

WATER ARTERIAL TRANSMISSION AND GRID MAIN CONSTRUCTION AND REIMBURSEMENT AGREEMENT

This Water Arterial Transmission and Grid Main Reimbursement Agreement ("Agreement") is entered into between the City of Corpus Christi ("City"), a Texas home-rule municipality, and **MPM Development, LP**, ("Developer/Owner"), a Texas Limited Partnership.

WHEREAS, the Developer/Owner, in compliance with the City's Unified Development Code ("UDC"), has a plat, approved by the Planning Commission on **July 23, 2025** to develop a tract of land, to wit: approximately **38.07** acres known as **King's Landing Unit 11 subdivision located north of Lady Alexa Dr and Lady Claudia Street**, as shown in the attached **Exhibit 1**, the content of such exhibit being incorporated by reference into this Agreement;

WHEREAS, under the UDC, the Developer/Owner is responsible for construction of the Arterial Transmission and Grid main extension ("Water Improvements");

WHEREAS, under the UDC, the Developer/Owner is eligible for reimbursement of the Developer/Owner's costs for the construction of Water Improvements;

WHEREAS, it is in the best interests of the City to have the Water Improvements be constructed to its ultimate capacity under the City's applicable Master Plan;

WHEREAS, Section 8.5.1.C. of the UDC authorizes the acceptance of applications to be eligible for reimbursement in the future when certain funds become fully available in the Arterial Transmission and Grid Main Line Trust Fund and are appropriated by the City Council; and

WHEREAS, Developer/Owner has submitted an application for reimbursement of the costs of extending Water Improvements as shown in **Exhibit 2**, the content of such exhibit being incorporated by reference into this Agreement.

WHEREAS, the Water Arterial Transmission and Grid Main Trust Fund does not currently have sufficient funds to fully reimburse Developer/Owner for Water Improvements; and

WHEREAS, Developer/Owner may be paid when assets of the Water Arterial Transmission and Grid Main Trust Fund are sufficient, authorized for such purpose, and Developer/Owner has priority per UDC §8.5.1. C.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained in this Agreement, the parties do covenant and agree as follows:

1. TRUSTEE LIABILITY.

- a. The City is executing this agreement as trustee of the Water Trust Fund pursuant to UDC §8.5. The City is acting as trustee to further its governmental functions of providing water and sewer service. Texas Constitution Article 11, Section 3 prohibits the City from becoming a subscriber to the capital of any private corporation or association, or make any appropriation or donation to the same, or in anywise loan its credit. As such, the City's participation as Trustee does not create a loan of its credit. Execution of this agreement constitutes a promise to pay only to the extent that the assets and future assets of the trust are sufficient for such purpose and it is expressly agreed that any

judgment will only be satisfied out of the assets of the trust and not out of the City's assets. The City is excluded from personal liability.

- b. The Water Arterial Transmission and Grid Main Trust Fund was established by Ordinance No. 17092 to encouraging the orderly development of subdivisions within and surrounding the City of Corpus Christi, Texas and continues pursuant Texas Local Government Code §395.001(4)(C). The revenue generated for funding and continuation of the Water Arterial Transmission and Grid Main Trust Fund is subject to legislation of the State of Texas and the City of Corpus Christi. Nothing in this agreement guarantees neither the continuation nor future revenues of the Water Arterial Transmission and Grid Main Trust Fund. The City is not liable for modification or termination of the Water Arterial Transmission and Grid Main Trust Fund. The Developer/Owner agrees that any modification or termination of the Water Arterial Transmission and Grid Main Trust Fund is a legislative action and does not constitute a breach of trust, an act of bad faith, an intentional or reckless indifference to the interest of a beneficiary, or a profit derived by the trustee from a breach of trust.

2. PLANS AND SPECIFICATIONS

- a. Developer/Owner shall contract with a professional engineer licensed in the State of Texas and acceptable to the City's Development Services Engineer to prepare plans and specifications for the Water Improvements, as shown in the attached **Exhibit 3**, the content of such exhibit being incorporated by reference into this Agreement, with the following minimum requirements:

BASS WELSH ENGINEERING TX Registration No. F-52 Survey Registration No. 100027-00 P.O. Box 6397 Corpus Christi, TX 78466-6397 Kings Landing Unit 11 - Cost				3054 S. Alameda St.	
				9/12/2025	
WATER ITEMS					
ITEM	DESCRIPTION	QUANTITY	UNIT	COST	TOTAL
1	12" PVC PIPE	2074	EA	\$120.00	\$248,880.00
2	12" CAP TAPPED FOR 2"	1	EA	\$2,750.00	\$2,750.00
3	12" CROSS	2	EA	\$3,750.00	\$7,500.00
4	12" GATE VALVE WITH BOX	4	LF	\$5,550.00	\$22,200.00
5	12" TEE	6	EA	\$2,250.00	\$13,500.00
6	12" REDUCER	3	EA	\$2,750.00	\$8,250.00
7	FIRE HYDRANTS	3	EA	\$8,500.00	\$25,500.00
SUBTOTAL					\$328,580.00
ENGINEERING, SURVEYING, & TESTING (11%)					\$36,143.80
CONTINGENCY (7%)					\$23,000.60
BOND (2%)					\$6,571.60
TOTAL					\$394,296.00

- b. The plan must be in compliance with the City's master plans.
- c. The plans and specifications must comply with City Water Distribution Standards and Standard Specifications.

- d. Before the Developer/Owner starts construction the plans and specifications must be approved by the City's Development Services Engineer.

3. REIMBURSEMENT

- a. The cost for the Water Improvement is **\$394,296.00** Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund and the appropriation of funds, the City will reimburse the developer, the reasonable actual cost of the Water Improvements up to an amount not to exceed **\$394,296.00** as shown in the attached **Exhibit 4**, the contents of such exhibit being incorporated by reference into this Agreement.
- b. Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund per the UDC, this agreement, and the appropriation of funds, the City agrees to reimburse the Developer/Owner on a monthly basis upon invoicing for work performed. The submitted invoice shall be deemed administratively complete by the City prior to payment. The reimbursement will be made no later than 30-days from the date of the City's administrative approval of the invoice. Developer/Owner shall submit all required performance bonds and proof of required insurance under the provisions of this Agreement.
- c. Cost-supporting documentation to be submitted shall include:
 - 1. Summary of Costs and Work Performed on form provided by the Development Services Department,
 - 2. Contractor and professional services invoices detailing work performed,
 - 3. The first reimbursement request requires submittal of invoices for work performed. Future disbursements shall provide evidence of payment by the developer/owner through a cancelled check or bank ACH for the previous submittal. The final reimbursement request shall require evidence that all invoices to date have been paid.
- d. To be eligible for reimbursement, the work must be constructed in a good and workmanlike manner and must have been inspected and accepted by the City. The City agrees to conduct periodic inspections and approve the progress of the work at key points during construction.
- e. The final 5% of the total contract reimbursement amount will be held as retainage until such time the City issues acceptance of public infrastructure in accordance with Unified Development Code.
- f. In the event that this Agreement is terminated by the City at a time when there has been a partial completion and partial payment for the improvements, then the City shall only reimburse Developer/Owner for its costs that were legitimately incurred towards the completion of the improvements that have been inspected and accepted by the City up to the time that there is an uncured default by the Developer/Owner.

4. PAYMENTS, CREDITS AND DEFERRED REIMBURSEMENT.

- a. All payments, credits, priority of reimbursement, and deferred reimbursement shall be made in accordance with UDC §8.5. Developer/Owner understands and agrees

that if funds are not available in the Water Arterial Transmission and Grid Main Trust Fund, that reimbursement will not be made until such funds are available, appropriated, and Developer/Owner has priority per UDC §8.5.1. Pursuant UDC §8.5.1. C., priority is determined according to the date the reimbursement agreement is approved by the City Council.

- b. Payments will not be paid when funds are not available in the Water Arterial Transmission and Grid Main Trust Fund. Payments may be made when monies are available in and appropriated from the Water Arterial Transmission and Grid Main Trust Fund and the Developer/Owner has priority in accordance with UDC §8.5.1. C.

5. DEVELOPER/OWNER TO COMPLETE IMPROVEMENTS

Developer/Owner shall award a contract and complete the Water Improvements, under the approved plans and specifications within 24 months from the date of City Council approval of this agreement.

6. NOTICES

- a. Any notice or other communication required or permitted to be given under this Agreement must be given to the other Party in writing at the following address:

- 1. If to the Developer/Owner:

**MPM Development, LP
P.O. Box 331308
Corpus Christi, Texas 78463**

- 2. If to the City:

City of Corpus Christi
Attn: Director, Development Services Department
2406 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

with a copy to:

City of Corpus Christi
Attn: Assistant City Manager, Business Support Services
1201 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

- b. Notice may be made by United States Postal Service, First Class Mail, Certified, Return Receipt Requested, postage prepaid; by a commercial delivery service that provides proof of delivery, delivery prepaid; or by personal delivery.
- c. Either party may change the address for notices by giving notice of the change under the provisions of this section.

7. REQUIRED CONSTRUCTION

Developer/Owner shall construct the Water Improvements in compliance with the City's UDC, the City's Infrastructure Design Manual, and all local, state and federal laws, codes and regulations, in accordance with the plans and specifications submitted to the City's Development Services Department and reviewed and approved by the City's Development Services Engineer.

8. SITE IMPROVEMENTS

Prior to the start of construction of the Water Improvements, Developer/Owner shall acquire and dedicate to the City the required additional utility easements "Easements", if necessary for the completion of the Water Improvements. If any of the property needed for the Easements is owned by a third party and Developer/Owner is unable to acquire the Easements through reasonable efforts, then the City may use its powers of eminent domain to acquire the Easements. Developer will be responsible for cost of acquisition, payable from the reimbursement agreed to in this agreement.

9. PLATTING FEES

Developer/Owner shall pay to the City the required acreage fees and pro-rata fees as required by the UDC.

10. TIME IS OF THE ESSENCE. Time is of the essence in the performance of this contract.

11. PROMPT AND GOOD FAITH ACTIONS

The parties shall act promptly and in good faith in performing their duties or obligations under this Agreement. If this Agreement calls for review or inspections by the City, then the City's reviews or inspections must be completed thoroughly and promptly.

12. DEFAULT

The following events shall constitute default:

- a. Developer/Owner fails to engage a professional engineer for the preparation of plans and specifications by the 10th calendar day after the date of approval of this Agreement by the City Council.
- b. Developer/Owner's professional engineer fails to submit the plans and specifications to the City's Director of Engineering Services by the 40th calendar day after the date of approval by City Council.
- c. Developer/Owner fails to award a contract for the construction of the project, according to the approved plans and specifications, by the 70th calendar day after the date of approval by City Council.
- d. Developer/Owner's contractor does not reasonably pursue construction of the Water Improvements under the approved plans and specifications.

- e. Developer/Owner's contractor fails to complete construction of the Water Improvements, under the approved plans and specifications as provided in section 4 of this agreement.
- f. Either the City or Developer/Owner otherwise fails to comply with its duties or obligations under this Agreement.

13. NOTICE AND CURE

- a. In the event of a default by either party under this Agreement, the non-defaulting party shall deliver notice of the default, in writing, to the defaulting party stating, in detail the nature of the default and the requirements to cure such default.
- b. After delivery of the default notice, the defaulting party has 15 business days from the delivery of the default notice ("Cure Period") to cure the default.
- c. In the event the default is not cured by the defaulting party within the Cure Period, then the non-defaulting party may pursue its remedies in this section.
- d. Should Developer/Owner fail to perform any obligation or duty of this Agreement, the City shall give notice to Developer/Owner, at the address stated in section 6, of the need to perform the obligation or duty, and should Developer/Owner fail to perform the required obligation or duty within 15 days of receipt of the notice, the City may perform the obligation or duty, charging the cost of such performance to Developer/Owner by reducing the reimbursement amount due Developer/Owner.
- e. In the event of an uncured default by the Developer/Owner, after the appropriate notice and cure period, the City has all its common law remedies and the City may:
 - 1. Terminate this Agreement after the required notice and opportunity to cure the default;
 - 2. Refuse to record a related plat or issue any certificate of occupancy for any structure to be served by the project; and/or
 - 3. Perform any obligation or duty of the Developer/Owner under this agreement and charge the cost of such performance to Developer/Owner. Developer/Owner shall pay to City the reasonable and necessary cost of the performance within 30 days from the date Developer/Owner receives notice of the cost of performance. In the event that Developer/Owner pays the City under the preceding sentence, and is not otherwise in default under this Agreement, then the Agreement shall be considered in effect and no longer in default.
- f. In the event of an uncured default by the City after the appropriate notice and cure period, the Developer/Owner has all its remedies at law or equity for such default.

14. FORCE MAJEURE

- a. The term "force majeure" as employed in this Agreement means and refers to acts of God; strikes, lockouts, or other industrial disturbances; acts of public enemies; insurrections; riots; epidemic; landslides; lightning; earthquakes; fires; hurricanes; storms; floods; washouts; droughts; arrests; civil disturbances; explosions; or other causes not reasonably within the control of the party claiming the inability.
- b. If, by reason of force majeure, either party is rendered wholly or partially unable to carry out its obligations under this Agreement, then the party claiming force majeure shall give written notice of the full particulars of the force majeure to the other party within ten (10) business days after the occurrence or waive the right to claim it as a justifiable reason for delay. The obligations of the party giving the required notice, to the extent affected by the force majeure, are suspended during the continuance of the inability claimed, but for no longer period, and the party shall endeavor to remove or overcome such inability with all reasonable dispatch.

15. THIRD-PARTY BENEFICIARY

Developer/Owner's contracts with the professional engineer for the preparation of the plans and specifications for the construction of the Water Improvements contracts for testing services, and with the contractor for the construction of the Water Improvements must provide that the City is a third-party beneficiary of each contract.

16. PERFORMANCE AND PAYMENT BONDS

Developer/Owner shall, before beginning the work that is the subject of this Agreement, furnish a performance bond payable to the City of Corpus Christi if the contract is in excess of \$100,000 and a payment bond if the contract is in excess of \$50,000. Bonds furnished must meet the requirements of Texas Insurance Code 3503, Texas Government Code 2253, and all other applicable laws and regulations. The performance or payment bond must name the City as an obligee. If the Developer/Owner is not an obligor, then Developer/Owner shall be named as a joint obligee. The bond must clearly and prominently display on the bond or on an attachment to the bond:

(1) the name, mailing address, physical address, and telephone number, including the area code, of the surety company to which any notice of claim should be sent; or

(2) the toll-free telephone number maintained by the Texas Department of Insurance under Subchapter B, Chapter 521, Insurance Code, and a statement that the address of the surety company to which any notice of claim should be sent may be obtained from the Texas Department of Insurance by calling the toll-free telephone number.

