for reimbursement of the Developer/Owner's costs for the construction of Water Improvements;

WHEREAS, it is in the best interests of the City to have the Water Improvements be constructed to its ultimate capacity under the City's applicable Master Plan;

WHEREAS, Section 8.5.1.C. of the UDC authorizes the acceptance of applications to be eligible for reimbursement in the future when certain funds become fully available in the Arterial Transmission and Grid Main Line Trust Fund and are appropriated by the City Council; and

WHEREAS, Developer/Owner has submitted an application for reimbursement of the costs of extending Water Improvements, as shown in **Exhibit 2**, the content of such exhibit being incorporated by reference into this Agreement.

WHEREAS, the Water Arterial Transmission and Grid Main Trust Fund does not currently have sufficient funds to fully reimburse Developer/Owner for Water Improvements; and

WHEREAS, Developer/Owner may be paid when assets of the Water Arterial Transmission and Grid Main Trust Fund are sufficient, authorized for such purpose, and Developer/Owner has priority per UDC §8.5.1. C.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained in this Agreement, the parties do covenant and agree as follows:

1. TRUSTEE LIABILITY.

- a. The City is executing this agreement as trustee of the Water Trust Fund pursuant to UDC §8.5. The City is acting as trustee to further its governmental functions of providing water and sewer service. Texas Constitution Article 11, Section 3 prohibits the City from becoming a subscriber to the capital of any private corporation or association, or make any appropriation or donation to the same, or in anywise loan its credit. As such, the City's participation as Trustee does not create a loan of its credit. Execution of this agreement constitutes a promise to pay only to the extent that the assets and future assets of the trust are sufficient for such purpose and it is expressly agreed that any

judgment will only be satisfied out of the assets of the trust and not out of the City's assets. The City is excluded from personal liability.

b. The Water Arterial Transmission and Grid Main Trust Fund was established by Ordinance No. 17092 to encouraging the orderly development of subdivisions within and surrounding the City of Corpus Christi, Texas and continues pursuant Texas Local Government Code §395.001(4)(C). The revenue generated for funding and continuation of the Water Arterial Transmission and Grid Main Trust Fund is subject to legislation of the State of Texas and the City of Corpus Christi. Nothing in this agreement guarantees neither the continuation nor future revenues of the Water Arterial Transmission and Grid Main Trust Fund. The City is not liable for modification or termination of the Water Arterial Transmission and Grid Main Trust Fund. The Developer/Owner agrees that any modification or termination of the Water Arterial Transmission and Grid Main Trust Fund is a legislative action and does not constitute a breach of trust, an act of bad faith, an intentional or reckless indifference to the interest of a beneficiary, or a profit derived by the trustee from a breach of trust.

2. PLANS AND SPECIFICATIONS

a. Developer/Owner shall contract with a professional engineer licensed in the State of Texas and acceptable to the City's Development Services Engineer to prepare plans and specifications for the Water Improvements, as shown in the attached **Exhibit 3**, the content of such exhibit being incorporated by reference into this Agreement, with the following minimum requirements:

BASS WELSH ENGINEERING TX Registration No. F-52 Survey Registration No. 100027-00 P.O. Box 6397 Corpus Christi, TX 78466-6397 Kings Landing Unit 11 - Cost		3054 S. Alameda St. 9/12/2025			
WATER ITEMS					
ITEM	DESCRIPTION	QUANTITY	UNIT		
1	12" PVC PIPE	2074	EA		
2	12" CAP TAPPED FOR 2"	1	EA		
3	12" CROSS	2	EA		
4	12" GATE VALVE WITH BOX	4	LF		
5	12" TEE	6	EA		
6	12" REDUCER	3	EA		
7	FIRE HYDRANTS	3	EA		
			SUBTOTAL		
			\$328,580.00		
ENGINEERING, SURVEYING, & TESTING (11%)			\$36,143.80		
CONTINGENCY (7%)			\$23,000.60		
BOND (2%)			\$6,571.60		
			TOTAL		
			\$394,296.00		

b. The plan must be in compliance with the City's master plans.

c. The plans and specifications must comply with City Water Distribution Standards and Standard Specifications.

d. Before the Developer/Owner starts construction the plans and specifications must be approved by the City's Development Services Engineer.

3. REIMBURSEMENT

- a. The cost for the Water Improvement is **\$394,296.00** Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund and the appropriation of funds, the City will reimburse the developer, the reasonable actual cost of the Water Improvements up to an amount not to exceed **\$394,296.00** as shown in the attached **Exhibit 4**, the contents of such exhibit being incorporated by reference into this Agreement.
- b. Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund per the UDC, this agreement, and the appropriation of funds, the City agrees to reimburse the Developer/Owner on a monthly basis upon invoicing for work performed. The submitted invoice shall be deemed administratively complete by the City prior to payment. The reimbursement will be made no later than 30-days from the date of the City's administrative approval of the invoice. Developer/Owner shall submit all required performance bonds and proof of required insurance under the provisions of this Agreement.
- c. Cost-supporting documentation to be submitted shall include:
 1. Summary of Costs and Work Performed on form provided by the Development Services Department,
 2. Contractor and professional services invoices detailing work performed,
 3. The first reimbursement request requires submittal of invoices for work performed. Future disbursements shall provide evidence of payment by the developer/owner through a cancelled check or bank ACH for the previous submittal. The final reimbursement request shall require evidence that all invoices to date have been paid.
- d. To be eligible for reimbursement, the work must be constructed in a good and workmanlike manner and must have been inspected and accepted by the City. The City agrees to conduct periodic inspections and approve the progress of the work at key points during construction.
- e. The final 5% of the total contract reimbursement amount will be held as retainage until such time the City issues acceptance of public infrastructure in accordance with Unified Development Code.
- f. In the event that this Agreement is terminated by the City at a time when there has been a partial completion and partial payment for the improvements, then the City shall only reimburse Developer/Owner for its costs that were legitimately incurred towards the completion of the improvements that have been inspected and accepted by the City up to the time that there is an uncured default by the Developer/Owner.

4. PAYMENTS, CREDITS AND DEFERRED REIMBURSEMENT.

- a. All payments, credits, priority of reimbursement, and deferred reimbursement shall be made in accordance with UDC §8.5. Developer/Owner understands and agrees

that if funds are not available in the Water Arterial Transmission and Grid Main Trust Fund, that reimbursement will not be made until such funds are available, appropriated, and Developer/Owner has priority per UDC §8.5.1. Pursuant UDC §8.5.1. C., priority is determined according to the date the reimbursement agreement is approved by the City Council.

- b. Payments will not be paid when funds are not available in the Water Arterial Transmission and Grid Main Trust Fund. Payments may be made when monies are available in and appropriated from the Water Arterial Transmission and Grid Main Trust Fund and the Developer/Owner has priority in accordance with UDC §8.5.1. C.

5. DEVELOPER/OWNER TO COMPLETE IMPROVEMENTS

Developer/Owner shall award a contract and complete the Water Improvements, under the approved plans and specifications within **24** months from the date of City Council approval of this agreement.

6. NOTICES

- a. Any notice or other communication required or permitted to be given under this Agreement must be given to the other Party in writing at the following address:

1. If to the Developer/Owner:

MPM Development, LP
P.O. Box 331308
Corpus Christi, Texas 78463

2. If to the City:

City of Corpus Christi
Attn: Director, Development Services Department
2406 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

with a copy to:

City of Corpus Christi
Attn: Assistant City Manager, Business Support Services
1201 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

- b. Notice may be made by United States Postal Service, First Class Mail, Certified, Return Receipt Requested, postage prepaid; by a commercial delivery service that provides proof of delivery, delivery prepaid; or by personal delivery.
- c. Either party may change the address for notices by giving notice of the change under the provisions of this section.

7. REQUIRED CONSTRUCTION

Developer/Owner shall construct the Water Improvements in compliance with the City's UDC, the City's Infrastructure Design Manual, and all local, state and federal laws, codes and regulations, in accordance with the plans and specifications submitted to the City's Development Services Department and reviewed and approved by the City's Development Services Engineer.

8. SITE IMPROVEMENTS

Prior to the start of construction of the Water Improvements, Developer/Owner shall acquire and dedicate to the City the required additional utility easements "Easements", if necessary for the completion of the Water Improvements. If any of the property needed for the Easements is owned by a third party and Developer/Owner is unable to acquire the Easements through reasonable efforts, then the City may use its powers of eminent domain to acquire the Easements. Developer will be responsible for cost of acquisition, payable from the reimbursement agreed to in this agreement.

9. PLATTING FEES

Developer/Owner shall pay to the City the required acreage fees and pro-rata fees as required by the UDC.

10. TIME IS OF THE ESSENCE. Time is of the essence in the performance of this contract.

11. PROMPT AND GOOD FAITH ACTIONS

The parties shall act promptly and in good faith in performing their duties or obligations under this Agreement. If this Agreement calls for review or inspections by the City, then the City's reviews or inspections must be completed thoroughly and promptly.

12. DEFAULT

The following events shall constitute default:

- a. Developer/Owner fails to engage a professional engineer for the preparation of plans and specifications by the 10th calendar day after the date of approval of this Agreement by the City Council.
- b. Developer/Owner's professional engineer fails to submit the plans and specifications to the City's Director of Engineering Services by the 40th calendar day after the date of approval by City Council.
- c. Developer/Owner fails to award a contract for the construction of the project, according to the approved plans and specifications, by the 70th calendar day after the date of approval by City Council.
- d. Developer/Owner's contractor does not reasonably pursue construction of the Water Improvements under the approved plans and specifications.

- e. Developer/Owner's contractor fails to complete construction of the Water Improvements, under the approved plans and specifications as provided in section 4 of this agreement.
- f. Either the City or Developer/Owner otherwise fails to comply with its duties or obligations under this Agreement.

13. NOTICE AND CURE

- a. In the event of a default by either party under this Agreement, the non-defaulting party shall deliver notice of the default, in writing, to the defaulting party stating, in detail the nature of the default and the requirements to cure such default.
- b. After delivery of the default notice, the defaulting party has 15 business days from the delivery of the default notice ("Cure Period") to cure the default.
- c. In the event the default is not cured by the defaulting party within the Cure Period, then the non-defaulting party may pursue its remedies in this section.
- d. Should Developer/Owner fail to perform any obligation or duty of this Agreement, the City shall give notice to Developer/Owner, at the address stated in section 6, of the need to perform the obligation or duty, and should Developer/Owner fail to perform the required obligation or duty within 15 days of receipt of the notice, the City may perform the obligation or duty, charging the cost of such performance to Developer/Owner by reducing the reimbursement amount due Developer/Owner.
- e. In the event of an uncured default by the Developer/Owner, after the appropriate notice and cure period, the City has all its common law remedies and the City may:
 1. Terminate this Agreement after the required notice and opportunity to cure the default;
 2. Refuse to record a related plat or issue any certificate of occupancy for any structure to be served by the project; and/or
 3. Perform any obligation or duty of the Developer/Owner under this agreement and charge the cost of such performance to Developer/Owner. Developer/Owner shall pay to City the reasonable and necessary cost of the performance within 30 days from the date Developer/Owner receives notice of the cost of performance. In the event that Developer/Owner pays the City under the preceding sentence, and is not otherwise in default under this Agreement, then the Agreement shall be considered in effect and no longer in default.
- f. In the event of an uncured default by the City after the appropriate notice and cure period, the Developer/Owner has all its remedies at law or equity for such default.

14. **FORCE MAJEURE**

- a. The term "force majeure" as employed in this Agreement means and refers to acts of God; strikes, lockouts, or other industrial disturbances; acts of public enemies; insurrections; riots; epidemic; landslides; lightning; earthquakes; fires; hurricanes; storms; floods; washouts; droughts; arrests; civil disturbances; explosions; or other causes not reasonably within the control of the party claiming the inability.
- b. If, by reason of force majeure, either party is rendered wholly or partially unable to carry out its obligations under this Agreement, then the party claiming force majeure shall give written notice of the full particulars of the force majeure to the other party within ten (10) business days after the occurrence or waive the right to claim it as a justifiable reason for delay. The obligations of the party giving the required notice, to the extent affected by the force majeure, are suspended during the continuance of the inability claimed, but for no longer period, and the party shall endeavor to remove or overcome such inability with all reasonable dispatch.

15. **THIRD-PARTY BENEFICIARY**

Developer/Owner's contracts with the professional engineer for the preparation of the plans and specifications for the construction of the Water Improvements contracts for testing services, and with the contractor for the construction of the Water Improvements must provide that the City is a third-party beneficiary of each contract.

16. **PERFORMANCE AND PAYMENT BONDS**

Developer/Owner shall, before beginning the work that is the subject of this Agreement, furnish a performance bond payable to the City of Corpus Christi if the contract is in excess of \$100,000 and a payment bond if the contract is in excess of \$50,000. Bonds furnished must meet the requirements of Texas Insurance Code 3503, Texas Government Code 2253, and all other applicable laws and regulations. The performance or payment bond must name the City as an obligee. If the Developer/Owner is not an obligor, then Developer/Owner shall be named as a joint obligee. The bond must clearly and prominently display on the bond or on an attachment to the bond:

- (1) the name, mailing address, physical address, and telephone number, including the area code, of the surety company to which any notice of claim should be sent; or
- (2) the toll-free telephone number maintained by the Texas Department of Insurance under Subchapter B, Chapter 521, Insurance Code, and a statement that the address of the surety company to which any notice of claim should be sent may be obtained from the Texas Department of Insurance by calling the toll-free telephone number.

17. **DEDICATION OF WATER IMPROVEMENTS.**

Upon completion of the construction, dedication of Water Improvements will be subject to City inspection and approval

18. **WARRANTY**

Developer/Owner shall fully warranty the workmanship of and function of the Water Improvements and the construction thereof for a period of one year from and after the date of acceptance of the facilities by the City's Director of Engineering Services.

19. INDEMNIFICATION

Developer/Owner covenants to fully indemnify, save and hold harmless the City of Corpus Christi, its officers, employees, and agents, ("indemnitees") against any and all liability, damage, loss, claims, demands suits and causes of action of any nature whatsoever asserted against or recovered from city on account of injury or damage to person including, without limitation on the foregoing, workers compensation and death claims, or property loss or damage of any other kind whatsoever, to the extent any injury, damage, or loss may be incident to, arise out of, be caused by, or be in any way connected with, either proximately or remotely, wholly or in part, the Developer/Owner's failure to comply with its obligations under this agreement or to provide city water service to the development, including injury, loss, or damage which arise out of or are in any manner connected with, or are claimed to arise out of or be in any manner connected with the construction, installation, existence, operation, use, maintenance, repair, restoration, or removal of the public improvements associated with the development described above, including the injury, loss or damage caused by the sole or contributory negligence of the indemnitees or any of them, regardless of whether the injury, damage, loss, violation, exercise of rights, act, or omission is caused or is claimed to be caused by the contributing or concurrent negligence of indemnitees, or any of them, but not if caused by the sole negligence of indemnitees, or any of them, unmixed with the fault of any other person or entity, and including all expenses of litigation, court costs, and attorneys fees, which arise, or are claimed to arise, out of or in connection with the asserted or recovered incident.