17. DEDICATION OF WATER IMPROVEMENTS.

Upon completion of the construction, dedication of Water Improvements will be subject to City inspection and approval

18. WARRANTY

Developer/Owner shall fully warranty the workmanship of and function of the Water Improvements and the construction thereof for a period of one year from and after the date of acceptance of the facilities by the City's Director of Engineering Services.

19. INDEMNIFICATION

Developer/Owner covenants to fully indemnify, save and hold harmless the City of Corpus Christi, its officers, employees, and agents, ("indemnitees") against any and all liability, damage, loss, claims, demands suits and causes of action of any nature whatsoever asserted against or recovered from city on account of injury or damage to person including, without limitation on the foregoing, workers compensation and death claims, or property loss or damage of any other kind whatsoever, to the extent any injury, damage, or loss may be incident to, arise out of, be caused by, or be in any way connected with, either proximately or remotely, wholly or in part, the Developer/Owner's failure to comply with its obligations under this agreement or to provide city water service to the development, including injury, loss, or damage which arise out of or are in any manner connected with, or are claimed to arise out of or be in any manner connected with the construction, installation, existence, operation, use, maintenance, repair, restoration, or removal of the public improvements associated with the development described above, including the injury, loss or damage caused by the sole or contributory negligence of the indemnitees or any of them, regardless of whether the injury, damage, loss, violation, exercise of rights, act, or omission is caused or is claimed to be caused by the contributing or concurrent negligence of indemnitees, or any of them, but not if caused by the sole negligence of indemnitees, or any of them, unmixed with the fault of any other person or entity, and including all expenses of litigation, court costs, and attorneys fees, which arise, or are claimed to arise, out of or in connection with the asserted or recovered incident.

This indemnity specifically includes all claims, damages, and liabilities of whatever nature, foreseen or unforeseen, under any hazardous substance laws, including but not limited to the following:

(a) all fees incurred in defending any action or proceeding brought by a public or private entity and arising from the presence, containment, use, manufacture, handling, creating, storage, treatment, discharge, release or burial on the property or the transportation to or from the property of any hazardous substance. The fees for which the developer/owner shall be responsible under this subparagraph shall include but shall not be limited to the fees charged by (i) attorneys, (ii) environmental consultants, (iii) engineers, (iv) surveyors, and (v) expert witnesses.

(b) any costs incurred attributable to (i) the breach of any warranty or representation made by Developer/Owner in this agreement, or (ii) any cleanup, detoxification, remediation, or other type of response action taken with respect to any hazardous substance on or under the property regardless of whether or not that action was mandated by the federal, state or local government.

This indemnity shall survive the expiration or earlier termination of the agreement.

20. ASSIGNMENT OF AGREEMENT

This Agreement or any rights under this Agreement may not be assigned by the Developer/Owner to another without the written approval and consent of the City's City Manager.

21. DISCLOSURE OF INTERESTS

Developer/Owner agrees, in compliance with the Corpus Christi Code of Ordinance Sec. 2-349, to complete, as part of this Agreement, the Disclosure of Interests form attached hereto as **Exhibit 5**.

22. CERTIFICATE OF INTERESTED PARTIES

Developer/Owner agrees to comply with Texas Government Code section 2252.908 and complete Form 1295 Certificate of Interested Parties as part of this agreement.

Form 1295 requires disclosure of "interested parties" with respect to entities that enter contracts with cities. These interested parties include:

(1) persons with a "controlling interest" in the entity, which includes:

- a. an ownership interest or participating interest in a business entity by virtue of units, percentage, shares, stock or otherwise that exceeds 10 percent;
- b. membership on the board of directors or other governing body of a business entity of which the board or other governing body is composed of not more

- than 10 members; or
 - c. service as an officer of a business entity that has four or fewer officers, or service as one of the four officers most highly compensated by a business entity that has more than four officers.
- (2) a person who actively participates in facilitating a contract or negotiating the terms of a contract with a governmental entity or state agency, including a broker, intermediary, adviser or attorney for the business entity.

Form 1295 must be electronically filed with the Texas Ethics Commission at https://www.ethics.state.tx.us/whatsnew/elf_info_form1295.htm. The form must then be printed, signed, notarized and filed with the City. For more information, please review the Texas Ethics Commission Rules at <https://www.ethics.state.tx.us/legal/ch46.html>.

23. CONFLICT OF INTEREST.

Developer/Owner agrees to comply with Chapter 176 of the Texas Local Government Code and file Form CIQ with the City Secretary's Office, if required. For more information and to determine if you need to file a Form CIQ, please review the information on the City Secretary's website at <http://www.cctexas.com/government/city-secretary/conflict-disclosure/index>

24. AUTHORITY.

All signatories signing this Agreement warrant and guarantee that they have the authority to act on behalf of the entity represented and make this Agreement binding and enforceable by their signature.

25. EFFECTIVE DATE

This Agreement shall be executed in one original, which shall be considered one instrument. *This Agreement becomes effective and is binding upon, and inures to the benefit of the City and Developer/Owner from and after the date that all original copies have been executed by all signatories.

Remainder of page intentionally left blank; signature page to follow.

EXECUTED IN ONE ORIGINAL this _____ day of _____, 20____.

ATTEST:

CITY OF CORPUS CHRISTI

Rebecca Huerta
City Secretary

Michael Dice
Director of Development Services

APPROVED AS TO LEGAL FORM:

Buck Brice (Date)
Deputy City Attorney
For City Attorney

DEVELOPER/OWNER:

MPM Development, LP
P.O. Box 331308
Corpus Christi, Texas 78463

By:

Moses Mostaghani
General Partner

STATE OF TEXAS §
 §
COUNTY OF _____ §

This instrument was acknowledged before me on _____, 20____, by
Moses Mostaghani, General Partner of MPM Development, on behalf of said company.

Notary Public's Signature

EXHIBIT 1

STATE OF TEXAS §
COUNTY OF NUECES §
WE, MPM DEVELOPMENT, LP, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LAND
EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING PLAT, SUBJECT TO A LIEN IN FAVOR
OF § THAT WE HAVE HAD SAID LAND SURVEYED AND SUBDIVIDED
AS SHOWN, THAT STREETS AND EASEMENTS AS SHOWN HAVE BEEN HERETOFORE DEDICATED,
OR IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE, FOREVER
AND THAT THIS PLAT WAS MADE FOR THE PURPOSES OF DESCRIPTION AND DEDICATION.

THIS THE ____ DAY OF _____, 20____.

MOSSA MOSTAGHASI, GENERAL PARTNER

STATE OF TEXAS §
COUNTY OF NUECES §
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MOSSA MOSTAGHASI, GENERAL
PARTNER OF MPM DEVELOPMENT, LP.

THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

STATE OF TEXAS §
COUNTY OF NUECES §
I, NIXON M. WELSH, REGISTERED PROFESSIONAL LAND SURVEYOR OF BASS & WELSH
ENGINEERING, HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A
SURVEY MADE ON THE GROUND UNDER MY DIRECTION.

THIS THE ____ DAY OF _____, 20____.

NIXON M. WELSH, RPLS NO. 2211

STATE OF TEXAS §
COUNTY OF NUECES §
WE, § (NAME), HEREBY CERTIFY THAT WE ARE THE HOLDERS OF
A LIEN ON THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING MAP AND THAT
WE APPROVE THE SUBDIVISION AND DEDICATION FOR THE PURPOSES AND CONSIDERATIONS
THEREON EXPRESSED.

BY: _____

TITLE: _____

STATE OF TEXAS §
COUNTY OF NUECES §
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY § (NAME),
§ (TITLE), OF _____

THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, IN AND FOR
THE STATE OF TEXAS

PLAT OF
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES COUNTY, TEXAS

A 38.072 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF A 293.041
ACRE TRACT, DOC. NO. 2019025726, D.R. AND A PORTION OF A 130.570 ACRE
TRACT, DOC. NO. 2019051482, D.R.; SAID 38.072 ACRE TRACT BEING A
PORTION OF SURVEY 137, ABSTRACT 579 AND SURVEY 139, ABSTRACT 577,
SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX.

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING
REG. NO. F-52, 3054 S. ALAMEDA STREET,
CORPUS CHRISTI, TEXAS 78404

DATE PLATTED: 06/19/25
COMP. NO. PLAT-SHL
JOB NO. 24008
SCALE: 1" = 60'
PLOT SCALE: SAME
SHEET 1 OF 3

STATE OF TEXAS §
COUNTY OF NUECES §
THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE
DEPARTMENT OF DEVELOPMENT SERVICES OF THE CITY OF CORPUS CHRISTI, TEXAS

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

DATE _____

STATE OF TEXAS §
COUNTY OF NUECES §
THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF
THE CITY OF CORPUS CHRISTI, TEXAS, BY THE PLANNING COMMISSION.

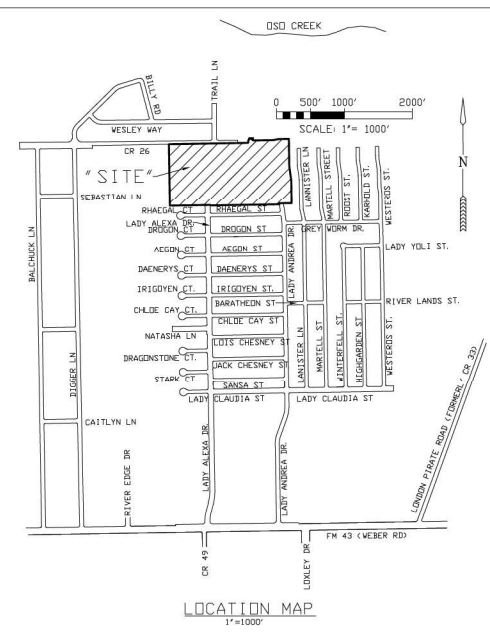
THIS THE ____ DAY OF _____, 20____.

CHAIRMAN
MICHAEL YORK

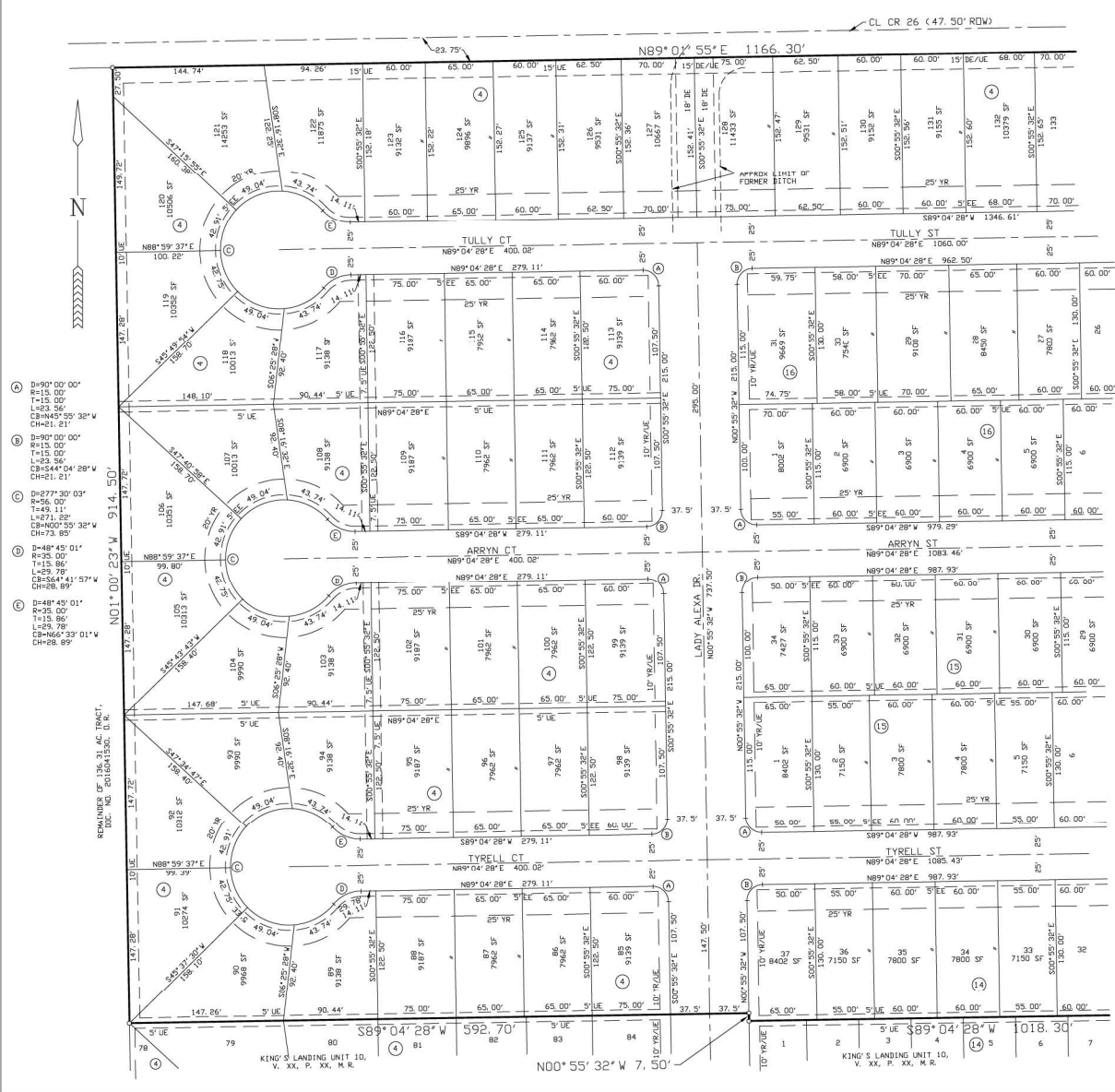
SECRETARY
MICHAEL DICE

STATE OF TEXAS §
COUNTY OF NUECES §
I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR SAID COUNTY,
DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE ____
DAY OF _____, 20____, WITH ITS CERTIFICATE OF
AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE THE ____ DAY
OF _____, 20____, AT ____ O'CLOCK ____ M.,
AND DULY RECORDED THE ____ DAY OF _____, 20____, AT
____ O'CLOCK ____ M. IN THE MAP RECORDS OF SAID COUNTY IN
VOLUME ____ PAGE ____ INSTRUMENT NUMBER ____ WITNESS
MY HAND AND SEAL OF THE COUNTY COURT IN AND FOR SAID COUNTY AT
OFFICE IN CORPUS CHRISTI, NUECES COUNTY, TEXAS, THE DAY AND YEAR
LAST WRITTEN.

BY: _____
DEPUTY KARA SANDS, CLERK
COUNTY COURT
NUECES COUNTY, TEXAS



- LEGEND:**
- DE DRAINAGE EASEMENT
 - D.R. DEED RECORDS, NUECES CO., TX
 - M.R. MAP RECORDS, NUECES CO., TX
 - O.R. OFFICIAL RECORDS, NUECES CO., TX
 - UE UTILITY EASEMENT
- NOTES**
- SET 5/8" IRON RODS WHERE POSSIBLE AT ALL LOT CORNERS; WHERE NOT POSSIBLE TO SET 5/8" IRON RODS, SET NAILS OR CHISEL MARKS AT LOT CORNERS IF POSSIBLE. ALL IRON RODS SET CONTAIN PLASTIC CAPS LABELED BASS AND WELSH ENGINEERING.
 - THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCD HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE FISH HAY. THE TCD HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
 - THE BASIS OF BEARINGS IS THE STATE OF TEXAS LAMBERT GRID, SOUTH ZONE, NAD 1983.
 - THE ENTIRE SUBJECT SITE IS IN FEMA ZONE X; OTHER AREAS AND FEMA ZONE X OTHER FLOOD AREAS AS SHOWN, MAP NO. 48355C0050 (10/13/2022).
 - LEGAL DESCRIPTION: A 38.072 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019025726, D.R. AND A PORTION OF A 130.570 ACRE TRACT, DOC. NO. 2019051482, D.R.; SAID 38.072 ACRE TRACT BEING A PORTION OF SURVEY 137, ABSTRACT 579 AND SURVEY 139, ABSTRACT 577, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX.
 - THE TOTAL PLATTED AREA CONTAINS 38.072 ACRES OF LAND INCLUDING STREET DEDICATIONS.
 - THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
 - ALL DRIVEWAYS TO RESIDENTIAL AND COLLECTOR PUBLIC STREETS WITHIN THE SUBDIVISION SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS OUTLINED IN ARTICLE 7 OF THE UDC.



CONTINUED ON FOLLOWING SHEET

CONTINUED ON FOLLOWING SHEET

CONTINUED ON FOLLOWING SHEET

PLAT OF
KING'S LANDING UNIT 11
CORPUS CHRISTI,
NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING
REG. NO. F-32, 3024 N. ALAMOSA STREET,
CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 6/19/25
COMP. NO. PLAT-5172
JOB NO. 24008
SCALE: 1" = 60'
PLAT SCALE: SAME
SHEET 2 OF 3

CONTINUED FROM PREVIOUS SHEET

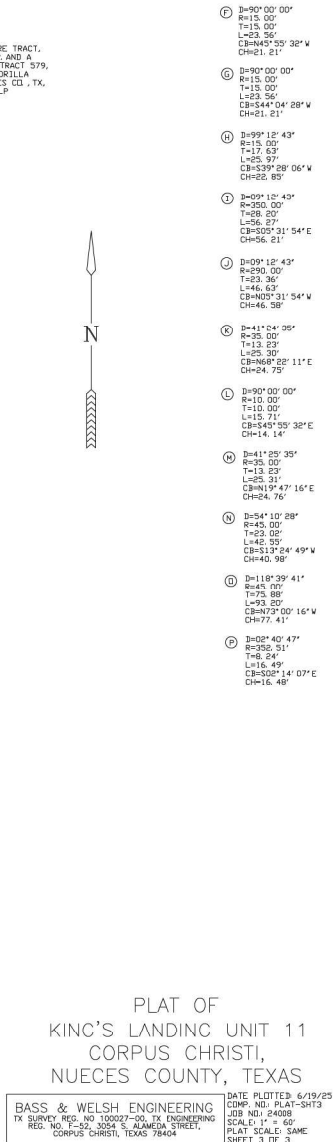


EXHIBIT 2



Reimbursement Agreement Application



2406 Leopard St. Corpus Christi, TX 78408 | Phone: 361.826.3240 | Fax: 361.826.4375 | contractsandagreements@cctexas.com

Date of Application: 7-30-25

Approved Plat Name: Kings Landing Unit 11

Public Improvements Deferred:

Approved Public Improvement Plans: Y ☒ N ☐

Cost Estimate for Deferred Public Improvements: \$ 363,696.00

Ownership and authorized signatories to enter into the agreement:

Contact Information

Name: Mossa (Moses) Mostaghassi

E-mail address: mothe99@aol.com

Phone Number: 361-774-3832

Preferred Method of Contact: Email ☒ Phone ☐ Other ☐

If other, provide detail:

Company Name entering into the agreement: MPM Development, LP

Company Address: PO Box 331308 Corpus Christi, TX 78463

General Partner

Applicant's Signature & Title

Submit Application Electronically to: contractsandagreements@cctexas.com

Mail to:
Development Services
Attn: Business Manager
2406 Leopard St. Suite 100
Corpus Christi, Texas 78408

EXHIBIT 3

As stated upon the approval of Units 7, 9, 10 and now 11, the Developer shall agree to show storm water detention requirements are satisfied for all future Units of the King's Landing development and include volume retroactively for Units 7, 9, 10 and 11. A Storm Water Quality Management Plan (SWQMP) shall be prepared to City's standards and submitted to document the ultimate detention requirements are met with calculations to support the computations.



DEVELOPER:
MOSES MOSTAGHASI
P.O. BOX 331308, CORPUS CHRISTI,
TEXAS 78463. 774-3832

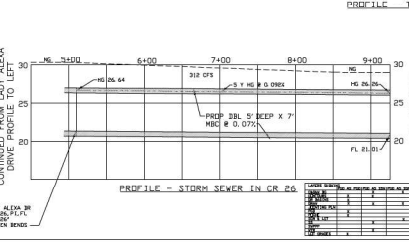
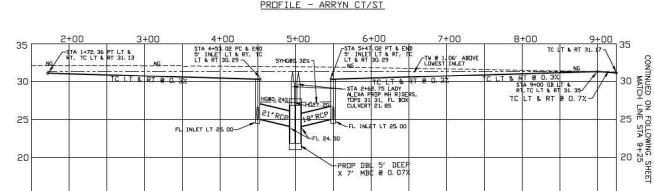
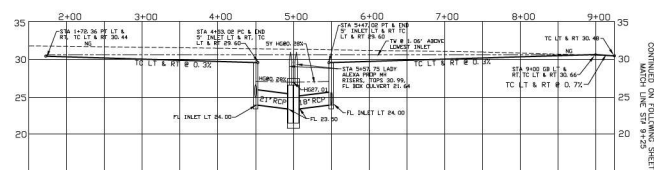
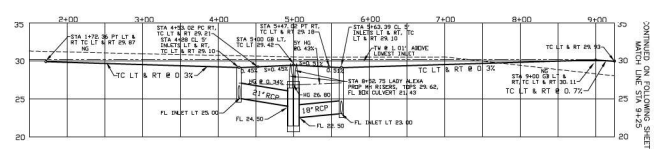
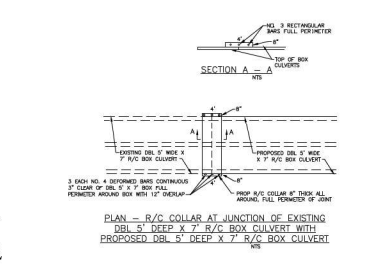
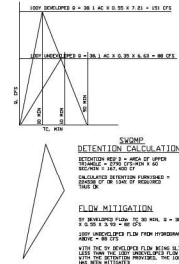
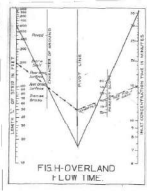
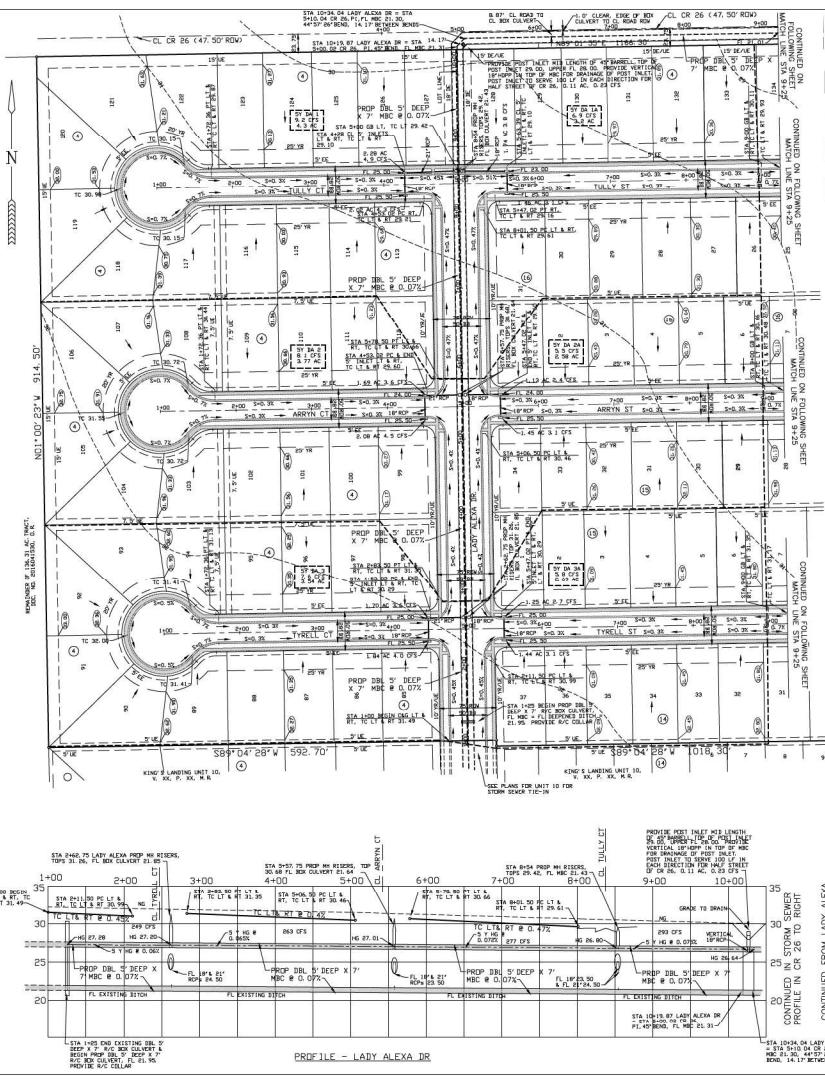
<p align="center">BASS AND WELSH ENGINEERING TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET CORPUS CHRISTI, TEXAS 78404</p>			
<p align="center">PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11 CORPUS CHRISTI, NUECES CO., TX</p>			
<p align="center">COVER SHEET AND MISCELLANEOUS INFORMATION</p>			
DWG. _____ CDR. <u>W. WELSH</u>	PLOT SCALE: SCALE (S): AS SHOWN AS SHOWN	CONE. NO. _____ JOB NO. <u>24036</u>	CSDWG. _____ 24036



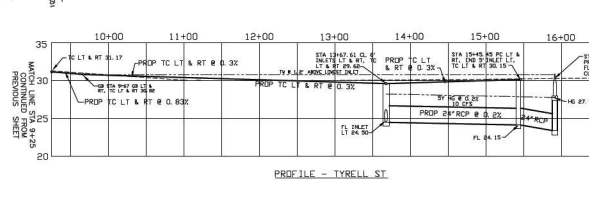
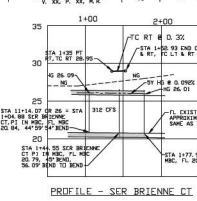
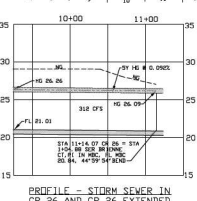
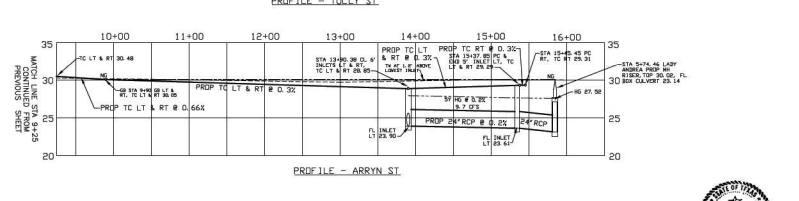
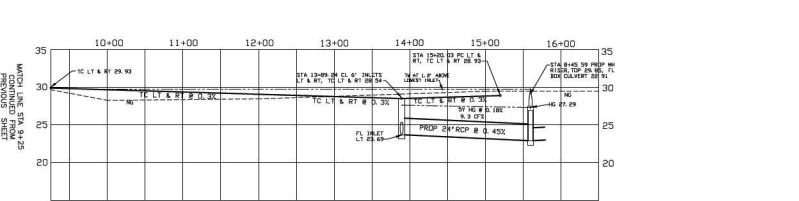
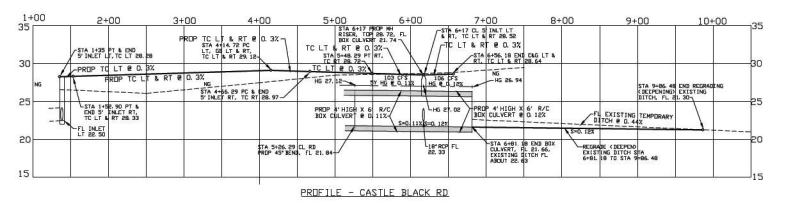
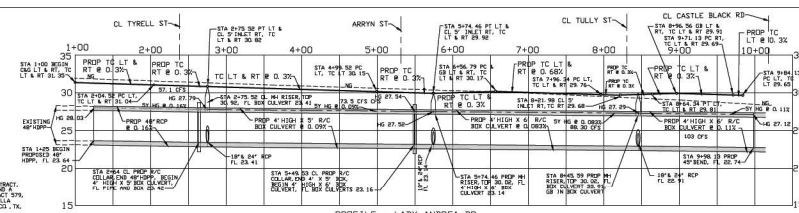
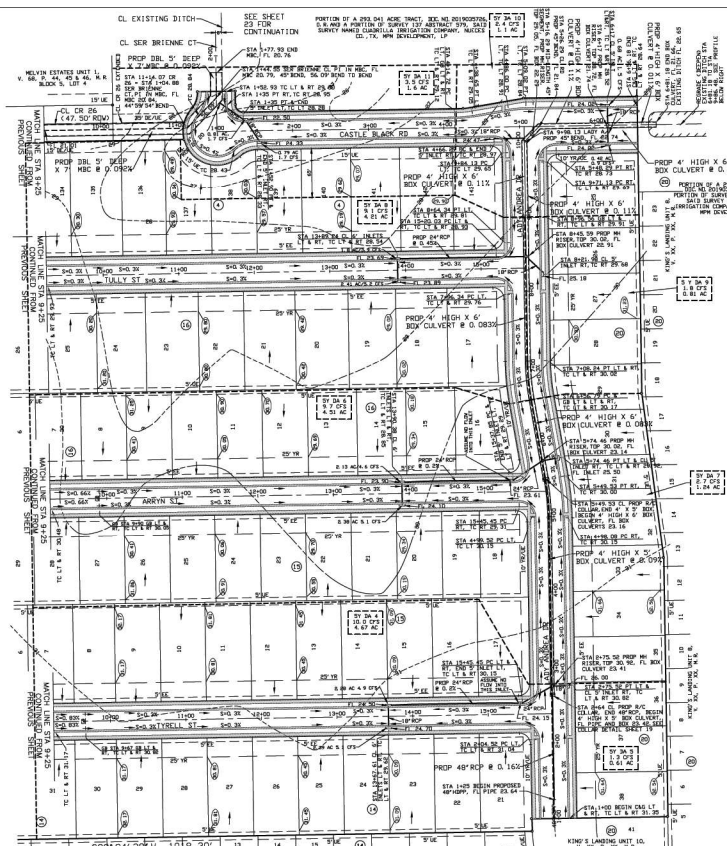
87-1206