This indemnity specifically includes all claims, damages, and liabilities of whatever nature, foreseen or unforeseen, under any hazardous substance laws, including but not limited to the following:

(a) all fees incurred in defending any action or proceeding brought by a public or private entity and arising from the presence, containment, use, manufacture, handling, creating, storage, treatment, discharge, release or burial on the property or the transportation to or from the property of any hazardous substance. The fees for which the developer/owner shall be responsible under this subparagraph shall include but shall not be limited to the fees charged by (i) attorneys, (ii) environmental consultants, (iii) engineers, (iv) surveyors, and (v) expert witnesses.

(b) any costs incurred attributable to (i) the breach of any warranty or representation made by Developer/Owner in this agreement, or (ii) any cleanup, detoxification, remediation, or other type of response action taken with respect to any hazardous substance on or under the property regardless of whether or not that action was mandated by the federal, state or local government.

This indemnity shall survive the expiration or earlier termination of the agreement.

20. ASSIGNMENT OF AGREEMENT

This Agreement or any rights under this Agreement may not be assigned by the Developer/Owner to another without the written approval and consent of the City's City Manager.

21. DISCLOSURE OF INTERESTS

Developer/Owner agrees, in compliance with the Corpus Christi Code of Ordinance Sec. 2-349, to complete, as part of this Agreement, the Disclosure of Interests form attached hereto as **Exhibit 5**.

22. CERTIFICATE OF INTERESTED PARTIES

Developer/Owner agrees to comply with Texas Government Code section 2252.908 and complete Form 1295 Certificate of Interested Parties as part of this agreement.

Form 1295 requires disclosure of "interested parties" with respect to entities that enter contracts with cities. These interested parties include:

- (1) persons with a "controlling interest" in the entity, which includes:
 - a. an ownership interest or participating interest in a business entity by virtue of units, percentage, shares, stock or otherwise that exceeds 10 percent;
 - b. membership on the board of directors or other governing body of a business entity of which the board or other governing body is composed of not more

- than 10 members; or
- c. service as an officer of a business entity that has four or fewer officers, or service as one of the four officers most highly compensated by a business entity that has more than four officers.

(2) a person who actively participates in facilitating a contract or negotiating the terms of a contract with a governmental entity or state agency, including a broker, intermediary, adviser or attorney for the business entity.

Form 1295 must be electronically filed with the Texas Ethics Commission at https://www.ethics.state.tx.us/whatsnew/elf_info_form1295.htm. The form must then be printed, signed, notarized and filed with the City. For more information, please review the Texas Ethics Commission Rules at <https://www.ethics.state.tx.us/legal/ch46.html>.

23. CONFLICT OF INTEREST.

Developer/Owner agrees to comply with Chapter 176 of the Texas Local Government Code and file Form CIQ with the City Secretary's Office, if required. For more information and to determine if you need to file a Form CIQ, please review the information on the City Secretary's website at <http://www.cctexas.com/government/city-secretary/conflict-disclosure/index>

24. AUTHORITY.

All signatories signing this Agreement warrant and guarantee that they have the authority to act on behalf of the entity represented and make this Agreement binding and enforceable by their signature.

25. EFFECTIVE DATE

This Agreement shall be executed in one original, which shall be considered one instrument. *This Agreement becomes effective and is binding upon, and inures to the benefit of the City and Developer/Owner from and after the date that all original copies have been executed by all signatories.

Remainder of page intentionally left blank; signature page to follow.

EXECUTED IN ONE ORIGINAL this _____ day of _____, 20____.

ATTEST:

CITY OF CORPUS CHRISTI

Rebecca Huerta
City Secretary

Michael Dice
Director of Development Services

APPROVED AS TO LEGAL FORM:

Buck Brice (Date)
Deputy City Attorney
For City Attorney

DEVELOPER/OWNER:

MPM Development, LP
P.O. Box 331308
Corpus Christi, Texas 78463

By:

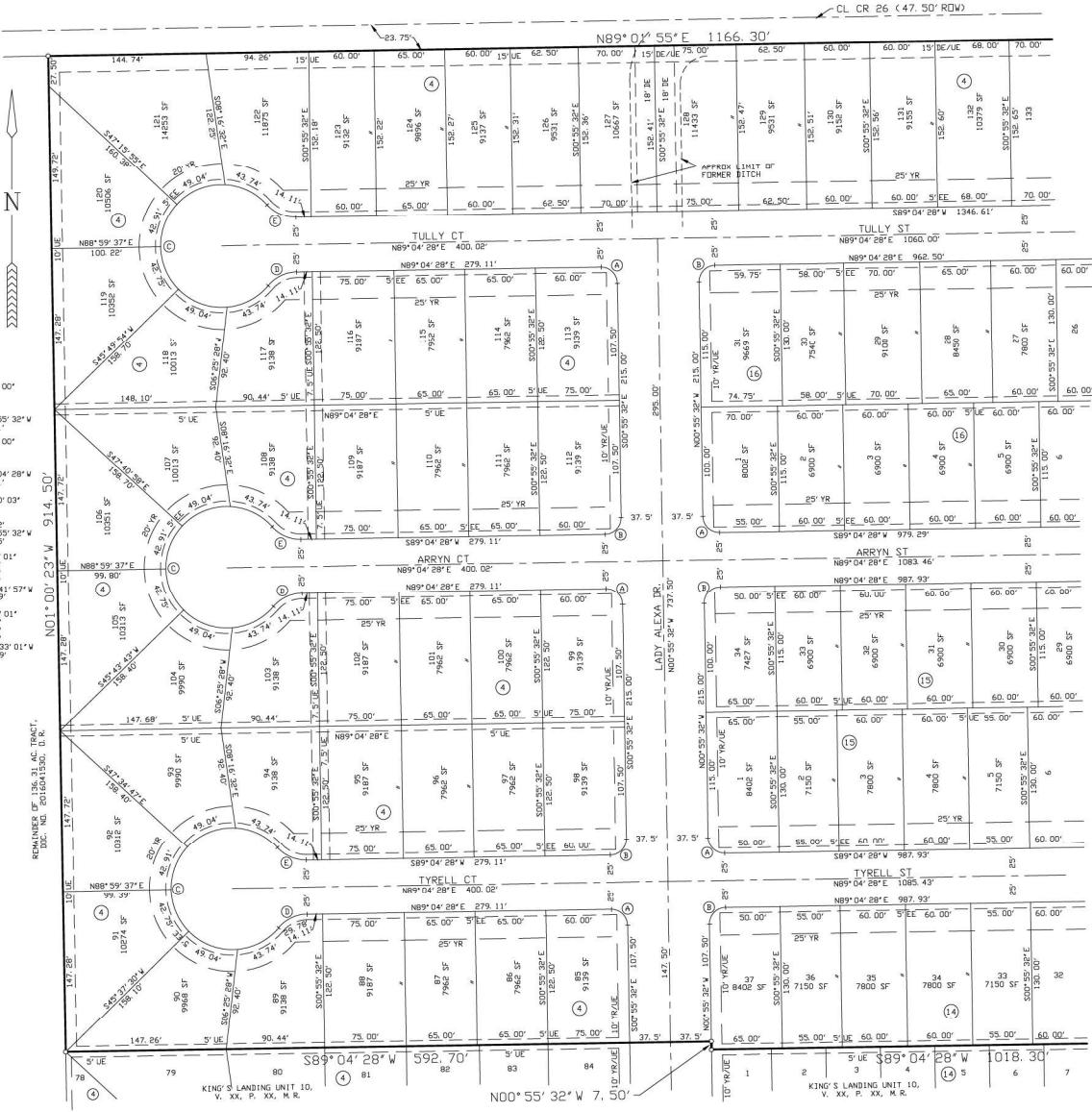
Moses Mostaghasi
General Partner

STATE OF TEXAS §
§
COUNTY OF _____ §

This instrument was acknowledged before me on _____, 20____, by
Moses Mostaghasi, General Partner of MPM Development, on behalf of said company.

Notary Public's Signature

EXHIBIT 1



CONTINUED ON FOLLOWING SHEET

CONTINUED ON FOLLOWING SHEET

CONTINUED ON FOLLOWING SHEET

PLAT OF
KING'S LANDING UNIT 11
CORPUS CHRISTI,
NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING
REG. NO. F-52, 3054 S. ALAMEDA STREET,
CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 6/19/25
COMP. NO.: PLAT-SHT2
JOB NO.: 24008
SCALE: 1' = 60'
PLAT SCALE: SAME
SHEET 2 OF 3

EXHIBIT 2



Reimbursement Agreement Application



2406 Leopard St. Corpus Christi, TX 78408 | Phone: 361.826.3240 | Fax: 361.826.4375 | contractsandagreements@cctexas.com

Date of Application: 7-30-25

Approved Plat Name: Kings Landing Unit 11

Public Improvements Deferred:

Approved Public Improvement Plans: Y N

Cost Estimate for Deferred Public Improvements: \$ 363,696.00

Ownership and authorized signatories to enter into the agreement:

Contact Information

Name: Mossa (Moses) Mostaghaci

E-mail address: mothepro99@aol.com

Phone Number: 361-774-3832

Preferred Method of Contact: Email Phone Other

If other, provide detail:

Company Name entering into the agreement: MPM Development, LP

Company Address: PO Box 331308 Corpus Christi, TX 78463

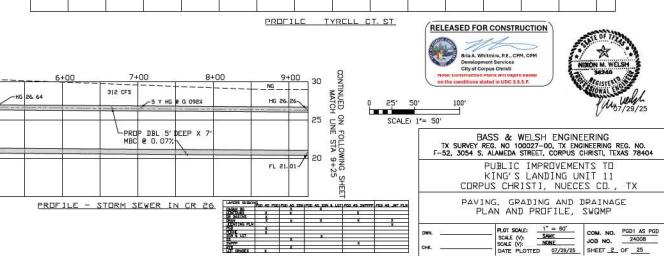
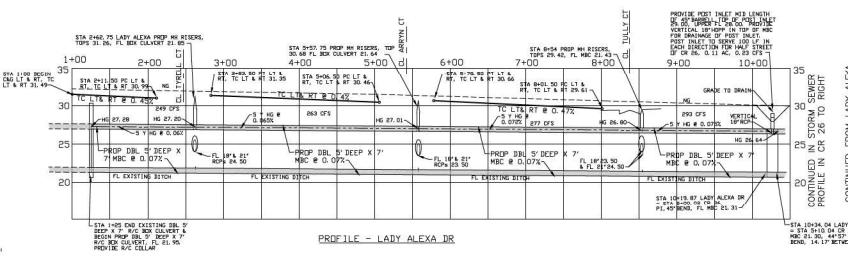
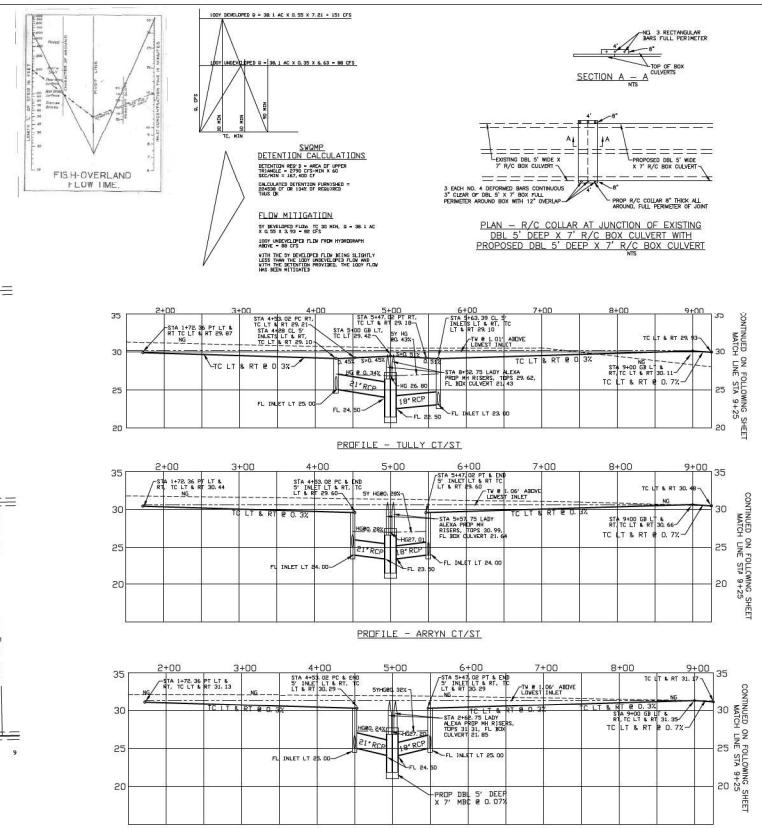
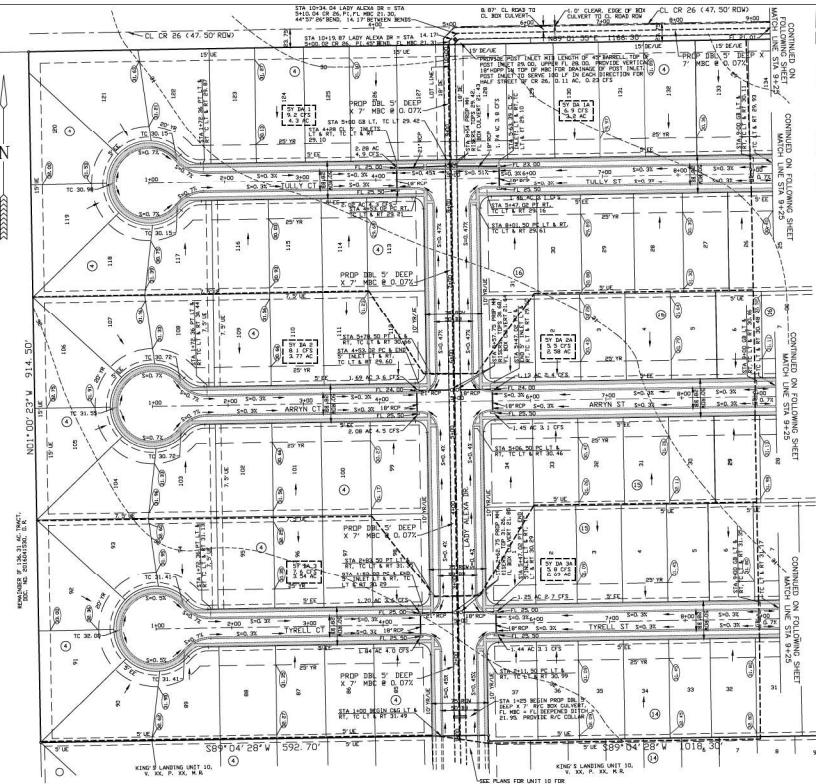
General Partner

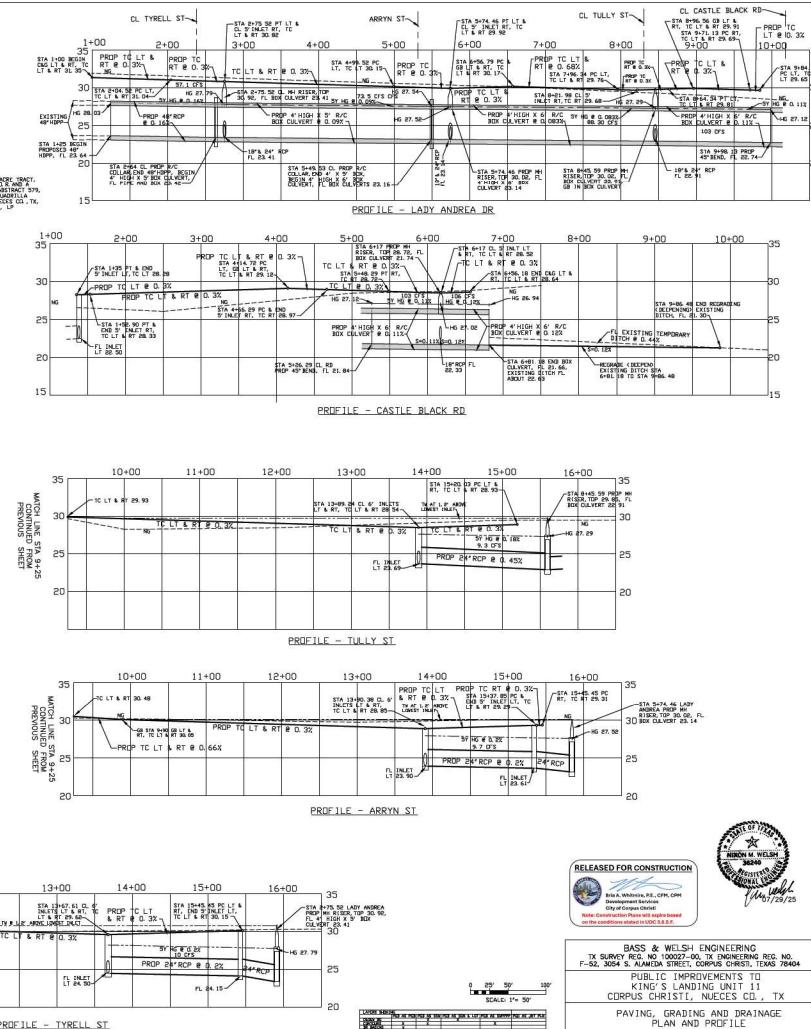
Applicant's Signature & Title

Submit Application Electronically to: contractsandagreements@cctexas.com

Mail to:
Development Services
Attn: Business Manager
2406 Leopard St. Suite 100
Corpus Christi, Texas 78408

EXHIBIT 3

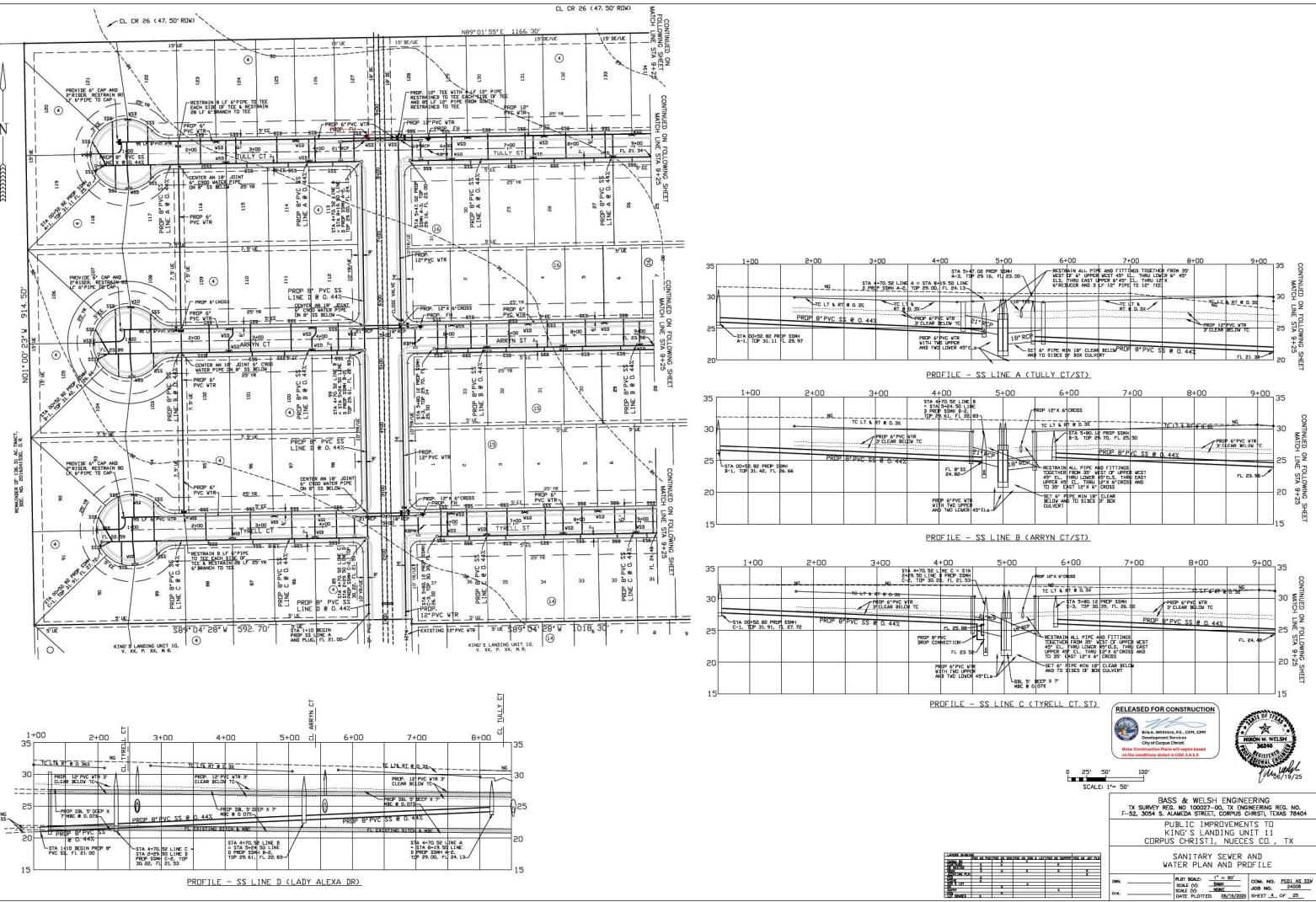


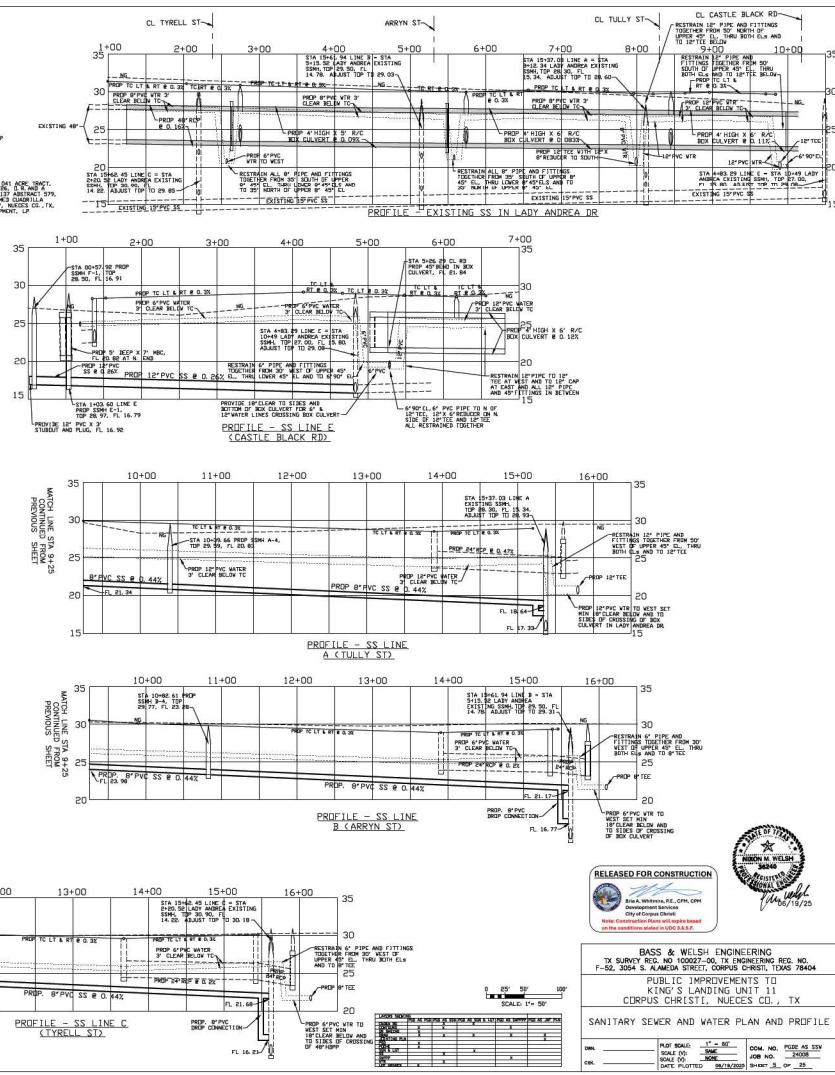
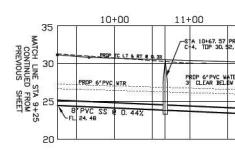
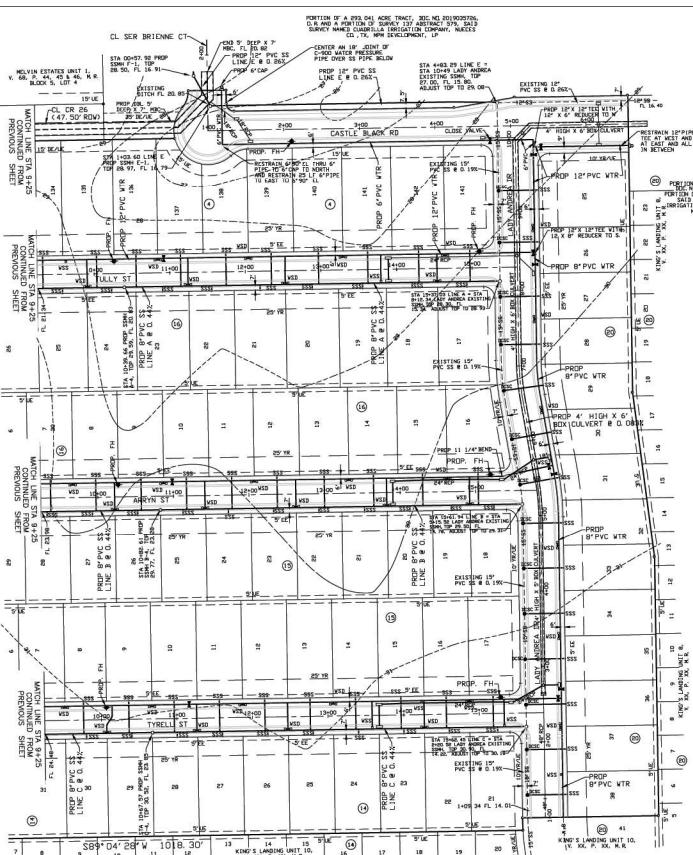


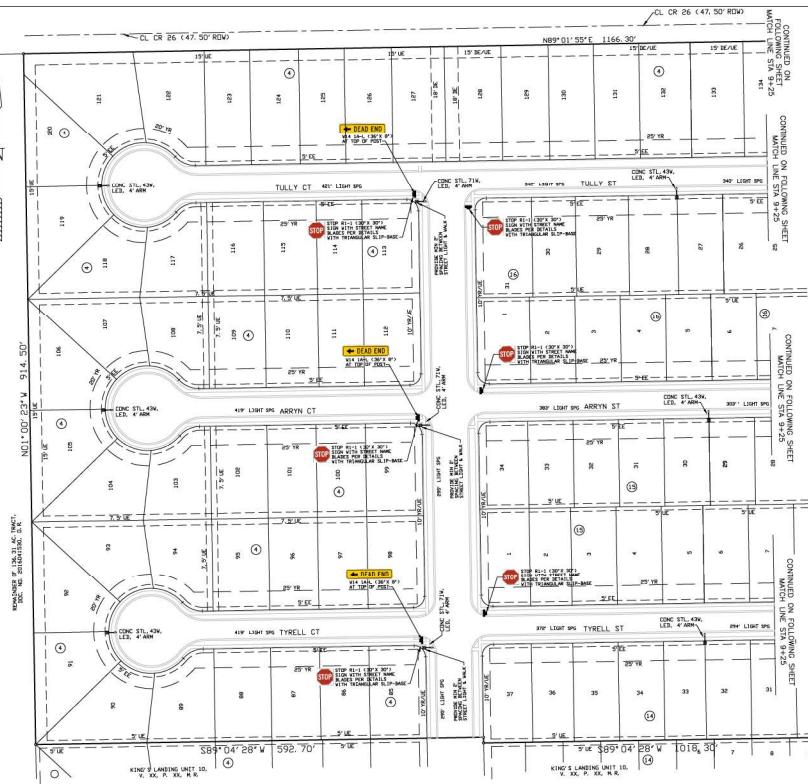
A rectangular stamp with a decorative border. The top line reads "RELEASED FOR CONSTRUCTION". Below this is a circular emblem featuring a lighthouse and a ship. A handwritten signature is written across the center of the stamp.

A circular seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "PROFESSIONAL ENGINEER" at the bottom. The center features a five-pointed star. Below the star, the name "NIXON M. WELSH" is printed, followed by the number "30040". At the bottom of the seal, the date "07/29/25" is stamped. A handwritten signature "N.M. Welsh" is written across the bottom of the seal.

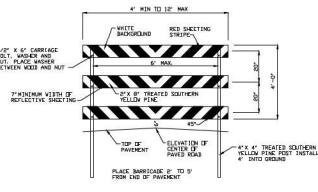
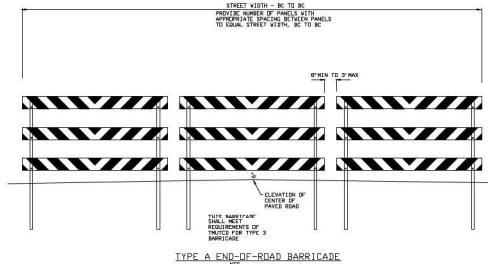
BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX REGISTRATION NO. F-52, 3054 S. ALAMO STREET, CORPUS CHRISTI, TEXAS 78404					
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11 CORPUS CHRISTI, NUECES CO., TX					
PAVING, GRADING AND DRAINAGE PLAN AND PROFILE					
ONE	PLAT ROAD	17' - 8"	COM. NO.	PO BOX 1400	7/24/05
ONE	SCALE 09'	SAME	ONE	74005	
ONE	DATE DRAFTED	07/23/05	ONE	ONE	
ONE	ONE	ONE	ONE	ONE	







NOTE:
PER TEXAS MUTCD BASED ON CC UDC ARTICLE 8.1.3.3. A.
ALL TRAFFIC SIGNS SHALL BE FURNISHED AND
INSTALLED BY THE DEVELOPER ACCORDING TO
SPECIFICATIONS OF, AND SUBJECT TO, LATEST
VERSION OF THE "TEXAS MANUAL ON UNIFORM TRAFFIC
CONTROL DEVICES (MUTCD)." PUBLIC IMPROVEMENT
PLAN REVIEWS AND INSPECTIONS, BY THE CITY, THIS
INCLUDES FURNISHING AND INSTALLING "STOP" SIGNS.