13. ALL CONSTRUCTION PROCEDURES LISTING PROCEDURES AND CONSTRUCTION MATERIALS AND APPURTENANCES SHALL ADHERE TO AND BE IN COMPLIANCE WITH THE LATEST REVISIONS OF THE CITY OF CHICAGO CIVIL INFRASTRUCTURE DESIGN MANUAL, UNIFIED DEVELOPMENT CODE, CODE OF ORDINANCES, TCDL AND ANY OTHER LOCAL, STATE AND FEDERAL CODE OF JURISDICTION OF THIS PROJECT FOR THE DURATION OF THE PROJECT.

14. THESE PLANS HAVE BEEN DEVELOPED AND ENGINEERED TO MEET ALL LOCAL, STATE AND FEDERAL CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITION OF THE ENR CODE OF ORDINANCES CODE, ICC, TCDL TO THE BEST OF THE CERT'S KNOWLEDGE AT THE TIME OF SIGNING AND SEALING. THESE PLANS HAVE ALSO BEEN THOROUGHLY REVIEWED BY CITY ENGINEERS.



PROFILE - LADY ALEXA DR



RELEASED FOR CONSTRUCTION

BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. 7-363, 3004 N. AMERICA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11
 CORPUS CHRISTI, NUECES CO., TX

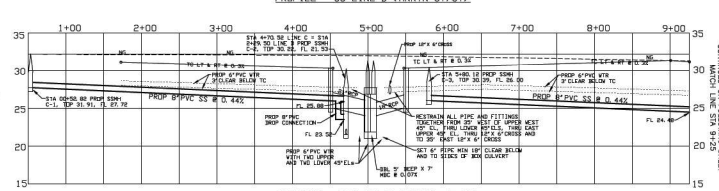
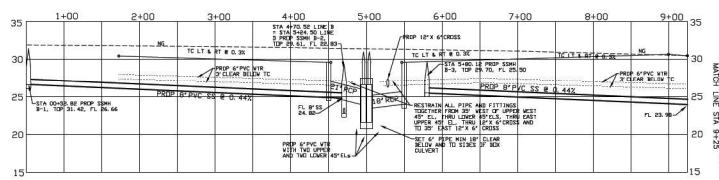
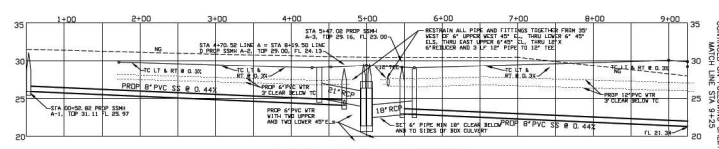
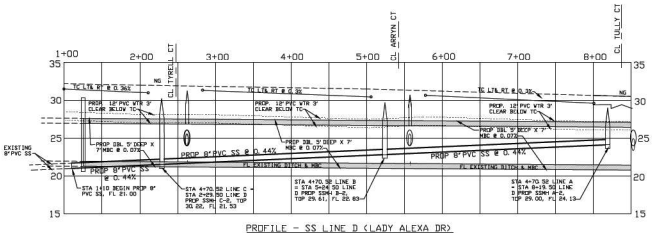
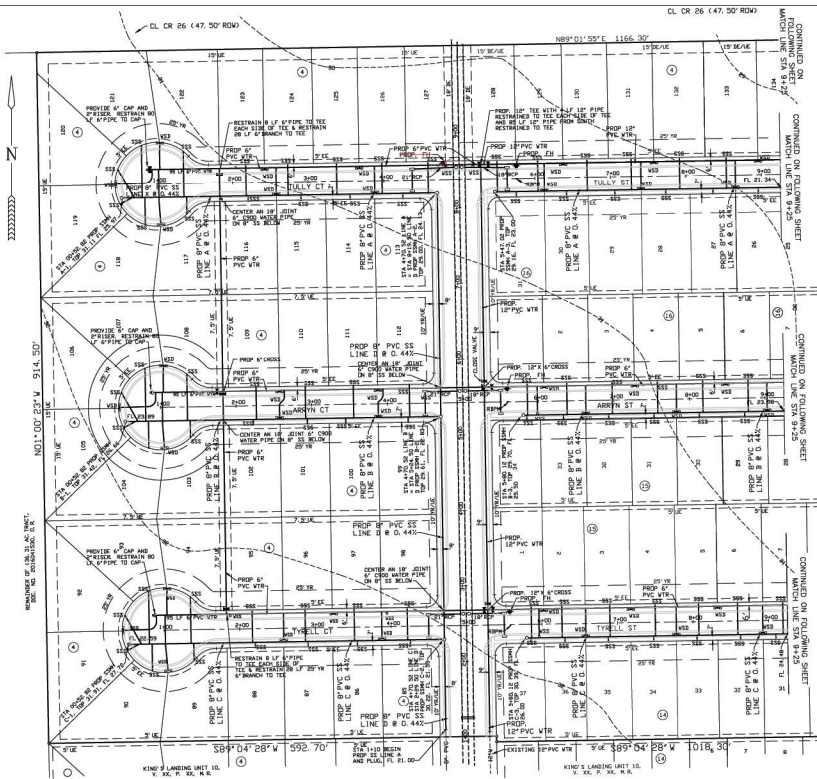
PAVING, GRADING AND DRAINAGE PLAN AND PROFILE

DATE: 02/20/2012

SCALE: 1" = 40'

DATE PLOTTED: 02/20/2012

PROJECT: 22 OF 25

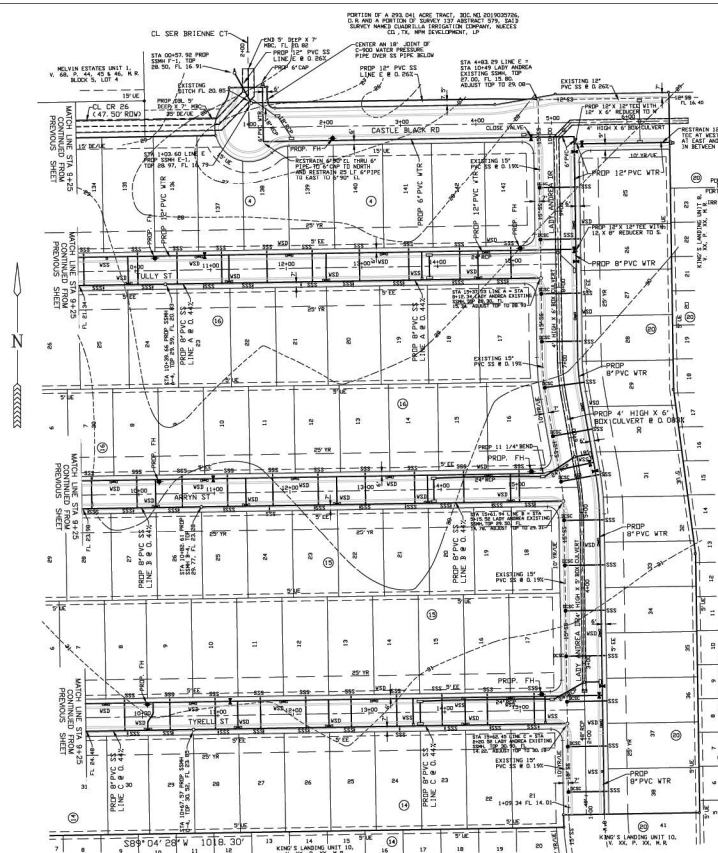


RELEASED FOR CONSTRUCTION

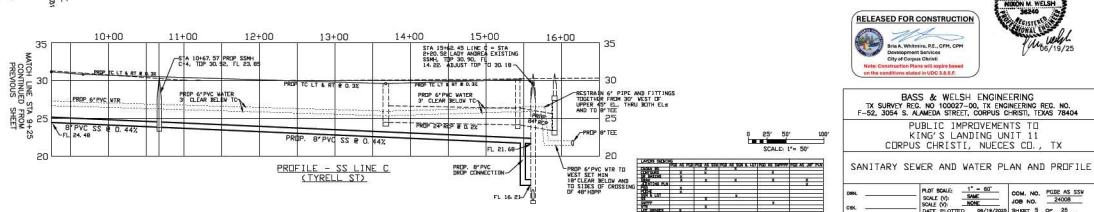
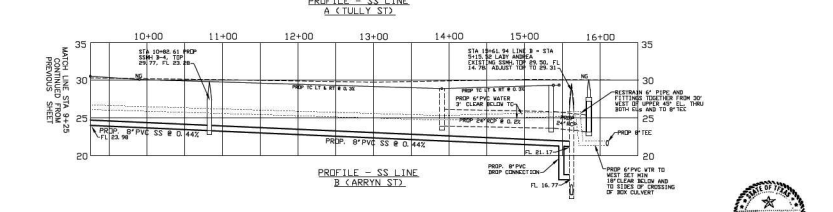
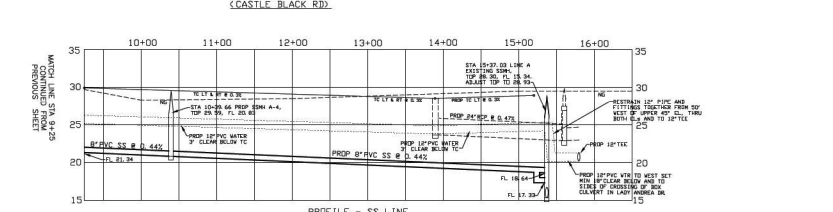
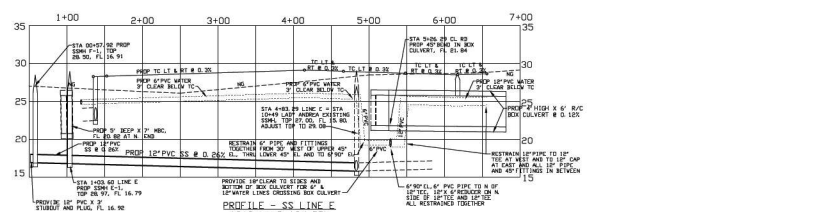
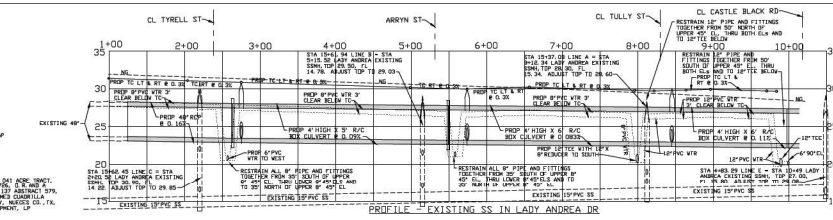


BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. 1-55, 3054 S. ALAMOSA STREET, CORPUS CHRISTI, TEXAS 78404
 PUBLIC IMPROVEMENTS TO
 KING'S LANDING UNIT 11
 CORPUS CHRISTI, NUECES CO., TX
 SANITARY SEWER AND
 WATER PLAN AND PROFILE
 DATE: 01/19/25
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 01/19/25

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR CONSTRUCTION	01/19/25	[Signature]	[Signature]
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			



WATCH LINE STA 9+25
PREVIOUS SHEET



RELEASED FOR CONSTRUCTION

City of Corpus Christi
Sanitary Sewer and Water Division

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. 1-001, 3004 S. AMERICA STREET, CORPUS CHRISTI, TEXAS 78408

PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX

SANITARY SEWER AND WATER PLAN AND PROFILE

DATE: 01/14/2020
BY: [Signature]
CHECKED: [Signature]
SCALE: 1" = 40'

50' 100'
1" = 50'

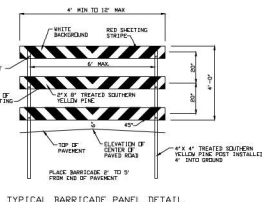
W. J. [Signature]
07/09/20

BASS & WELSH ENGINEERING
TX SURVEY REG. NO 100027-00, TX ENGINEERING REG. NO
F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX

STREET SIGN AND LIGHT POLE PLAN
ESTIMATE SUMMARY AND BARRICADE DATA

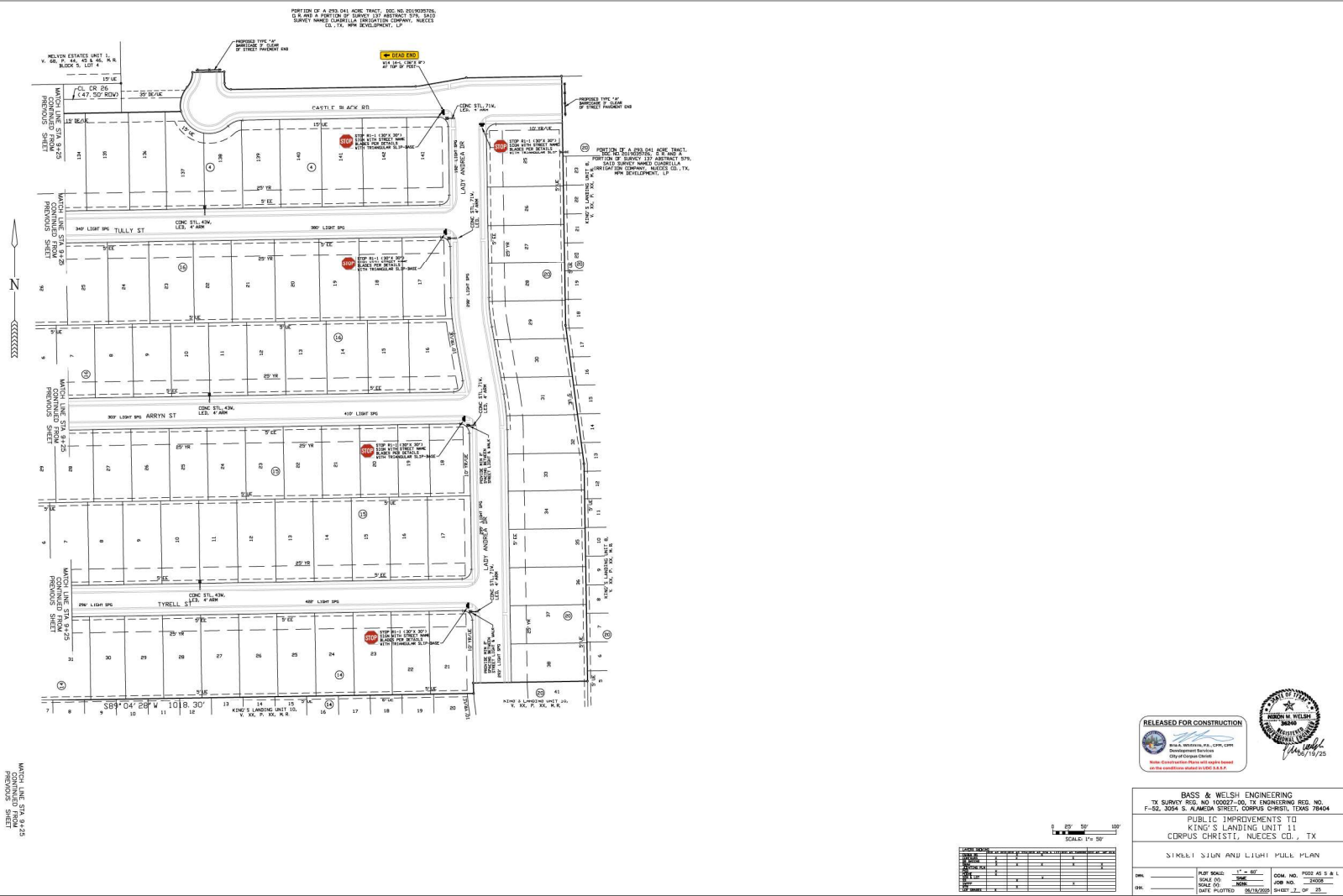
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SCALE 00: 50'	SCALE 00: 50'	JOB NO. 2400
DATE: 07/09/20	DATE: 07/09/20	SHEET 3 OF 25



- [illegible]

LAWYER'S NAME	FBI AG FIVE	FBI AG SIX	FBI AG SEVEN & EIGHT	FBI AG NINE
TAMARA B.	X	X		
JOE MATHIAS	X			X
JOHN MATHIAS	X	X	X	X
JANET L. PAX				X
JOE C.	X			
JOHN R. LAY		X	X	
THOMAS		X		X
PAT		X		
IAN SPENCER	X			

STREET SIGN AND LIGHT POLE PLAN ESTIMATE SUMMARY AND BARRICADE DATA		
OWN. _____	PLOT SCALE: 1" = 80'	COM. NO. P001 AS
	SCALE (V): <u>SMALL</u>	JOB NO. 2400
CHE. _____	SCALE (V): <u>NONE</u>	
	DATE PLOTTED 07/28/2025	SHEET 6 OF 25



WATCH LINE STA 9+25
PREVIOUS SHEET



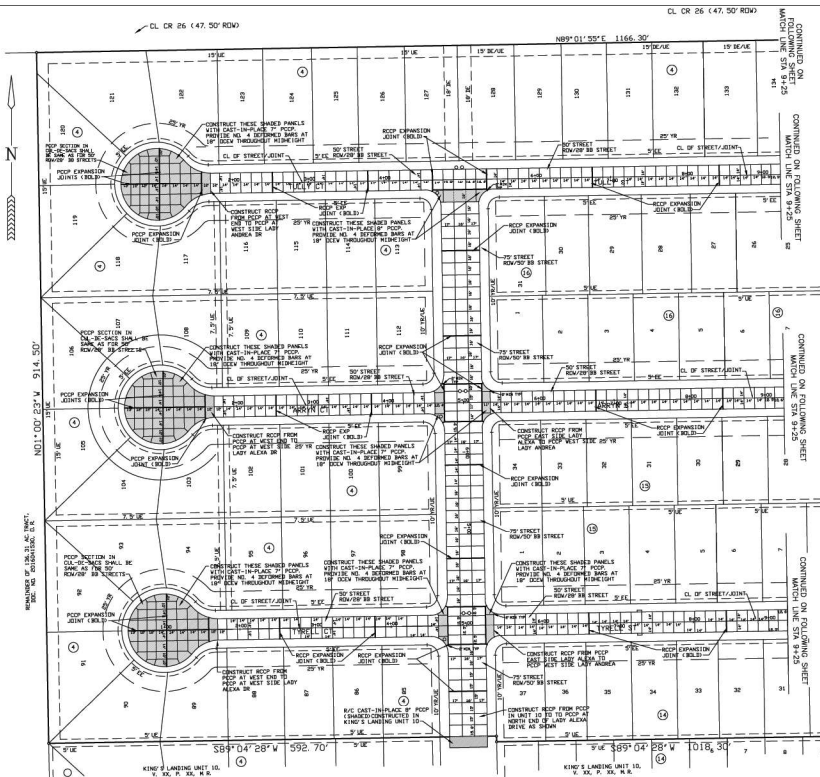
BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-255, 3504 S. AMEREN STREET, CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX

SHEET: SIGN AND LIGHT PLAN

1" = 80'
SCALE: 1" = 80'

DATE	BY	CHKD	APPD
10/25/2020	DW	DW	DW
10/25/2020	DW	DW	DW
10/25/2020	DW	DW	DW
10/25/2020	DW	DW	DW

PLAN SCALE: 1" = 80'
DATE PLOTTED: 10/25/2020
SHEET: 2 OF 25



NOTE: LONGITUDINAL AND TRANSVERSE LINES IN STREETS AS SHOWN ARE JOINTS



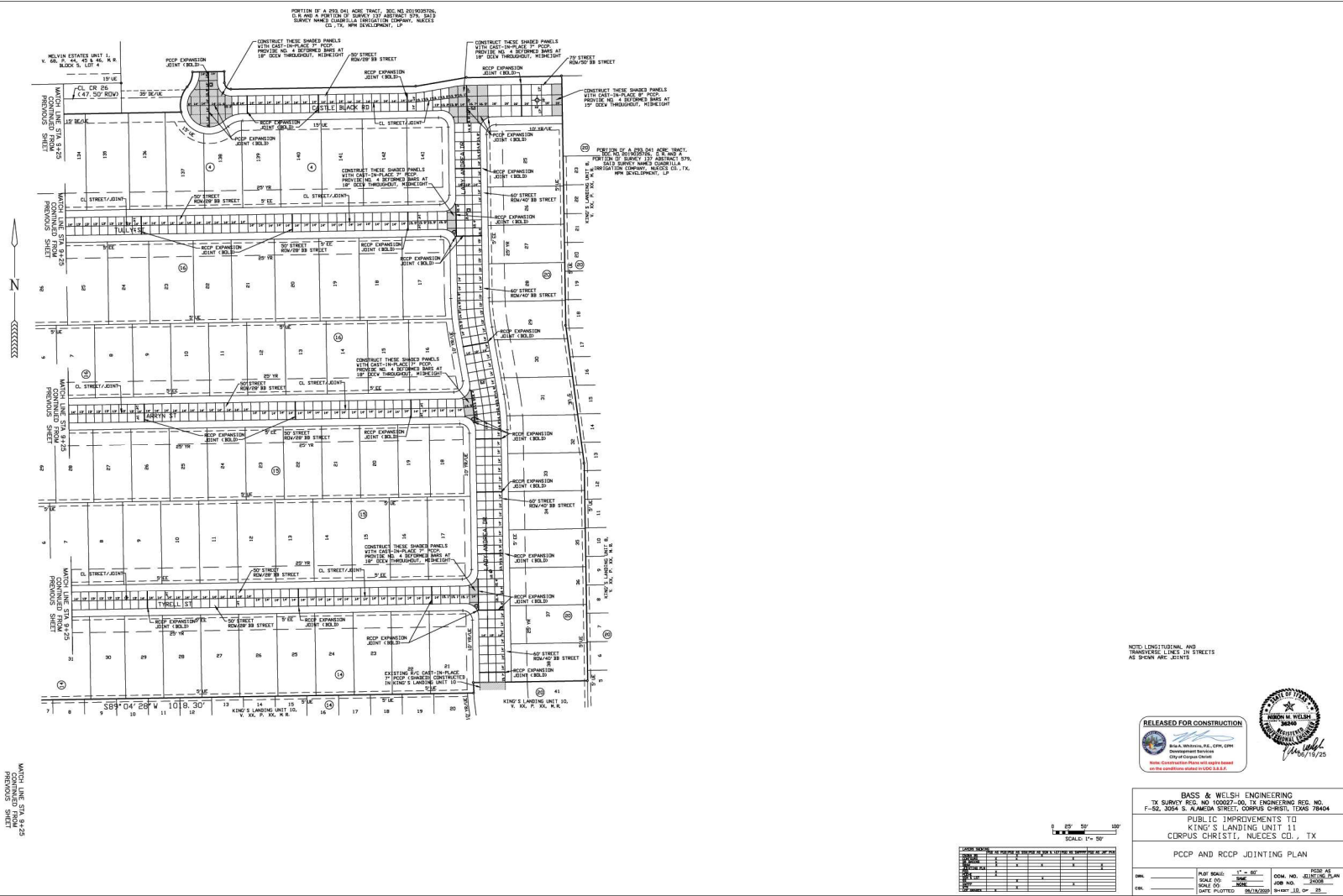
0 25' 50' 100'
SCALE: 1" = 50'

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. 1-55, 3054 S. ALAMOSA STREET, CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX

PCDP AND RCDP JOINTING PLAN

DATE	BY	CHKD.	APP'D.
04/19/25	J. WELSH	J. WELSH	J. WELSH
04/19/25	J. WELSH	J. WELSH	J. WELSH
04/19/25	J. WELSH	J. WELSH	J. WELSH

DATE: 04/19/25
SCALE: 1" = 50'
JOB NO.: 24028
SHEET: 3 OF 25



NOTE: LONGITUDINAL AND TRANSVERSE LINES IN STREETS AS SHOWN ARE JOINTS



RELEASED FOR CONSTRUCTION
BASS & WELSH ENGINEERING, P.C.
Development Engineer
City of Corpus Christi
Note: Construction Plans and Specifications are the responsibility of the City of Corpus Christi.

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-262, 3504 S. AMERICA STREET, CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX

PCPP AND RCPP JOINTING PLAN

DATE: 11/14/2019
BY: [Signature]
CHECKED: [Signature]
DATE: 11/14/2019
BY: [Signature]

KEY TO SCALE

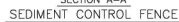
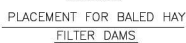
WEIGHTED RUNOFF COEFFICIENT (AFTER CONSTRUCTION): 551

NAME OF RECEIVING WATER: OSO CREEK

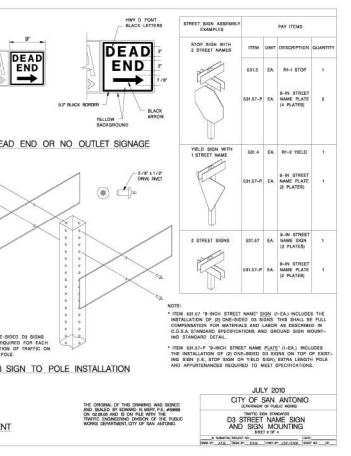
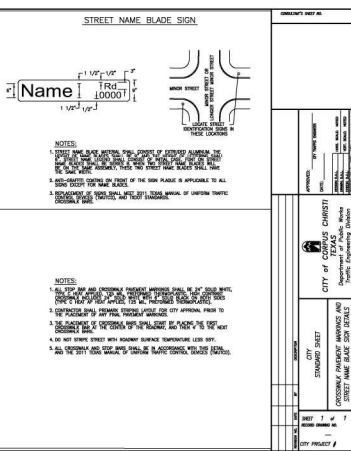
THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

- ☐ SILT FENCES
- ☐ HAY BALE DAM
- ☐ ROCK BERMS
- ☐ DIVERSION, INTERCEPTOR, OR PERIMETER DIKES
- ☐ DIVERSION, INTERCEPTOR, OR PERIMETER SNAILES
- ☐ DIVERSION, DIKE AND SNAILE COMBINATIONS
- ☐ PIPE SLOPE DRAINS
- ☐ PAVED FLUMES
- ☐ ROCK BEDDING AT CONSTRUCTION EXIT
- ☐ TIMBER MATTING AT CONSTRUCTION EXIT
- ☐ CHANNEL LINERS
- ☐ SEDIMENT TRAPS
- ☐ SEDIMENT BASINS
- ☐ STORM INLET SEDIMENT TRAP
- ☐ STONE OUTLET STRUCTURES
- ☐ CURBS AND GUTTERS
- ☐ STORM SEWERS
- ☐ VELOCITY CONTROL DEVICES

CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS AS MAY BE REQUIRED BY TCEQ AND FRA. CONTRACTOR SHALL PROVIDE NOT AND NOT



SHEET 3 OF 3	
PLOT SCALE: $\frac{1" = 60'}{45' \text{ (DOWN)}}$ DRAWN BY: <u> </u>	COM. NO. <u>13 SHIPP</u>



06/03/21

BASS AND WELSH ENGINEERING
TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET
CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX
TXDOT & CITY SIGN AND PAVEMENT
MARKING REQUIREMENTS AND DETAILS


MARKING REQUIREMENTS AND DETAILS	
PLOT SCALE: $1" = 80'$ SCALE (H): <u>AS SHOWN</u> SCALE (V): <u>AS SHOWN</u> DATE PLOTTED <u>08/03/23</u>	COM. NO. <u>14 (100)</u> JOB NO. <u>2400</u> SHEET <u>14</u> OF <u>27</u>

MARKING REQUIREMENTS AND DETAILS	
DWG. _____ CHK. <u>N. WILSH</u>	PLOT SCALE: <u>1" = 80'</u> SCALE (H): <u>AS SHOWN</u> SCALE (V): <u>AS SHOWN</u> DATE PLOTTED <u>08/03/20</u>
14 TROOP CITY PMT MARKING COM. NO. _____ JOB NO. <u>24008</u> SHEET <u>14</u> OF <u>25</u>	

DATE: _____
FILE: _____

HL93 LOADING

SHEET 2 OF 2



Texas Department of Transportation

**Bridge
Division
Standard**

MULTIPLE BOX CULVERTS


LC3-IN-PLACE

7'-0" SPAN

2' TO 23' FILL

MC-7-23

File: CM-10723-00.gn

 February 2020

REVISED

on FILE	cc: BMD	on TxDOT	cc: TxDOT
EXT	SCT	JOB	HIGHWAY
DIST	COUNTY	SHEET NO.	