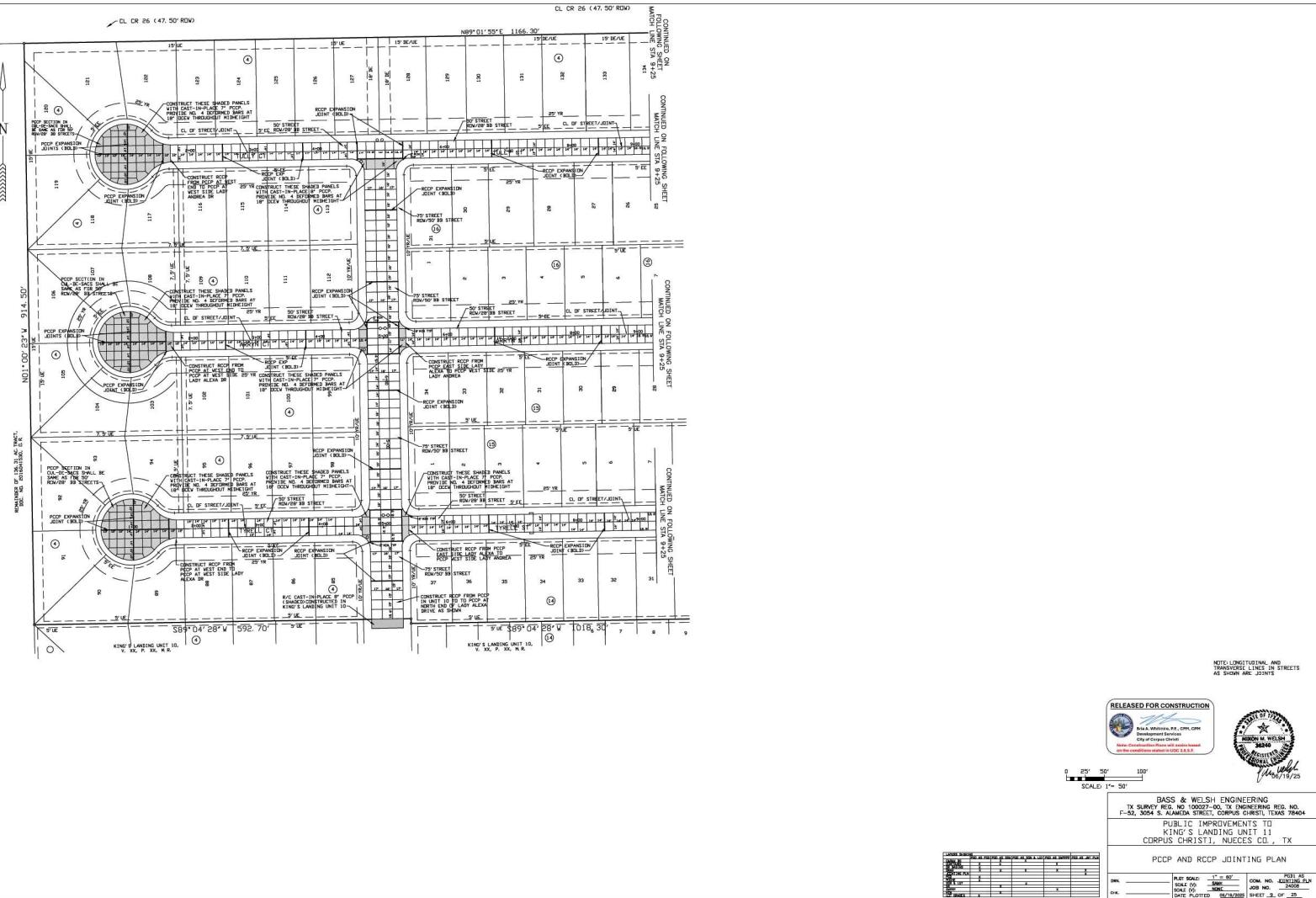
TYPICAL BARRICADE PANEL DETAIL

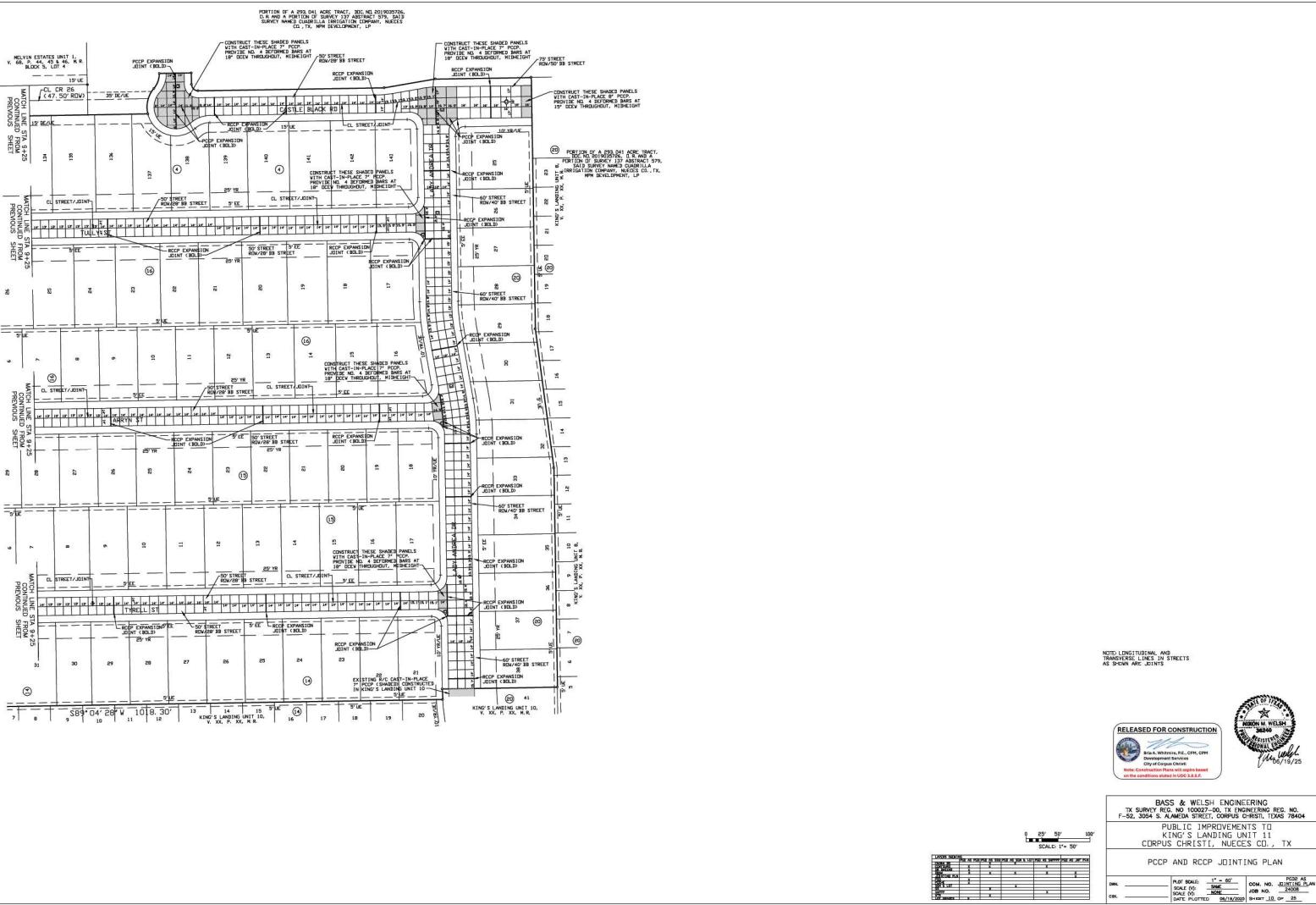


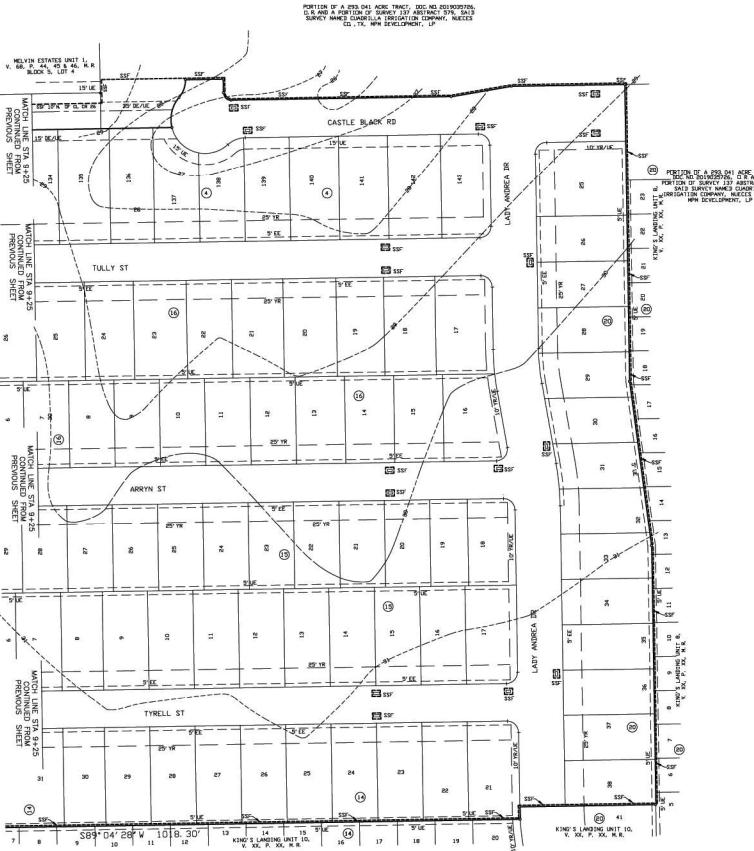
50' 100'
LE 1' = 50'
Mr. S. J. S.
07/09/01

BASS & WELSH ENGINEERING
TX SURVEY REG. NO 100027-00, TX ENGINEERING REG. N
F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78501
PUBLIC IMPROVEMENTS TO
KING'S LANDING LINTZ 11

BASS & WELSH ENGINEERING
TX SURVEY REG. NO 100027-00, TX ENGINEERING REG. NO.
F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78501







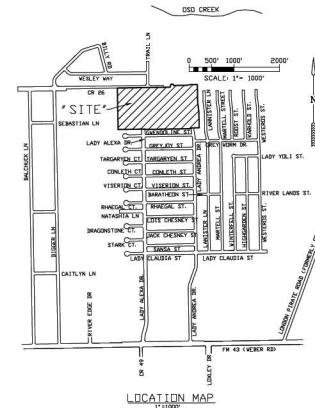
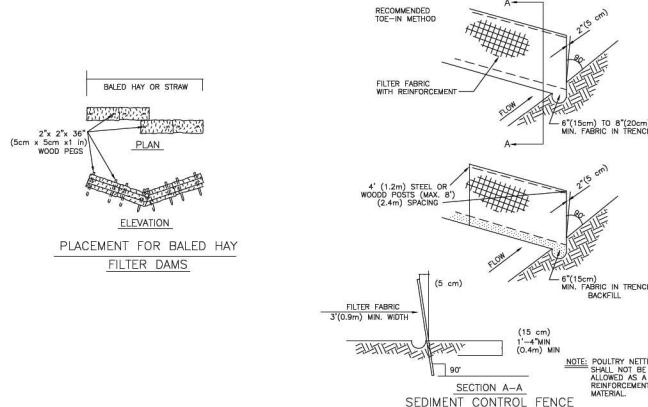
A rectangular stamp with a decorative border. Inside the border, the words "RELEASED FOR CONSTRUCTION" are printed in a bold, sans-serif font. In the center of the stamp is a circular seal featuring a landscape with a bridge and water. A handwritten signature is written across the center of the stamp, partially overlapping the text and the seal.

The image shows the official seal of the State of Texas, which is circular with a five-pointed star in the center. The words "THE STATE OF TEXAS" are written in a circular pattern around the star, and "1836" is at the bottom.

BASS & WELSH ENGINEERING			
TX SURVEY NO. 000027-00, TX ENGINEERING REG. NO.			
F-52, 3054 S. ALAMIDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO			
KING'S LANDING UNIT 11			
CORPUS CHRISTI, NUECES CO., TX			
STORM WATER POLLUTION PREVENTION PLAN			
SHEET 2 OF 3			
DINL:	FUD DATE:	1" = 80'	CORN. NO. PERIOD OF SUPPORT
		SOLIC. 09	NAME _____
		SOLIC. 07	NAME _____
		SOLIC. 05	NAME _____
		SOLIC. 03	NAME _____
		SOLIC. 01	NAME _____
CHK:			SOLIC. 12/ 19/ 04