BASS AND WELSH ENGINEERING
TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET
CORPUS CHRISTI, TEXAS 78404

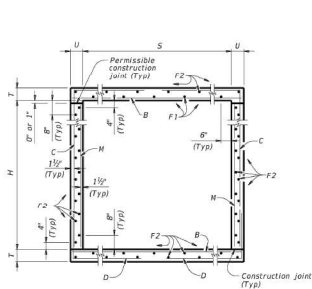
PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX

1X001 MULTIPLE BOX CULVERT DETAILS

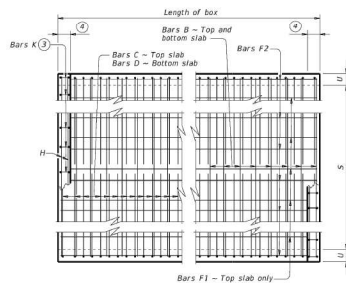
DRAWN	FILE SCALE	1" = 50'	16 TRDOT MBS
SCALE (H)	SCALE (V)	45 5/8" X 36"	2 OF 2
CHK	N. VELSH	DATE PLOTTED	06/03/25
			SHEET 16 OF 20

DESIGNER: This use of this standard is governed by the Texas Engineering Practice Act. No warranty of any kind is made by TxDOT or any person who uses this standard. TxDOT assumes no responsibility for the use of this standard or for any errors or omissions in this standard.

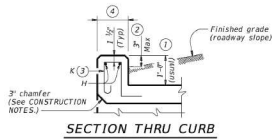
DATE: 11/15/25



TYPICAL SECTION



PLAN OF REINF STEEL



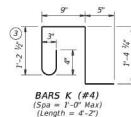
SECTION THRU CURB



BAR C



BAR D



BAR K (#4)
(Spaced = 1'-0" Max)
(Length = 4'-2")

- 1) 0" Min to 9'-0" Max. Estimated curb heights are shown elsewhere in the plans. For structures with pedestrian rail or curbs taller than 1'-0", refer to the Extended Curb Details (ECD) standard sheet. For structures with T631 or T631LS bridge rail, refer to the Mounting Details for T631 & T631LS Rails (T631-CW) standard sheet. Refer to the Rail Anchorage Curb (RAC) standard sheet for structures with bridge rail other than T631 or T631LS.
- 2) For vehicle safety, the following requirements must be met:
 - For structures without bridge rail, construct curbs no more than 3' above finished grade.
 - For structures with bridge rail, construct curbs flush with finished grade.
 - Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.
- 3) For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3' high, Bars K may be omitted.
- 4) 1'-0" typical. 2'-3" when the Rail Anchorage Curb (RAC) standard sheet is referred to elsewhere in the plans.

The Contractor may replace Bars B, C, D, E, F, F1, F2, H, Y, and/or Z with deformed welded wire reinforcement (WWR) meeting the requirements of ASTM A1064. The area of required reinforcement may be reduced by the ratio of 60 ksi / 70 ksi. Spacing of WWR is limited to 4" Min and 18" Max. When required, provide lap splices in the WWR of the same length required for the equivalent bar size, rounded up for wire sizes between conventional bar sizes. The lap length required for WWR is never less than the lap length required for uncoated #4 bars.

Example conversion: Replacing No. 6 Gr 60 at 6" Spacing with WWR.
Required WWR = (0.64 sq. in. per 0.5 ft.) x (60 ksi / 70 ksi) = 0.755 sq. in. per ft.
If E304 wire is used to meet the 0.755 sq. in. per ft. requirement in this example, the required spacing = (0.306 sq. in.) / (0.755 sq. in. per ft.) x (12 in. per ft.) = 4.86".
Max Spacing: Required lap length for the provided E304 wire is 2'-3" (the same minimum lap length required for uncoated #5 bars, as listed under MATERIAL NOTES).

CONSTRUCTION NOTES:

Do not use permanent forms.
Chamber the bottom edge of the top slab 3' at the entrance.
Optionally, raise construction joints shown at the flow line by a maximum of 6". If this option is taken, Bars H may be cut off or raised. Bars C and D may be reversed.

MATERIAL NOTES:

Provide Grade 60 reinforcing steel.
Provide galvanized reinforcing steel if required elsewhere in the plans.
Provide Class C concrete ($f_c = 3,600$ psi) for culvert barrel and curb, with the following exceptions: provide Class S concrete ($f_c = 4,000$ psi) for top slabs of:

- culverts with overlay;
- culverts with 1-in-2 course surface treatment; or
- culverts with the top slab as the final riding surface.

Provide bar laps, where required, as follows:

- uncoated or galvanized - #4 = 1'-8" Min
- uncoated or galvanized - #5 = 2'-1" Min
- uncoated or galvanized - #6 = 2'-0" Min

GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications for the range of fill heights shown.
See the Single Box Culverts Cast-In-Place Miscellaneous Detail (SCC-MD) standard sheet for details pertaining to skewed ends, angle sections, and lengthening.

Cover dimensions are clear dimensions, unless noted otherwise.
Reinforcing bar dimensions shown are out-to-out of bar.

HL93 LOADING		SHEET 1 OF 2	
Texas Department of Transportation		Bridge Division Standard	
SINGLE BOX CULVERTS CAST-IN-PLACE 0' TO 30' FILL			
SCC-5 & 6			
Rev: CD-SCC50-21.dgn	Rev: TBE	Rev: BMP	Rev: TxDOT
11/15/2025	11/15/2025	11/15/2025	11/15/2025
PROJECT: 2025-01-0000	DATE: 11/15/25	DATE: 11/15/25	DATE: 11/15/25
DESIGNER: J. WELSH	CHECKER: J. WELSH	DATE: 11/15/25	DATE: 11/15/25



BASS AND WELSH ENGINEERING TX REGISTRATION NO. F-52, 3024 S. ALAMEDA STREET CORPUS CHRISTI, TEXAS 78404	
PUBLIC IMPROVEMENTS TO KNO'S LANDING UNIT 11 CORPUS CHRISTI, NUECES CO., TX	
IX001 SINGLE BOX CULVERT DETAILS	
SHEET 1 OF 2	
DATE: 11/15/25	DATE: 11/15/25
DATE: 11/15/25	DATE: 11/15/25
DATE: 11/15/25	DATE: 11/15/25

DISCLAIMER: This standard is provided by the Texas Department of Transportation. No warranty, express or implied, is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for indirect results or damages resulting from its use.

DATE: 11/11/11

SECTION DIMENSIONS				FILL HEIGHT 5	BILLS OF REINFORCING STEEL (For Box Length = 40 feet)																																QUANTITIES						
					Bars B				Bars C				Bars D				Bars M - #4				Bars F1 - #4 at 18" Spa		Bars F2 - #4 at 18" Spa		Bars H 4 - #4		Bars K		Per Foot of Barrel		Curb		Total										
S	H	T	U	No.	Size	Spa	Length	Weight	No.	Size	Spa	Length	Weight	* X *	* Y *	No.	Size	Spa	Length	Weight	* Y *	* Z *	No.	Size	Spa	Length	Weight	No.	Length	Wt	No.	Length	Weight	Length	Wt	No.	Wt	Conc (CY)	Reinf (LL)	Conc (CY)	Reinf (LL)	Conc (CY)	Reinf (LL)
3'-0"	2'-0"	8"	7"	26"	108	#6	9"	5'-11"	960	108	#5	9"	6'-3"	704	2'-6"	3'-9"	108	#5	9"	6'-3"	723	3'-9"	2'-8"	108	9"	2'-0"	144	4	39'-9"	106	22	39'-9"	584	3'-11"	16	14	39	0.391	85.5	0.5	55	16.1	3.276
3'-0"	2'-0"	9"	7"	30"	108	#6	9"	5'-11"	960	108	#5	9"	6'-4"	713	2'-7"	3'-9"	108	#5	9"	6'-6"	722	3'-9"	2'-9"	108	9"	2'-0"	144	4	39'-9"	106	22	39'-9"	584	3'-11"	16	14	39	0.429	81.0	0.5	55	17.6	3.294
3'-0"	3'-0"	8"	7"	26"	108	#6	9"	5'-11"	960	108	#5	9"	7'-3"	817	3'-6"	3'-9"	108	#5	9"	6'-5"	723	3'-9"	2'-8"	108	9"	3'-0"	216	4	39'-9"	106	26	39'-9"	690	3'-11"	16	14	39	0.434	87.8	0.5	55	17.8	3.567
3'-0"	3'-0"	9"	7"	30"	108	#6	9"	5'-11"	960	108	#5	9"	7'-4"	826	3'-7"	3'-9"	108	#5	9"	6'-6"	732	3'-9"	2'-9"	108	9"	3'-0"	216	4	39'-9"	106	26	39'-9"	690	3'-11"	16	14	39	0.472	88.3	0.5	55	19.3	3.585
3'-0"	4'-0"	8"	7"	26"	108	#6	9"	5'-11"	960	108	#5	9"	8'-3"	929	4'-7"	3'-9"	108	#5	9"	6'-5"	723	3'-9"	2'-8"	108	9"	4'-0"	289	4	39'-9"	106	26	39'-9"	690	3'-11"	16	14	39	0.477	92.4	0.5	55	19.5	3.752
3'-0"	4'-0"	9"	7"	30"	108	#6	9"	5'-11"	960	108	#5	9"	8'-4"	939	4'-7"	3'-9"	108	#5	9"	6'-6"	732	3'-9"	2'-9"	108	9"	4'-0"	289	4	39'-9"	106	26	39'-9"	690	3'-11"	16	14	39	0.515	92.9	0.5	55	21.1	3.771
3'-0"	5'-0"	8"	7"	26"	108	#6	9"	5'-11"	960	108	#5	9"	9'-3"	1,042	5'-6"	3'-9"	108	#5	9"	6'-5"	723	3'-9"	2'-8"	108	9"	5'-0"	361	4	39'-9"	106	30	39'-9"	797	3'-11"	16	14	39	0.521	99.7	0.5	55	21.3	4.044
3'-0"	5'-0"	9"	7"	30"	108	#6	9"	5'-11"	960	108	#5	9"	9'-4"	1,051	5'-7"	3'-9"	108	#5	9"	6'-6"	732	3'-9"	2'-9"	108	9"	5'-0"	361	4	39'-9"	106	30	39'-9"	797	3'-11"	16	14	39	0.559	100.2	0.5	55	22.8	4.062
6'-0"	2'-0"	8"	7"	20"	108	#6	9"	6'-11"	1,122	108	#5	9"	6'-7"	742	2'-6"	4'-1"	108	#5	9"	6'-9"	760	4'-1"	2'-8"	108	9"	2'-0"	144	5	39'-9"	133	25	39'-9"	664	6'-11"	18	16	45	0.440	89.1	0.5	63	18.1	3.820
6'-0"	2'-0"	9"	7"	26"	108	#6	9"	6'-11"	1,122	162	#5	6"	6'-8"	1,126	2'-7"	4'-1"	162	#5	6"	6'-10"	1,155	4'-1"	2'-9"	108	9"	2'-0"	144	5	39'-9"	133	25	39'-9"	664	6'-11"	18	16	45	0.485	108.6	0.5	63	19.0	4.007
6'-0"	2'-0"	10"	8"	30"	108	#6	9"	7'-1"	1,149	162	#5	6"	6'-10"	1,155	2'-8"	4'-2"	162	#5	6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	2'-0"	110	5	39'-9"	133	25	39'-9"	664	7'-1"	19	18	50	0.551	109.9	0.5	69	22.6	4.463
6'-0"	3'-0"	8"	7"	20"	108	#6	9"	6'-11"	1,122	108	#5	9"	7'-7"	854	3'-6"	4'-1"	108	#5	9"	6'-9"	760	4'-1"	2'-8"	108	9"	3'-0"	216	5	39'-9"	133	29	39'-9"	770	6'-11"	18	16	45	0.484	96.4	0.5	63	19.9	3.918
6'-0"	3'-0"	9"	7"	26"	108	#6	9"	6'-11"	1,122	162	#5	6"	7'-8"	1,295	3'-7"	4'-1"	162	#5	6"	6'-10"	1,155	4'-1"	2'-9"	108	9"	3'-0"	216	5	39'-9"	133	29	39'-9"	770	6'-11"	18	16	45	0.528	117.3	0.5	63	21.6	4.734
6'-0"	3'-0"	10"	8"	30"	108	#6	9"	7'-1"	1,149	162	#5	6"	7'-10"	1,324	3'-8"	4'-2"	162	#5	6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	2'-0"	164	5	39'-9"	133	29	39'-9"	770	7'-1"	19	18	50	0.601	118.1	0.5	69	24.6	4.792
6'-0"	4'-0"	8"	7"	20"	108	#6	9"	6'-11"	1,122	108	#5	9"	8'-7"	967	4'-6"	4'-1"	108	#5	9"	6'-9"	760	4'-1"	2'-8"	108	9"	4'-0"	289	5	39'-9"	133	29	39'-9"	770	6'-11"	18	16	45	0.527	101.0	0.5	63	21.6	4.104
6'-0"	4'-0"	9"	7"	26"	108	#6	9"	6'-11"	1,122	162	#5	6"	8'-8"	1,464	4'-7"	4'-1"	162	#5	6"	6'-10"	1,155	4'-1"	2'-9"	108	9"	4'-0"	289	5	39'-9"	133	29	39'-9"	770	6'-11"	18	16	45	0.571	123.3	0.5	63	23.4	4.996
6'-0"	4'-0"	10"	8"	30"	108	#6	9"	7'-1"	1,149	162	#5	6"	8'-10"	1,493	4'-8"	4'-2"	162	#5	6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	4'-0"	219	5	39'-9"	133	29	39'-9"	770	7'-1"	19	18	50	0.650	123.7	0.5	69	26.5	5.016
6'-0"	5'-0"	8"	7"	20"	108	#6	9"	6'-11"	1,122	108	#5	9"	9'-7"	1,080	5'-6"	4'-1"	108	#5	9"	6'-9"	760	4'-1"	2'-8"	108	9"	5'-0"	361	5	39'-9"	133	33	39'-9"	876	6'-11"	18	16	45	0.570	108.3	0.5	63	23.3	4.395
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6'-0"	6'-0"	10"	8"	30"	108	#6	9"	7'-1"	1,149	162	#5	6"	10'-10"	1,830	6'-8"	4'-2"	162	#5	6"	7'-0"	1,183	4'-2"	2'-10"	82	12"	6'-0"	329	5	39'-9"	133	37	39'-9"	982	7'-1"	19	18	50	0.749	140.2	0.5	69	30.5	5.675