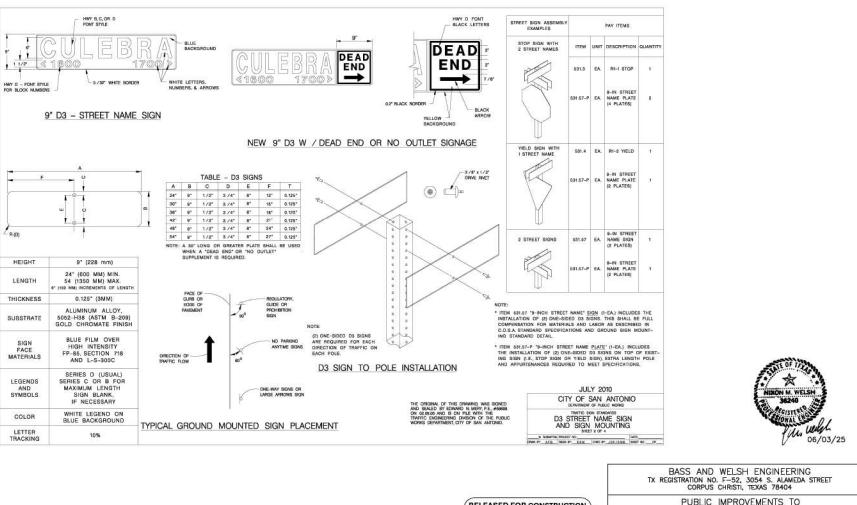
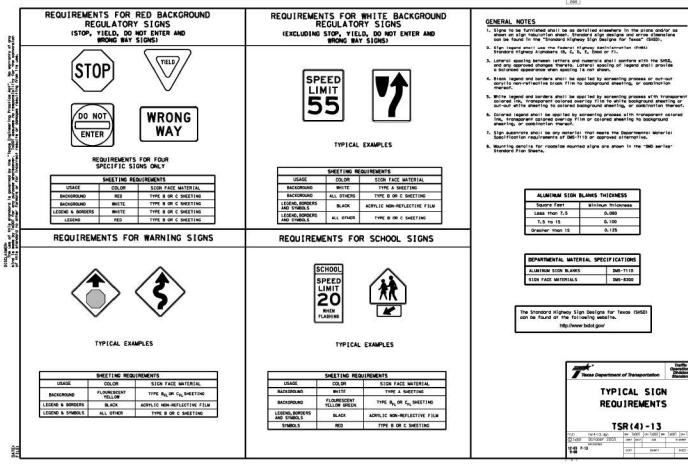
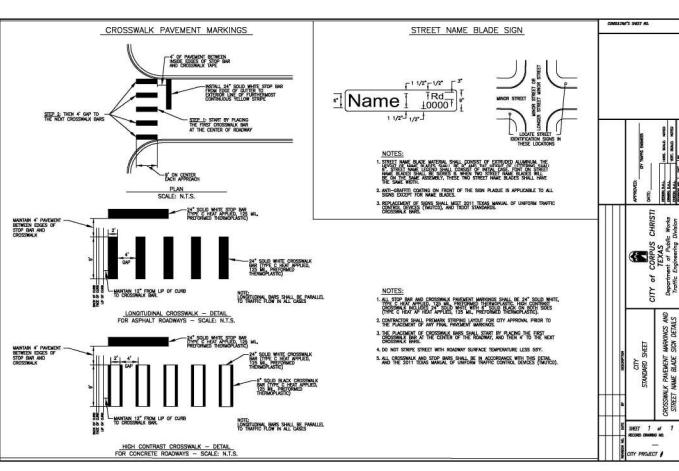
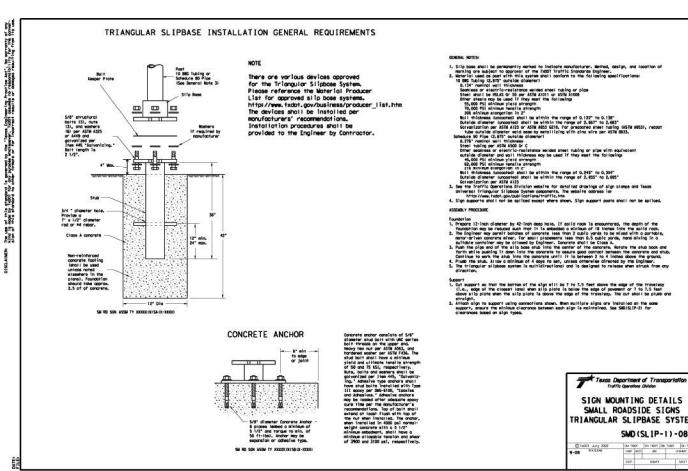
SITE DESCRIPTION	
PROJECT LIMITS: KING'S LANDING UNIT 11	NOT TO SCALE
PROJECT DESCRIPTION: CONSTRUCTION OF SINGLE-FAMILY RESIDENTIAL SUBDIVISION. THE PRIMARY ACTIVITIES WILL BE PAVEMENT CONSTRUCTION, EARTHWORK CONSTRUCTION, STORM SEWER AND UTILITY CONSTRUCTION AND LOT GRADING AND CLEARING AND GRUBBING	
MAJOR SOIL DISTURBING ACTIVITIES: PAVEMENT AND EARTHWORK CONSTRUCTION, LOT GRADING & STORM SEWER AND UTILITY CONSTRUCTION	
TOTAL PROJECT AREA: .38.1 ACRES	
TOTAL AREA TO BE DISTURBED: .38.1 ACRES	
WEIGHTED RUNOFF COEFFICIENT (AFTER CONSTRUCTION): .55%	
EXISTING CONDITION OF SOIL & VEGETATION: COVER AND % OF EXISTING VEGETATION: COVER: SOIL AND % OF EXISTING VEGETATION: SUBJECT SITE ARE: VICTORIA CLAY, 0 TO 2% SLOPES, V.G.A. SITE IS UNDER CULTIVATION, INTERMITTENT VEGETATIVE COVER	
NAME OF RECEIVING WATERS: OSO CREEK	
NARRATIVE - SEQUENCE OF CONSTRUCTION (STORM WATER MANAGEMENT) ACTIVITIES:	
<p>THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:</p> <ol style="list-style-type: none"> 1. CONSTRUCT 7'6" FENCE, CLEAR WORK AREA, INSTALL UTILITIES (WASTIC WATER, STORM WATER AND POTABLE WATER), STREET EARTHWORK AND PAVING AND LOT GRADE. 2. GRADE PROPOSED PAVEMENT TO SUBGRADE ELEVATION, COMPACT SUBGRADE, CONSTRUCT PAVEMENT. 3. UPON COMPLETION OF CONSTRUCTION, TEMPORARY CONTROL STRUCTURES WILL REMAIN IN PLACE UNTIL LANDSCAPING OR GRASSES ARE IN PLACE. 	

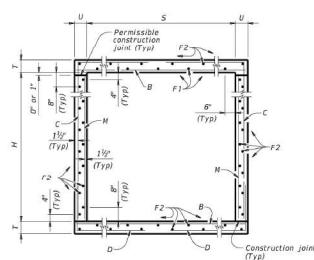
EROSION AND SEDIMENT CONTROLS	
STORM WATER MANAGEMENT: STORM WATER DRAINAGE WILL BE PROVIDED BY THE STREET SECTION, INLETS AND PIPES. CURB & GUTTER WILL CARRY THE RUNOFF TO THE COLLECTION POINTS (INLETS).	
SOIL STABILIZATION PRACTICES:	
<p><input checked="" type="checkbox"/> TEMPORARY SEEDING <input type="checkbox"/> PERMANENT PLANTING, SODDING, OR SEEDING <input type="checkbox"/> MULCHING <input type="checkbox"/> SOIL RETENTION BLANKET <input type="checkbox"/> BUFFER ZONE <input type="checkbox"/> PRESERVATION OF NATURAL RESOURCES</p>	
OTHER: DISTURBED AREAS WHICH CONSTRUCTION ACTIVITY HAS CEASED (TEMPORARILY OR PERMANENT) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME AND DO WITHIN 21 DAYS.	
STRUCTURAL PRACTICES:	
<p><input checked="" type="checkbox"/> SILT FENCES <input type="checkbox"/> TOPSOIL FENCE <input type="checkbox"/> ROCK BERM <input type="checkbox"/> DIVERSION, INTERCEPTION, OR PERMITTED DIKES <input type="checkbox"/> DIVERSION, DIKE AND SWALE COMBINATIONS <input type="checkbox"/> PIPE SLOPE DRAINS <input type="checkbox"/> PIG FENCE <input type="checkbox"/> ROCK BEDDING AT CONSTRUCTION EXIT <input type="checkbox"/> TIMBER MATTING AT CONSTRUCTION EXIT <input type="checkbox"/> CONCRETE <input type="checkbox"/> SEDIMENT TRAPS <input type="checkbox"/> SEDIMENT BASINS <input type="checkbox"/> STORM DRAINS <input type="checkbox"/> STORM DRAINAGE TRAP <input type="checkbox"/> STONE OUTLET STRUCTURES <input type="checkbox"/> CURB AND GUTTERS <input type="checkbox"/> STORM SEWERS <input type="checkbox"/> VELOCITY CONTROL DEVICES</p>	
INSPECTION: ALL INSPECTION WILL BE PERFORMED BY AN INSPECTOR EVERY WEEK AS WELL AS AFTER EVERY HALF INCH OR MORE OF RAIN (AS RECORDED ON A NON-FREEZING RAIN GAUGE) TO BE LOCATED AT THE PROJECT SITE. AN INSPECTION AND MAINTENANCE REPORT WILL BE MADE AND SUBMITTED TO THE LOCAL GOVERNMENT. BASED ON THE INSPECTION RESULTS, THE CONTROLS SHALL BE REVISED PER THE INSPECTION REPORT.	
MANAGEMENT: ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE DONE AT THE EARLIEST DATE POSSIBLE, BUT NO LATER THAN 7 CALENDAR DAYS AFTER THE SURROUNDING EXPOSED ERODING AREA HAS BEEN STABILIZED. THE CONTRACTOR SHALL NOT OPERATE IN THE AREAS ADJACENT TO CREEKS AND DRAINSWAYS SHALL HAVE PRIORITY FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS.	
INSPECTION: ALL INSPECTION WILL BE PERFORMED BY AN INSPECTOR EVERY WEEK AS WELL AS AFTER EVERY HALF INCH OR MORE OF RAIN (AS RECORDED ON A NON-FREEZING RAIN GAUGE) TO BE LOCATED AT THE PROJECT SITE. AN INSPECTION AND MAINTENANCE REPORT WILL BE MADE AND SUBMITTED TO THE LOCAL GOVERNMENT. BASED ON THE INSPECTION RESULTS, THE CONTROLS SHALL BE REVISED PER THE INSPECTION REPORT.	
WASTE MATERIALS: CONTRACTOR SHALL PROVIDE A WASH OUT AREA FOR CONCRETE TRUCKS. THIS AREA SHALL BE AT A LOCATION THAT WILL NOT ALLOW ANY DEBRIS OR CONTAMINATION TO ENTER THE WASH OUT AREA. CONCRETE TRUCKS SHALL BE COVERED WITH TARP AULIN. SURROUNDING AREA FROM CONTAMINATION WASH OUT AREA SHALL BE RESTORED UPON PROJECT COMPLETION. ALL WASTE MATERIAL SHALL BE COLLECTED AND SECURELY STORED UNTIL REMOVAL FROM JOBSITE. NO CONSTRUCTION WASTE MATERIAL SHALL BE BURIED ON SITE.	
SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY.	
OFFSITE VEHICLE TRACKING:	
<p><input type="checkbox"/> HAUL ROADS DAMPENED FOR DUST CONTROL <input type="checkbox"/> HAUL ROADS TRUCKS SHALL BE COVERED WITH TARP AULIN <input checked="" type="checkbox"/> EXCESS DIRT OR LOAD REMOVED DAILY <input type="checkbox"/> STABILIZED CONSTRUCTION ENTRANCE</p>	
REMARKS: DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATER BODY OR STREAM. STOCKPILES SHALL BE LOCATED ON HAUL ROADS AND HAUL ROADS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS. ALL WATERWAYS SHALL BE CLEARED AS SOON AS POSSIBLE OF TEMPORARY EMBANKMENT, TEMPORARY EMBANKMENT MATERIALS, AND OTHER MATERIALS THAT MAY BE PLACED DURING CONSTRUCTION OPERATIONS THAT ARE NOT A PART OF THE FINISHED WORK.	
CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS AS MAY BE REQUIRED BY TCEQ AND DPA. CONTRACTOR SHALL PROVIDE NOT AND NOT.	



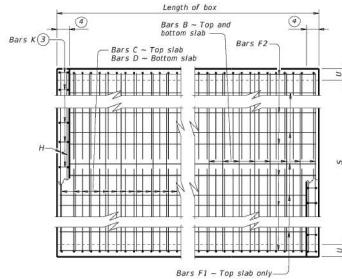
RELEASED FOR CONSTRUCTION	
<p>BASS AND WELSH ENGINEERING TX REGISTRATION NO. F-52, 2054 S. ALAMO STREET PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11 CORPUS CHRISTI, NUECES CO., TX STORM WATER POLLUTION PREVENTION PLAN SHEET 3 OF 3</p>	
DM:	PLAT SHEET NO. 48 SHORT SCALE 1:640 DATE 06/03/2023 C.R. - R. WELSH DATE PLOTTED 06/03/23 SHEET 13 OF 25



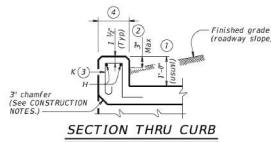




TYPICAL SECTION



PLAN OF REINF STEEL



SECTION THRU CURB

① 0' Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail or curbs taller than 7'-0", refer to the Extended Curb detail sheet. For structures with bridge rail, refer to the bridge rail detail sheet. Refer to the Mounting Details for T631 & T631LS Rails (T631-CM) standard sheet. Refer to the Rail Anchorage Curb (RAC) standard sheet for structures with bridge rail other than T631.

② For vehicle safety, the following requirements must be met:

For structures without bridge rail, construct curbs no higher than 3' above

For structures with bridge rail, construct curbs flush with finished grade. Reduce curb heights, if necessary, to meet the above requirements. No changes will be made to the curb height or the bridge rail height without coordination with the City of Corpus Christi.

③ For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3' high, Bars K may be omitted.

④ 1'-0" typical. 2'-3" when the Rail Anchorage Curb (RAC) standard sheet is referred to elsewhere in the plans.

The Contractor may replace Bars B, C, D, E, F1, F2, M, Y, and/or Z with deformed twisted wire reinforcement. The use of twisted wire reinforcement is limited to 100' of culvert length. The area of required reinforcement may be reduced by the ratio of 60 ksi / 70 ksi. Spacing of wire reinforcement is limited to 8' and 12' maximum. When required, provide lap splices 72" apart of the same size required for the equivalent conventional bar sizes. The lap length required for WWR is 12" (the same as conventional bars). The lap length required for D306 wire is 2'-1" (the same as conventional bars). The lap length required for uncoated #5 bars, as listed under MATERIAL NOTES, is 188". Max spacing. Required lap length for the provided D306 wire is 2'-1" (the same as conventional bars). The lap length required for uncoated #5 bars, as listed under MATERIAL NOTES, is 188".

Example conversion: Replacing No. 6 @ 6' Spacing with WWR Required WWR = 0.44 sq. in. per 0.5 ft. (60 ksi / 70 ksi) = 0.755 sq. in. per ft.

If D306 wire is used to replace the 0.755 sq. in. per ft. requirement, in this example, the spacing would be 12' (the same as conventional bars).

CONSTRUCTION NOTES:

Do not use permanent forms. Change the height of the top slab 3' at the entrance.

Optionally, raise construction joints shown at the flow line by a maximum of 8". If this option is taken, Bars M may be cut off or raised, Bars C and D may be reversed.

MATERIAL NOTES:

Provide galvanized reinforcing steel.

Provide galvanized reinforcing steel if required elsewhere in the plans.

Provide class C concrete with 3,000 psi for invert, barrel, and curb, with the following exception: Provide class S concrete (frc = 3,000 psi) for top slab if:

- culverts with overlay,
- culverts with a coarse surface treatment, or
- culverts with the top slab as the final riding surface.

Provide class S concrete (frc = 3,000 psi) for:

- uncoated or galvanized - #4 = 1'-0" Min
- uncoated or galvanized - #5 = 2'-1" Min
- uncoated or galvanized - #6 = 4'-0" Min

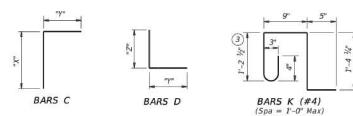
GENERAL NOTES:

Design according to AASHTO LRFD Bridge Design Specifications for the range of H-80 vehicles.

See the Single Box Culverts Cast-In-Place Miscellaneous Detail (SCC-MD) standard sheet for details pertaining to skewed ends, angle sections, and lengthening.

Cover dimensions are clear dimensions, unless noted otherwise.

Reinforcing bar dimensions shown are out-to-out of bar.



HL93 LOADING SHEET 1 OF 2					
Texas Department of Transportation					
Bridge Division Standard					
SINGLE BOX CULVERTS CAST-IN-PLACE 0' TO 30' FILL					
SCC-5 & 6					
Ref. CD-SCC5-21.dwg	Rev. T21	Ver. B90	Ed. T100	Ex. T100	
07/01/2008					
REVISIONS	COP. S201	ED. S201	JOB S201	WORKS	
07/01/2008					
07/01/2008	SEET	CRWY	SHEET NO.		

RELEASED FOR CONSTRUCTION

 Bob A. Whitehouse, P.E., CPP, CPW
 City of Corpus Christi, Texas
 Note: This document is subject to change based on the conditions stated in DDC 3.8.2.

BASS AND WELSH ENGINEERING	
TX REGISTRATION NO. F-52 3054 S. ALAMEDA STREET	
CORPUS CHRISTI, TX 78404	
PUBLIC IMPROVEMENTS TO	
KING'S LANDING UNIT 11	
CORPUS CHRISTI, NUECES CO., TX	
(XU01) SINGLE BOX CULVERT U1A/L1A SHEET 1 OF 2	
DATE:	11/10/08
SCALE:	1" = 20'
DATE PLOTTED:	11/10/08
JOB NO.:	114000
DATE:	11/10/08
DATE PLOTTED:	11/10/08
JOB NO.:	114000
11/10/08	



Andrew D. Welsh

11/10/08

SECTION DIMENSIONS												BILLS OF REINFORCING STEEL (For Box Length = 40 feet)												QUANTITIES																
S	H	T	D	FILL HEIGHT (S)				Bars B				Bars C				Bars D				Bars M ~ #4				Bars F1 ~ #4 at 18" Spa		Bars F2 ~ #4 at 18" Spa		Bars H 4 ~ #4		Bars K		Per Foot of Barrel	Curb	Total						
				No.	Size	Spa	Length	Weight	No.	Size	Spa	No.	Size	Spa	Length	Weight	No.	Size	Spa	Length	Wt.	No.	Length	Weight	Length	Wt.	No.	Wt.	Conc (CY)	Reinf (LB)	Conc (CY)	Reinf (LB)								
5'-0"	2'-0"	8"	7"	26	108	#6 9"	5'-11"	960	108	#5 9"	6'-3"	704	2'-6"	3'-9"	108	#5 9"	6'-5"	2'-8"	108	9"	2'-0"	144	4	39'-9"	106	22	39'-9"	584	5'-11"	16	14	39	0.391	80.5	0.5	55	16.1	3,276		
5'-0"	2'-0"	9"	7"	30	108	#6 9"	5'-11"	960	108	#5 9"	6'-4"	713	2'-7"	3'-9"	108	#5 9"	6'-6"	2'-9"	108	9"	2'-0"	144	4	39'-9"	106	22	39'-9"	584	5'-11"	16	14	39	0.429	81.0	0.5	55	17.6	3,294		
5'-0"	3'-0"	8"	7"	26	108	#6 9"	5'-11"	960	108	#5 9"	7'-3"	817	3'-6"	3'-9"	108	#5 9"	6'-5"	2'-8"	108	9"	3'-0"	216	4	39'-9"	106	20	39'-9"	690	5'-11"	16	14	39	0.434	87.8	0.5	55	17.8	3,567		
5'-0"	3'-0"	9"	7"	30	108	#6 9"	5'-11"	960	108	#5 9"	7'-4"	826	3'-6"	3'-9"	108	#5 9"	6'-6"	2'-8"	108	9"	3'-0"	216	4	39'-9"	106	20	39'-9"	690	5'-11"	16	14	39	0.474	88.0	0.5	55	17.8	3,585		
5'-0"	4'-0"	8"	7"	26	108	#6 9"	5'-11"	960	108	#5 9"	8'-0"	924	3'-6"	3'-9"	108	#5 9"	6'-5"	2'-8"	108	9"	3'-0"	216	4	39'-9"	106	26	39'-9"	690	5'-11"	16	14	39	0.517	92.4	0.5	55	19.3	3,752		
5'-0"	4'-0"	9"	7"	30	108	#6 9"	5'-11"	960	108	#5 9"	8'-1"	939	4'-7"	3'-9"	108	#5 9"	6'-6"	2'-8"	108	9"	4'-0"	289	4	39'-9"	106	26	39'-9"	690	5'-11"	16	14	39	0.515	92.9	0.5	55	21.1	3,771		
5'-0"	5'-0"	8"	7"	26	108	#6 9"	5'-11"	960	108	#5 9"	9'-3"	1,042	5'-6"	3'-9"	108	#5 9"	6'-5"	2'-8"	108	9"	5'-0"	361	4	39'-9"	106	30	39'-9"	797	5'-11"	16	14	39	0.521	99.7	0.5	55	21.3	4,044		
5'-0"	5'-0"	9"	7"	30	108	#6 9"	5'-11"	960	108	#5 9"	9'-4"	1,051	5'-7"	3'-9"	108	#5 9"	6'-6"	2'-8"	108	9"	5'-0"	361	4	39'-9"	106	30	39'-9"	797	5'-11"	16	14	39	0.559	100.2	0.5	55	22.8	4,062		
6'-0"	2'-0"	8"	7"	20	108	#6 9"	6'-11"	1,122	108	#5 9"	6'-7"	742	2'-6"	4'-1"	108	#5 9"	6'-9"	2'-8"	108	9"	2'-0"	144	5	39'-9"	133	25	39'-9"	664	6'-11"	18	16	45	0.440	89.1	0.5	63	18.1	3,628		
6'-0"	2'-0"	9"	7"	26	108	#6 9"	6'-11"	1,122	108	#5 9"	6'-8"	1,124	2'-7"	4'-1"	162	#5 6"	6'-10"	1,155	4'-1"	2'-9"	108	9"	2'-0"	144	5	39'-9"	133	25	39'-9"	664	6'-11"	18	16	45	0.485	108.6	0.6	63	19.9	4,407
6'-0"	2'-0"	10"	8"	30	108	#6 9"	7'-11"	1,149	162	#5 6"	6'-10"	1,155	2'-8"	4'-2"	162	#5 6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	2'-0"	110	5	39'-9"	133	25	39'-9"	664	7'-11"	19	18	50	0.557	109.9	0.5	69	22.6	4,463
6'-0"	3'-0"	8"	7"	26	108	#6 9"	6'-11"	1,122	108	#5 9"	6'-7"	1,149	2'-7"	3'-8"	162	#5 6"	6'-8"	1,183	4'-2"	2'-10"	82	12"	3'-0"	164	5	39'-9"	133	29	39'-9"	770	7'-11"	19	18	50	0.601	118.1	0.5	69	24.6	4,792
6'-0"	3'-0"	9"	7"	26	108	#6 9"	6'-11"	1,122	162	#5 6"	6'-8"	1,295	3'-7"	4'-1"	162	#5 6"	6'-10"	1,155	4'-1"	2'-9"	108	9"	3'-0"	216	5	39'-9"	133	29	39'-9"	770	6'-11"	18	16	45	0.528	117.3	0.5	63	21.6	4,754
6'-0"	3'-0"	10"	8"	30	108	#6 9"	7'-11"	1,149	162	#5 6"	6'-9"	1,324	3'-8"	4'-2"	162	#5 6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	3'-0"	164	5	39'-9"	133	29	39'-9"	770	7'-11"	19	18	50	0.601	118.1	0.5	69	24.6	4,792
6'-0"	4'-0"	8"	7"	26	108	#6 9"	6'-11"	1,122	108	#5 9"	8'-7"	967	4'-6"	4'-1"	108	#5 9"	6'-9"	760	4'-1"	2'-8"	108	9"	4'-0"	289	5	39'-9"	133	29	39'-9"	770	6'-11"	18	16	45	0.527	101.0	0.5	63	21.6	4,104
6'-0"	4'-0"	9"	7"	30	108	#6 9"	6'-11"	1,149	162	#5 6"	8'-10"	1,493	4'-8"	4'-2"	162	#5 6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	4'-0"	219	5	39'-9"	133	29	39'-9"	770	7'-11"	19	18	50	0.650	123.7	0.5	69	26.5	5,016
6'-0"	4'-0"	10"	8"	30	108	#6 9"	7'-11"	1,149	162	#5 6"	8'-11"	1,633	4'-7"	4'-1"	162	#5 6"	7'-0"	1,155	4'-1"	2'-9"	108	9"	5'-0"	361	5	39'-9"	133	33	39'-9"	876	6'-11"	18	16	45	0.591	130.9	0.5	63	29.9	5,399
6'-0"	5'-0"	8"	7"	26	108	#6 9"	6'-11"	1,122	162	#5 6"	9'-10"	1,661	5'-8"	4'-2"	162	#5 6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	5'-0"	274	5	39'-9"	133	33	39'-9"	876	7'-11"	19	18	50	0.700	131.9	0.5	69	28.5	5,345
6'-0"	5'-0"	9"	7"	26	108	#6 9"	6'-11"	1,122	108	#5 9"	10'-7"	1,192	6'-6"	4'-1"	108	#5 9"	6'-9"	760	4'-1"	2'-8"	108	9"	6'-0"	433	5	39'-9"	133	37	39'-9"	992	8'-11"	18	16	45	0.613	115.6	0.5	63	25.0	4,685
6'-0"	6'-0"	9"	7"	26	108	#6 9"	6'-11"	1,122	162	#5 6"	10'-8"	1,802	6'-7"	4'-1"	162	#5 6"	6'-10"	1,155	4'-1"	2'-9"	108	9"	6'-0"	433	5	39'-9"	133	37	39'-9"	992	6'-11"	18	16	45	0.657	140.7	0.5	63	26.8	5,690
6'-0"	6'-0"	10"	8"	30	108	#6 9"	7'-1"	1,149	162	#5 6"	10'-10"	1,830	6'-8"	4'-2"	162	#5 6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	6'-0"	329	5	39'-9"	133	37	39'-9"	992	7'-1"	19	18	50	0.749	140.2	0.5	69	30.5	5,675

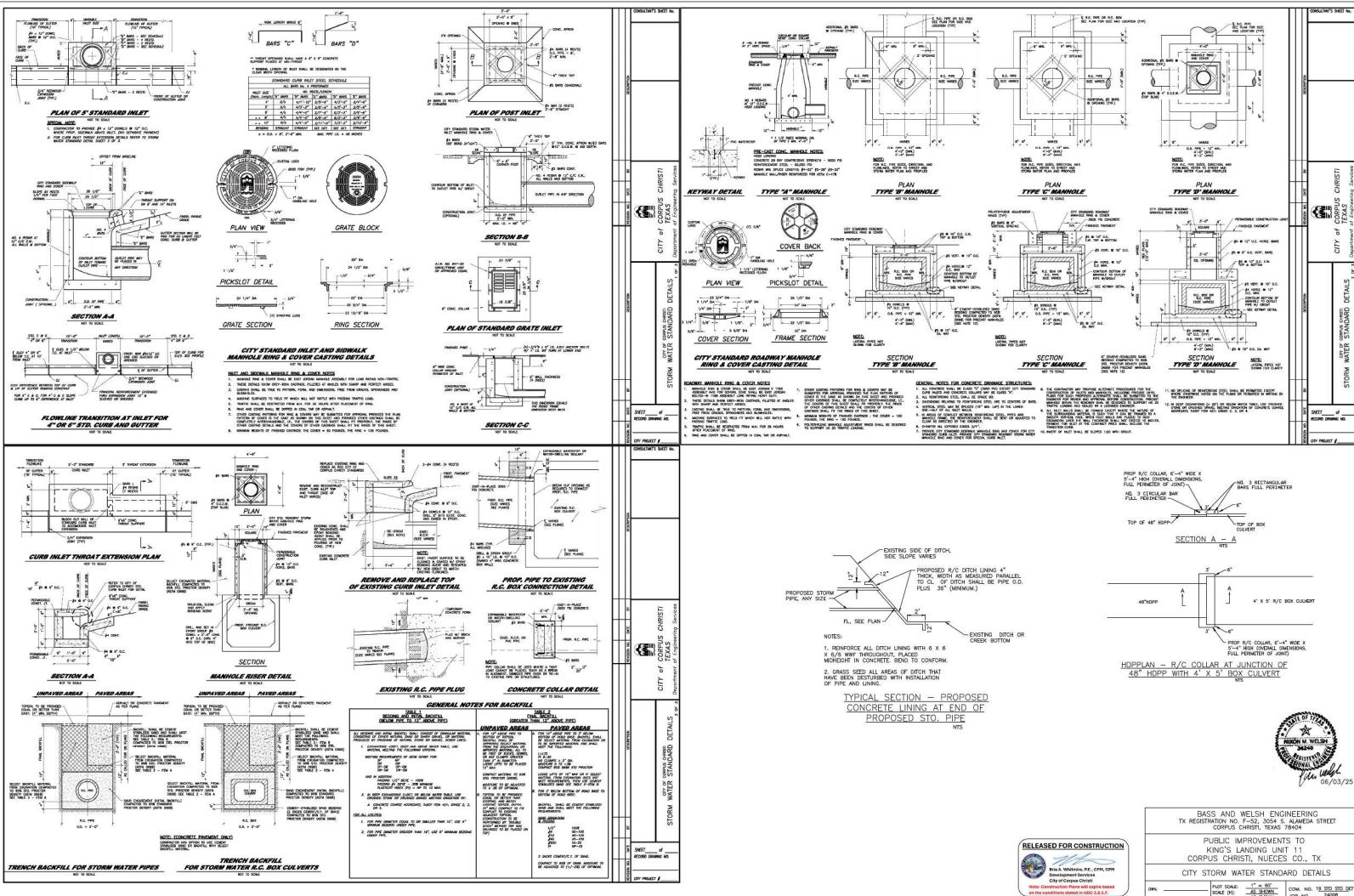
(5) For direct 10' x 10' covers (If height ≤ 2 ft.), identify the required box size and select the option with the minimum H height.

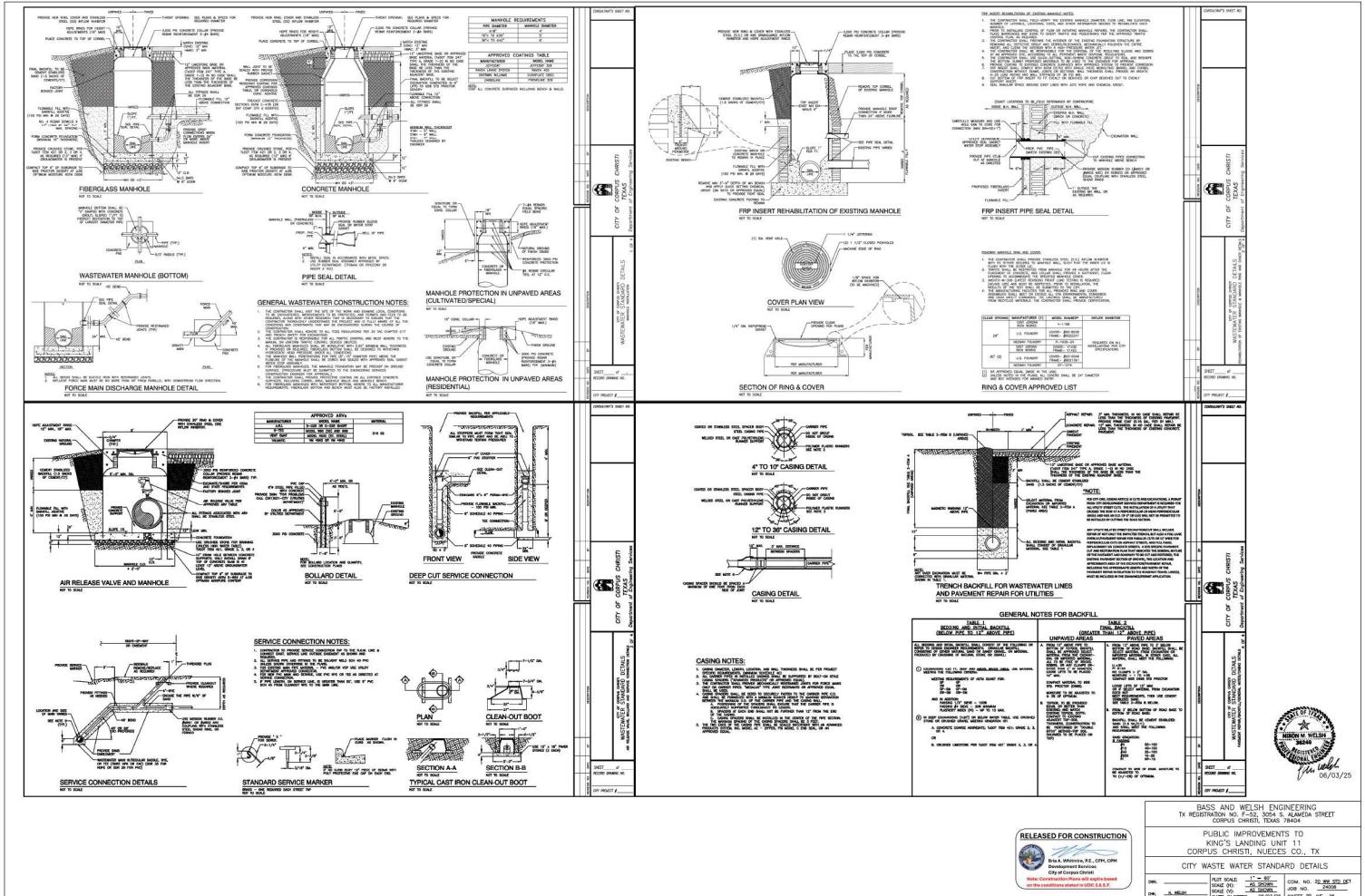
SCC-5 & 6			
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CD-SCC56-21.dwg	CD-SCC56-21.dwg	CD-SCC56-21.dwg	CD-SCC56-21.dwg
02/2007	February 2007	02/2007	02/2007
00000000000000000000000000000000	00000000000000000000000000000000	00000000000000000000000000000000	00000000000000000000000000000000
RELEASED FOR CONSTRUCTION			
Bass and Welsh Engineering			
Public Improvements to King's Landing Unit 11			
Corpus Christi, Nueces Co., TX			
1X01 Single Box Culvert Sheet 1 of 2			

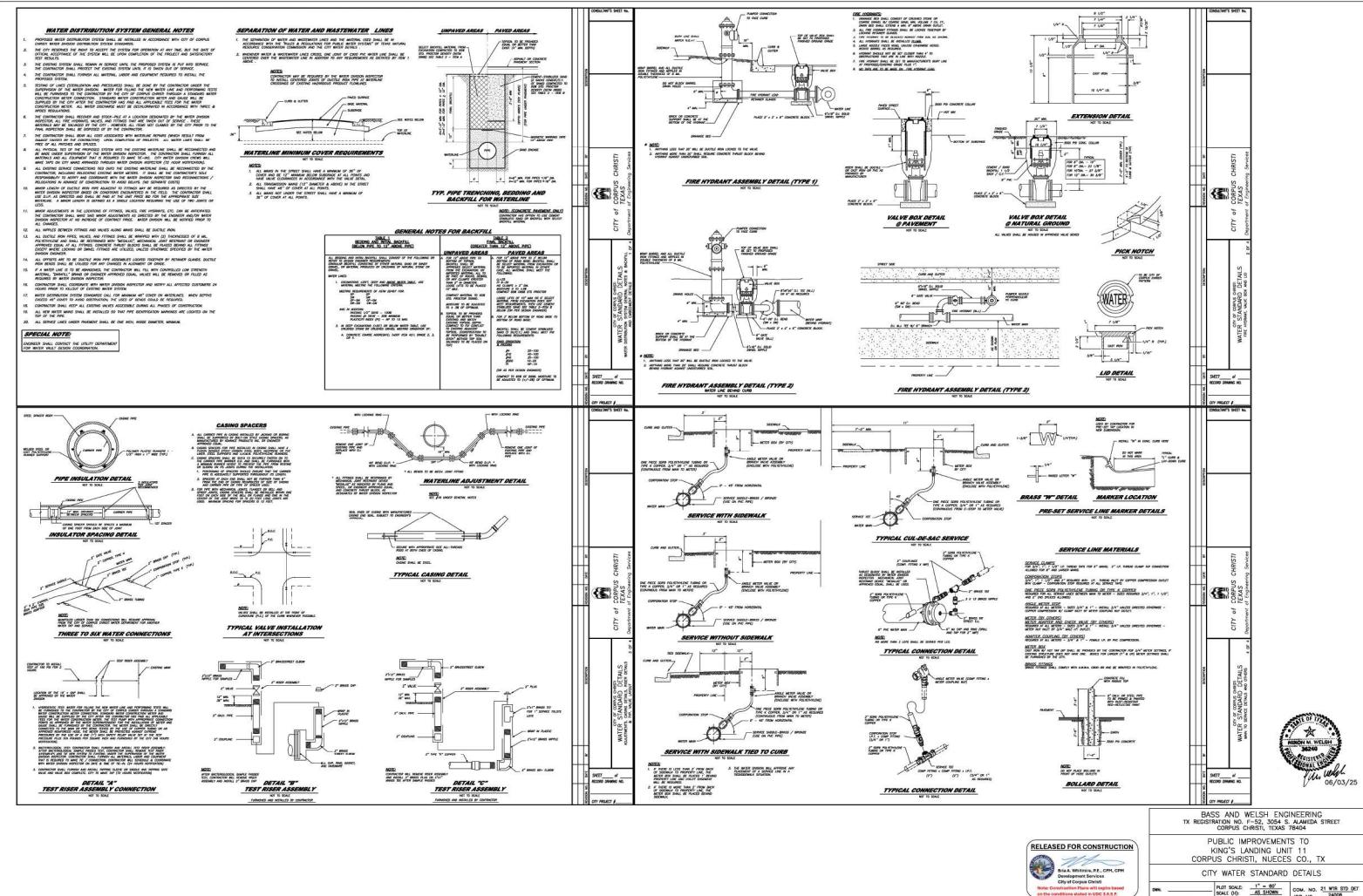


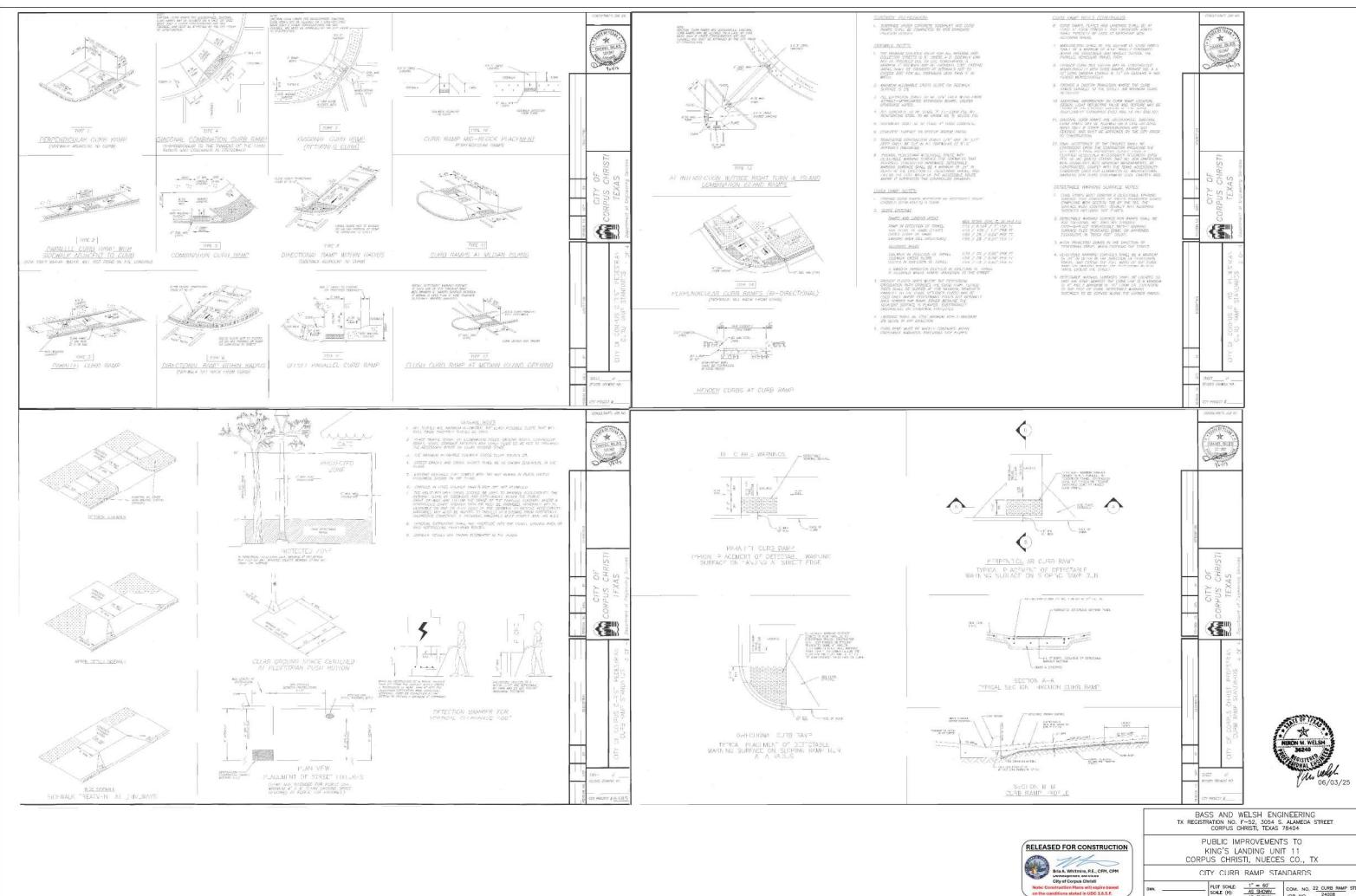
Bass and Welsh Engineering, Inc.
Public Improvements to King's Landing Unit 11
Corpus Christi, Nueces Co., TX
1X01 Single Box Culvert Sheet 1 of 2
02/2007
Bass and Welsh Engineering, Inc.
1000 N. Alameda Street
Corpus Christi, TX 78401
Phone: (361) 885-1000
Fax: (361) 885-1001
E-mail: info@baw.com
Web: www.baw.com

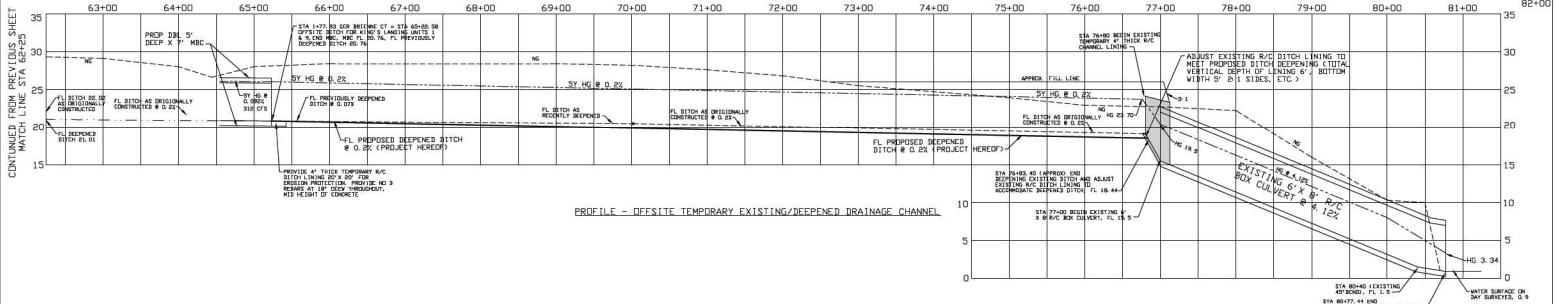
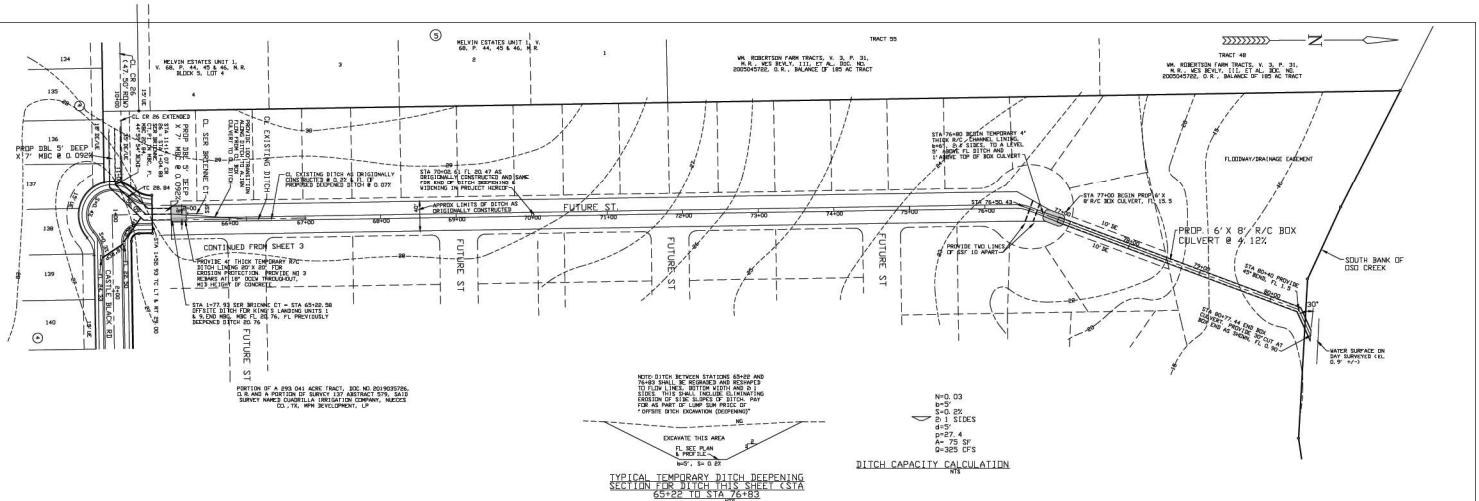
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SCALE <input type="text" value="1:200"/>	DATE <input type="text" value="02/07/2007"/>	JOB NO. <input type="text" value="1X01"/>
DATE PLOTTED <input type="text" value="02/03/2007"/>	DATE ISSUED <input type="text" value="02/07/2007"/>	SHET 1B OF 25









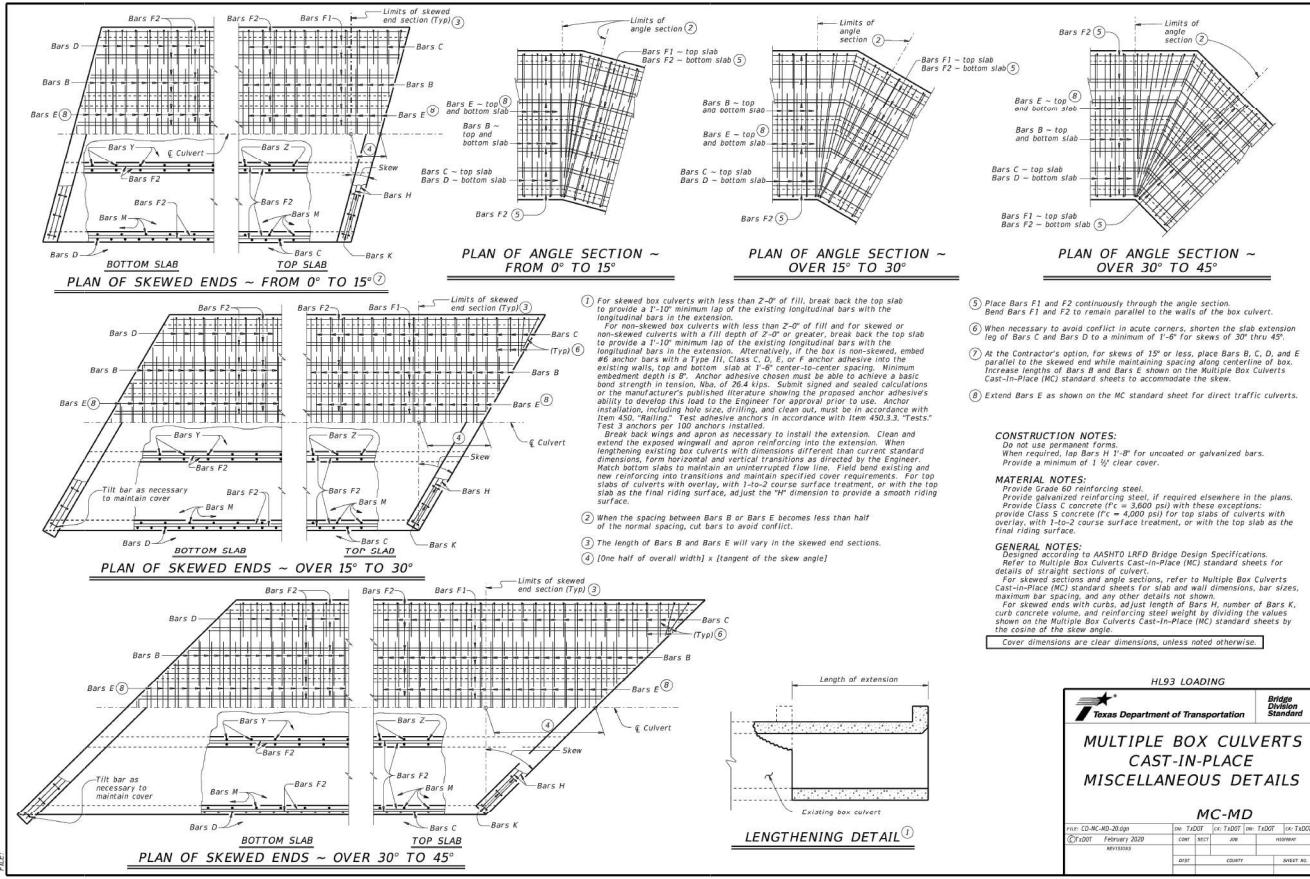




RELEASED FOR CONSTRUCTION

[Signature]

Bill A. Whiteman, P.E., CFM, CPM
Development Services
City of Corpus Christi
Note: Construction Plans will expire based
on the date of issuance or 120 days after the date of issue.



② Place Bars F1 and F2 continuously through the angle section.
Bend Bars F1 and F2 to remain parallel to the walls of the box culvert.

③ When necessary to avoid conflict in acute corners, shorten the slab extension leg of Bars C and Bars D to a minimum of 1'-0" for skews of 30° thru 45°.

④ At the Contractor's option, for skews of 15° or less, place Bars B, C, D, and E parallel to the skewed end while maintaining spacing along centerline of box. Create a separate sheet for the skewed end of the Multiple Box Culverts Cast-In-Place (MC) standard sheets to accommodate the skew.

⑤ Extend Bars E as shown on the MC standard sheet for direct traffic culverts.

CONSTRUCTION NOTES:

Do not use concrete overlays.
When required, lap Bars H 1'-0" for uncoated or galvanized bars.

Provide a minimum of 1 1/2" clear cover.

MATERIAL NOTES:

Provide Grade 60 deformed steel.
Provide required reinforcing steel.
Provide Class C concrete (f'c = 3,600 psi) with these exceptions:
provide Class S concrete (f'c = 4,000 psi) for top slabs of culverts with overlay, when using coarse surface treatments, or with the top slab as the final riding surface.

GENERAL NOTES:
Details are referred to AASHTO LRFD Bridge Design Specifications.
Refer to Multiple Box Culverts Cast-in-Place (MC) standard sheets for details on straight sections.

For skewed sections and angle sections, refer to Multiple Box Culverts Cast-in-Place (MC) standard sheets for slab and wall dimensions, bar sizes, and concrete strengths.

For skewed ends with curbs, adjust length of Bars H, number of Bars K, curb cover, and valence and reinforcing steel weight by dividing the values shown on the Multiple Box Culverts Cast-in-Place (MC) standard sheets by the cosine of the skew angle.

Cover dimensions are clear dimensions, unless noted otherwise.

BASS AND WELSH ENGINEERING TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET CORPUS CHRISTI, TX 78405	
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11 CORPUS CHRISTI, NUECES CO., TX	
TXDOT MULTIPLE BOX CULVERT MIS DETAILS	
DRAFT	1/4" = 1'-0"
DATE: 02/03/25	SCALE: 1/4"
CITY: TX	AS SHOWN
COUNTRY: TX	JOB NO. 0200-0000
CITY: TX	DATE PLOTTED: 02/03/25
COUNTRY: TX	SHEET 25 OF 25

RELEASED FOR CONSTRUCTION

[Signature]
Bob A. Welsh, R.E., CPN, OPM
Bass and Welsh Engineering
1/2025

Note: Construction Plans will begin issued
on the date indicated in CO-NC-MD.

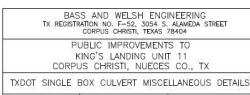
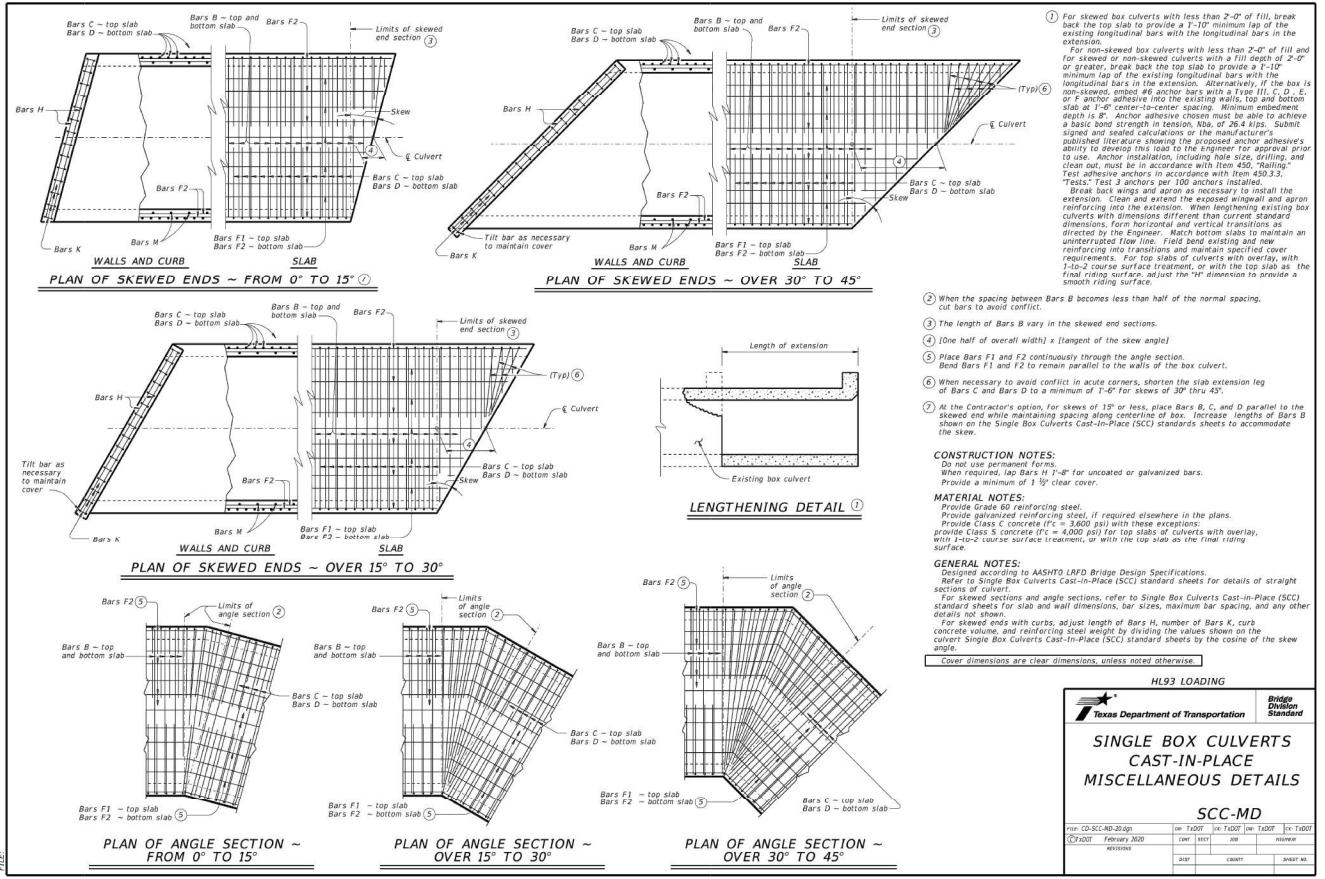


EXHIBIT 4

NIXON M. WELSH, P.E., R.P.L.S.
Email: NixMW@aol.com

BASS WELSH ENGINEERING
TX Registration No. F-52
Survey Registration No. 100027-00
P.O. Box 6397
Corpus Christi, TX 78466-6397

3054 S. Alameda St.

9/12/2025

Kings Landing Unit 11 - Cost

WATER ITEMS					
ITEM	DESCRIPTION	QUANTITY	UNIT	COST	TOTAL
1	12" PVC PIPE	2074	EA	120.00	248,880.00
2	12" CAP TAPPED FOR 2"	1	EA	2,750.00	2,750.00
3	12" CROSS	2	EA	3,750.00	7,500.00
4	12" GATE VALVE WITH BOX	4	LF	5,550.00	22,200.00
5	12" TEE	6	EA	2,250.00	13,500.00
6	12" REDUCER	3	EA	2,750.00	8,250.00
7	FIRE HYDRANTS	3	EA	8,500.00	25,500.00

SUBTOTAL \$ 328,580.00

ENGINEERING, SURVEYING, & TESTING (11%) \$ 36,143.80

CONTINGENCY (7%) 23,000.60

BOND (2%) 6,571.60

TOTAL \$ 394,296.00

EXHIBIT 5



City of
Corpus
Christi

CITY OF CORPUS CHRISTI
DISCLOSURE OF INTEREST

Corpus Christi Code § 2-349, as amended, requires all persons or firms seeking to do business with the City to provide the following information. Every question must be answered. If the question is not applicable, answer with "NA". See next page for Filing Requirements, Certification and Definitions.

COMPANY NAME: MPM Development, LP

STREET ADDRESS: 2301 Airline Rd Ste 209 **P.O. BOX:** 331308

CITY: Corpus Christi **STATE:** Texas **ZIP:** 78463

FIRM IS:

1. Corporation	<input type="checkbox"/>	2. Partnership	<input checked="" type="checkbox"/>
4. Association	<input type="checkbox"/>	5. Other	<input type="checkbox"/>

If additional space is necessary, please use the reverse side of this page or attach separate sheet.

1. State the names of each "employee" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name <hr/> <hr/> <hr/>	Job Title and City Department (if known) <hr/> <hr/> <hr/>
----------------------------------	--

2. State the names of each "official" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name <hr/> <hr/> <hr/>	Title <hr/> <hr/> <hr/>
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3. State the names of each "board member" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name <u>Mossa (Moses) Mostaghaci</u> <hr/> <hr/> <hr/>	Board, Commission or Committee <u>Capital Improvement Advisory Committee</u> <hr/> <hr/> <hr/>
---	---

4. State the names of each employee or officer of a "consultant" for the City of Corpus Christi who worked on any matter related to the subject of this contract and has an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name <hr/> <hr/> <hr/>	Consultant <hr/> <hr/> <hr/>
----------------------------------	--

FILING REQUIREMENTS

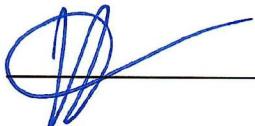
If a person who requests official action on a matter knows that the requested action will confer an economic benefit on any City official or employee that is distinguishable from the effect that the action will have on members of the public in general or a substantial segment thereof, you shall disclose that fact in a signed writing to the City official, employee or body that has been requested to act in the matter, unless the interest of the City official or employee in the matter is apparent. The disclosure shall also be made in a signed writing filed with the City Secretary. [Ethics Ordinance Section 2-349 (d)].

CERTIFICATION

I certify that all information provided is true and correct as of the date of this statement, that I have not knowingly withheld disclosure of any information requested, and that supplemental statements will be promptly submitted to the City of Corpus Christi, Texas, as changes occur.

Certifying Person: Mossa (Moses) Mostaghaci Title: General Partner

Signature of
Certifying Person:



Date: 7-30-25

DEFINITIONS

- a. "Board member." A member of any board, commission, or committee of the city, including the board of any corporation created by the city.
- b. "Economic benefit". An action that is likely to affect an economic interest if it is likely to have an effect on that interest that is distinguishable from its effect on members of the public in general or a substantial segment thereof.
- c. "Employee." Any person employed by the city, whether under civil service or not, including part-time employees and employees of any corporation created by the city.
- d. "Firm." Any entity operated for economic gain, whether professional, industrial or commercial, and whether established to produce or deal with a product or service, including but not limited to, entities operated in the form of sole proprietorship, as self-employed person, partnership, corporation, joint stock company, joint venture, receivership or trust, and entities which for purposes of taxation are treated as non-profit organizations.
- e. "Official." The Mayor, members of the City Council, City Manager, Deputy City Manager, Assistant City Managers, Department and Division Heads, and Municipal Court Judges of the City of Corpus Christi, Texas.
- f. "Ownership Interest." Legal or equitable interest, whether actually or constructively held, in a firm, including when such interest is held through an agent, trust, estate, or holding entity. "Constructively held" refers to holdings or control established through voting trusts, proxies, or special terms of venture or partnership agreements.
- g. "Consultant." Any person or firm, such as engineers and architects, hired by the City of Corpus Christi for the purpose of professional consultation and recommendation.