HL93 LOADING

SHEET 2 OF 2

TEXAS

Department of Transportation

SINGLE BOX CULVERTS

CAST-IN-PLACE

0' TO 30' FILL

SCC-5 & 6

REV: CD-SCC5-21.dgn
REVISED: February 2020
PROJECT NUMBER: 0-7461

DATE: 02/01/2020
BY: BWP
CHECKED: JAC
DESIGNED: JAC

5

For direct tra c culverts (H height ≥ 2 ft), identify the required box size and select the option with the minimum H height.

5 For direct tra c culverts (H height \leq 2 ft.), identify the required box size and select the option with the minimum H height.

HL93 LOADING SHEET 2 OF 2

Texas Department of Transportation

Bridge Division Standard

SINGLE BOX CULVERTS
CAST-IN-PLACE
0' TO 30' FILL

SCC-5 & 6

Proj: CD-SCC56-31.dgn
Rev: 02/05/2010
REVISED: February 2010
REVISIONS
02/05/2010 J.W.M. 6-10/05

IN TIE IN BMP IN TIE IN TIE IN TIE
DATE: 02/05/2010
BY: J.W.M.
CHECKED: J.W.M.
DATE: 02/05/2010

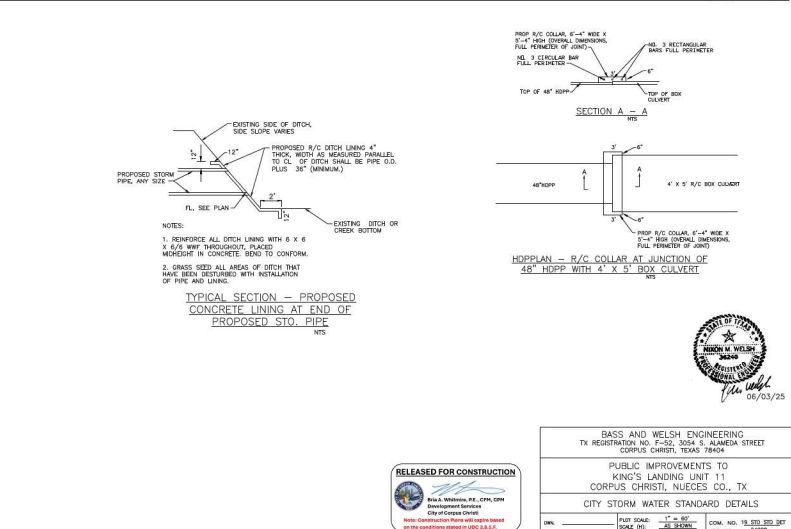
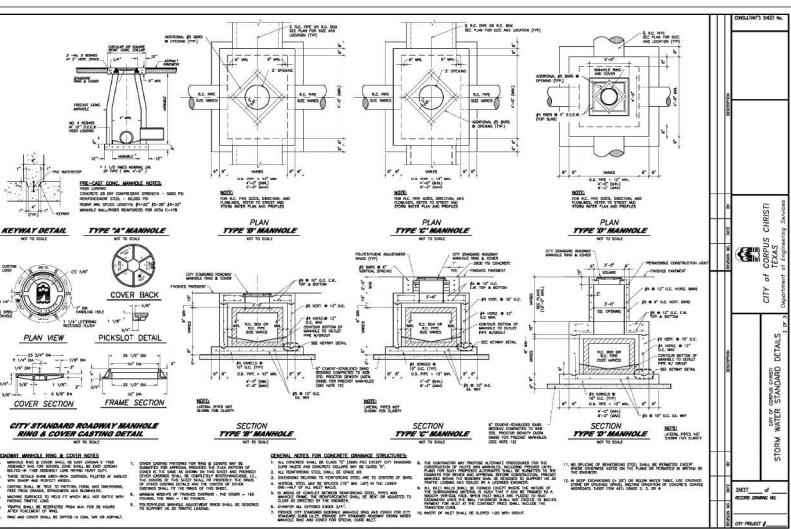
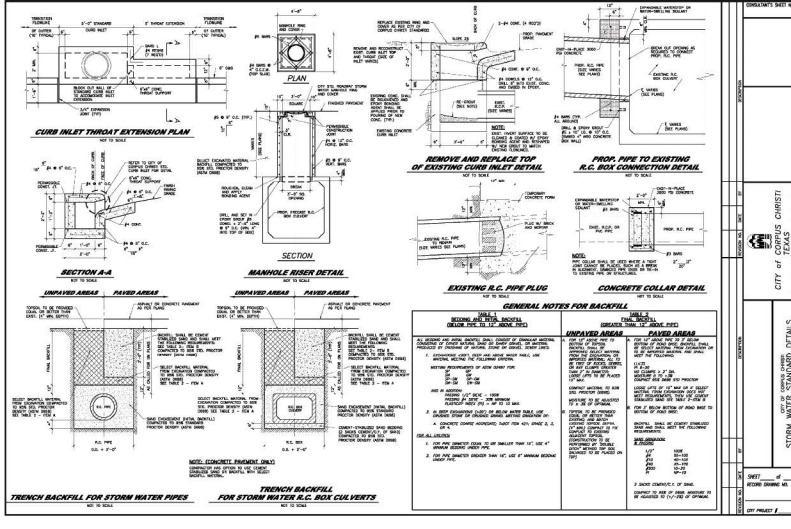
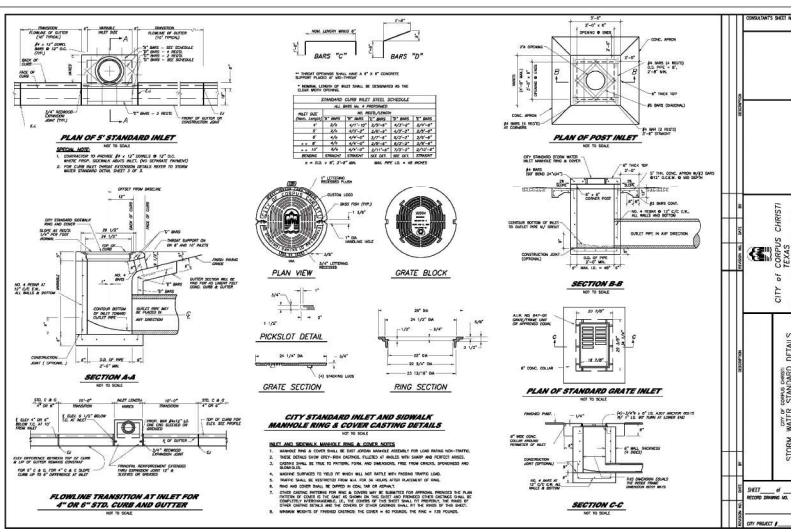


BASS AND WELSH ENGINEERING
TX REGISTRATION NO. F-52, 3024 S. PLANKEN STREET
CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
KNO'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX
IX001 SINGL BOX CULV(M) U/L/ALS

SHEET 2 OF 2

DESIGNED BY: J.W.M.
CHECKED BY: J.W.M.
DATE PLOTTED: 02/05/2010
PLOT SCALE: 1" = 40'
JOB NO.: 24001
JOB DATE: 02/05/2010
JOB NO.: 24001
JOB DATE: 02/05/2010



BASS & WELSH ENGINEERING
INC. REGISTRATION NO. F-52, 2024 S. ALAMEDA STREET
CORPUS CHRISTI, TEXAS 78404

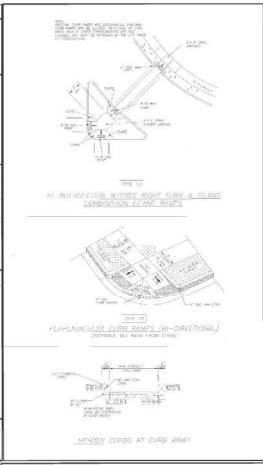
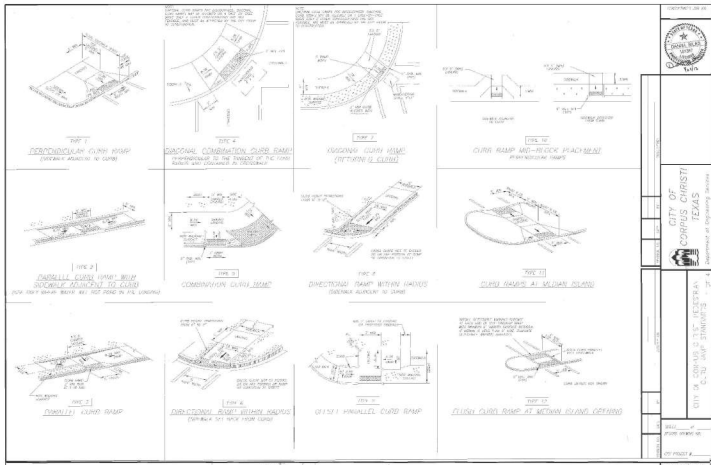
PUBLIC IMPROVEMENTS TO
KNOW'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX
CITY STORM WATER STANDARD DETAILS



DATE: 05/03/25
DRAWN BY: J. W. WELSH
CHECKED BY: J. W. WELSH
DATE: 05/03/25



BASS AND WELSH ENGINEERING TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET CORPUS CHRISTI, TEXAS 78404		
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11 CORPUS CHRISTI, NUECES CO., TX		
CITY WASTE WATER STANDARD DETAILS		
DWG. NO. <u>15-00001</u>	PLUT SCALE: <u>1" = 60'</u> SCALE (H): <u>AS SHOWN</u> SCALE (V): <u>AS SHOWN</u> DATE PLOTTED: <u>04/03/2019</u>	DOWN NO. <u>20-000-000-001</u> JOB NO. <u>24035</u> DESIGN NO. <u>24035</u>



GENERAL NOTES:

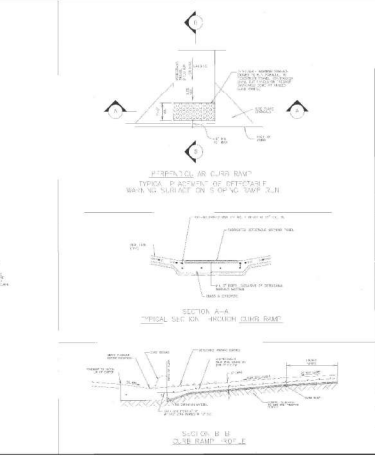
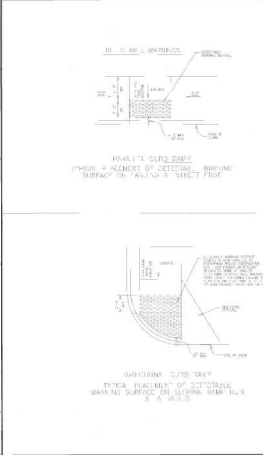
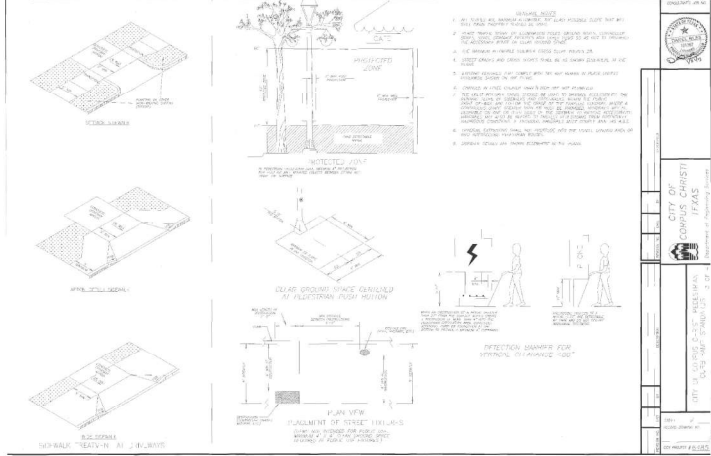
1. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
2. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
3. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
4. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
5. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
6. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
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8. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
9. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
10. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
11. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:
12. CURB RAMP SHALL BE CONSTRUCTED TO THE FOLLOWING STANDARDS:

CITY OF CORPUS CHRISTI TEXAS

ENGINEER'S SEAL

DATE: 06/03/25

PROJECT: PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11, CORPUS CHRISTI, TEXAS



CITY OF CORPUS CHRISTI TEXAS

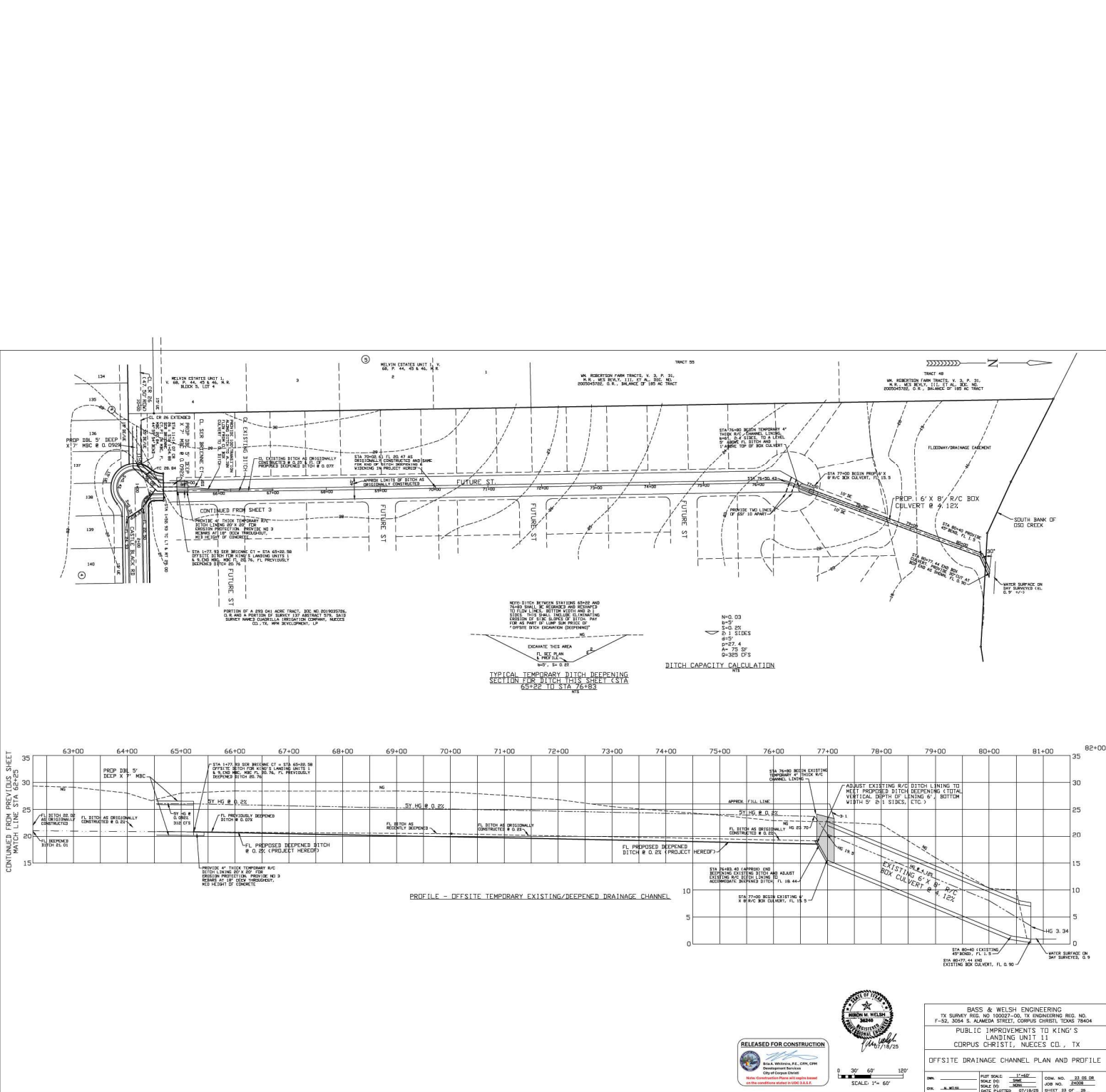
ENGINEER'S SEAL

DATE: 06/03/25

PROJECT: PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11, CORPUS CHRISTI, TEXAS

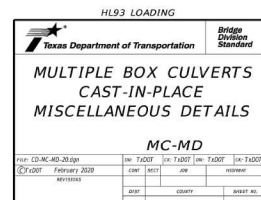


BASS AND WELSH ENGINEERING TX REGISTRATION NO. F-52, 3024 S. ALAMOSA STREET CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11 CORPUS CHRISTI, TEXAS			
CITY CURB RAMP STANDARDS			
DATE PLOTTED: 06/03/25	SCALE: 1" = 30'	DATE: 06/03/25	SHEET 11 OF 11



BASS & WELSH ENGINEERING			
TX SURVEY REG. NO. 100077-00, TX ENGINEERING REG. NO. F-50, 2004 S. ALAMIDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 11			
CORPUS CHRISTI, NUECES CO., TX			
OFFSITE DRAINAGE CHANNEL PLAN AND PROFILE			
DATE:	PROJECT:	CONV. NO.:	33 05 08
SCALE:	DATE:	JOB NO.:	200808
DATE:	DATE:	DATE:	07/18/08

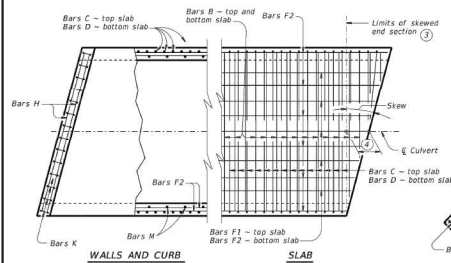
DATE:



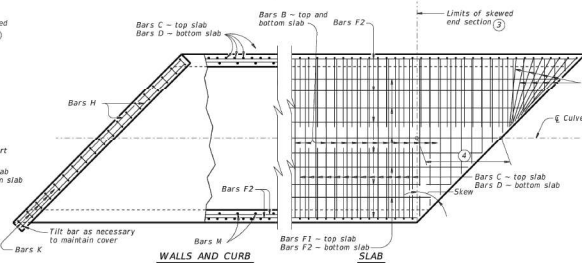
BASS AND WELSH ENGINEERING			
TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET			
CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO			
KING'S LANDING UNIT 11			
CORPUS CHRISTI, NUECES CO., TX			
TXDOT MULTIPLE BOX CULVERT MISC DETAIL			
FLOT SCALE: 1" = 80' SCALE (H): AS SHOWN SCALE (V): AS SHOWN DATE PLOTTED: 06/20/2009		COM. NO.: FDOT 24000 JOB NO.: 24000 SHEET 25 OF 22	
S. WELSH			

DISCLAIMER: This drawing is intended to be used for informational purposes only. It is not intended to be used for construction purposes. The user of this drawing is advised to consult the applicable building codes and standards for the most current information. The user of this drawing is advised to consult the applicable building codes and standards for the most current information.

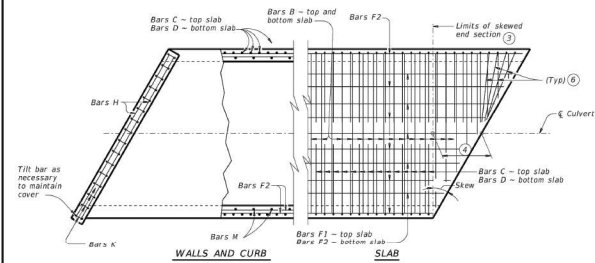
DATE
FILE



PLAN OF SKEWED ENDS ~ FROM 0° TO 15°

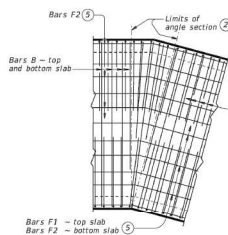


PLAN OF SKEWED ENDS ~ OVER 30° TO 45°

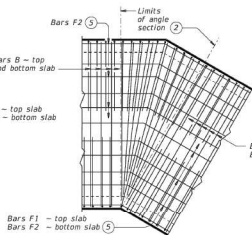


PLAN OF SKEWED ENDS ~ OVER 15° TO 30°

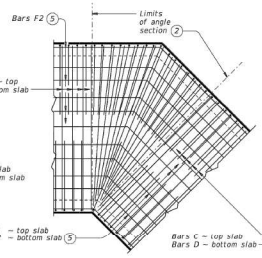
LENGTHENING DETAIL



PLAN OF ANGLE SECTION ~ FROM 0° TO 15°



PLAN OF ANGLE SECTION ~ OVER 15° TO 30°



PLAN OF ANGLE SECTION ~ OVER 30° TO 45°

1 For skewed box culverts with less than 2'-0" of fill, break back the top slab to provide a 1'-0" minimum lap of the existing longitudinal bars with the longitudinal bars in the extension.
For non-skewed box culverts with less than 2'-0" of fill and for skewed or non-skewed culverts with a fill depth of 2'-0" or greater, break back the top slab to provide a 1'-0" minimum lap of the existing longitudinal bars with the longitudinal bars in the extension. Alternatively, if the box is non-skewed, embed #6 anchor bars with a Type III, C, D, E, or F anchor adhesive into the existing walls, top and bottom slab at 1'-0" center-to-center spacing. Minimum embedment depth is 6". Anchor adhesive chosen must be able to achieve a basic bond strength in tension, f_{ba} , of 26.4 kips. Submit signed and sealed calculations or the manufacturer's published literature, showing the proposed anchor adhesive's ability to develop this load to the Engineer for approval prior to use. Anchor installation, including hole size, drilling, and clean out, must be in accordance with Item 450, "Paving". Test adhesive anchors in accordance with Item 450.3.5, "Tests". Test 3 anchors per 100 anchors installed.
Break back wings and apron as necessary to install the extension. Clean and extend the exposed wingwall and apron reinforcing into the extension. When lengthening existing box culverts with dimensions different than current standard dimensions, form horizontal and vertical transitions as directed by the Engineer. Match bottom slabs to maintain an uninterrupted flow line. Field bond existing and new reinforcing into transitions and maintain specified cover requirements. For top slabs of culverts with overlay, with 1-to-2 course surface treatment, or with the top slab as the final riding surface, adjust the 1'-0" dimension to provide a smooth riding surface.

- 2 When the spacing between Bars B becomes less than half of the normal spacing.
3 The length of Bars B vary in the skewed end sections.
4 One half of overall width \times [tangent of the skew angle].
5 Place Bars F1 and F2 continuously through the angle section.
6 Bend Bars F1 and F2 to remain parallel to the walls of the box culvert.
7 When necessary to avoid conflict in acute corners, shorten the slab extension leg of Bars C and Bars D to a minimum of 1'-0" for skews of 30° thru 45°.

CONSTRUCTION NOTES:

Do not use permanent forms.
When required, lap Bars H 1'-0" for uncoated or galvanized bars.
Provide a minimum of 1 1/2" clear cover.

MATERIAL NOTES:

Provide Grade 60 reinforcing steel.
Provide galvanized reinforcing steel, if required elsewhere in the plans.
Place Bars F1 and F2 continuously through the angle section.
Provide Class S concrete ($f'_c = 4,000$ psi) for top slabs of culverts with overlay, with 1-to-2 course surface treatment, or with the top slab as the final riding surface.

GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications.
Refer to Single Box Culverts Cast-in-Place (SCC) standard sheets for details of straight sections of culvert.
For skewed sections and angle sections, refer to Single Box Culverts Cast-in-Place (SCC) standard sheets for slab and wall dimensions, bar sizes, maximum bar spacing, and any other details not shown.
For skewed ends with curbs, adjust length of Bars H, number of Bars K, curb concrete volume, and reinforcing steel weight by dividing the values shown on the culvert, Single Box Culverts Cast-in-Place (SCC) standard sheets by the cosine of the skew angle.
Cover dimensions are clear dimensions, unless noted otherwise.

HL93 LOADING

Texas Department of Transportation		Bridge Division Standard	
SINGLE BOX CULVERTS CAST-IN-PLACE MISCELLANEOUS DETAILS			
SCC-MD			
Plan: CO-SCC-40-20g	Rev: TxDOT	Rev: TxDOT	Rev: TxDOT
01/2007	02/2007	03/2007	04/2007
DESIGN	CHECK	APPROVE	DATE
DATE	DATE	DATE	DATE



BASS AND WELSH ENGINEERING
TX REGISTRATION NO. F-52, 3024 S. ALAMEDA STREET
CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
KING'S LANDING UNIT 11
CORPUS CHRISTI, NUECES CO., TX

TxDOT SINGLE BOX CULVERT MISCELLANEOUS DETAILS

DATE: 11/15/2011
DRAWN BY: J. WELSH
CHECKED BY: J. WELSH
DATE PLOTTED: 05/05/2012
PLOT NO.: 24009
JOB NO.: 24009
SHEET NO.: 10

EXHIBIT 4

NIXON M. WELSH, P.E., R.P.L.S.
Email: NixMW@aol.com

BASS WELSH ENGINEERING
TX Registration No. F-52
Survey Registration No. 100027-00
P.O. Box 6397
Corpus Christi, TX 78466-6397

3054 S. Alameda St.

9/12/2025

Kings Landing Unit 11 - Cost

WATER ITEMS					
ITEM	DESCRIPTION	QUANTITY	UNIT	COST	TOTAL
1	12" PVC PIPE	2074	EA	120.00	248,880.00
2	12" CAP TAPPED FOR 2"	1	EA	2,750.00	2,750.00
3	12" CROSS	2	EA	3,750.00	7,500.00
4	12" GATE VALVE WITH BOX	4	LF	5,550.00	22,200.00
5	12" TEE	6	EA	2,250.00	13,500.00
6	12" REDUCER	3	EA	2,750.00	8,250.00
7	FIRE HYDRANTS	3	EA	8,500.00	25,500.00

SUBTOTAL \$ 328,580.00

ENGINEERING, SURVEYING, & TESTING (11%) \$ 36,143.80

CONTINGENCY (7%) 23,000.60

BOND (2%) 6,571.60

TOTAL \$ 394,296.00

EXHIBIT 5



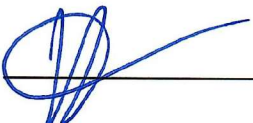
Name _____ Consultant _____

FILING REQUIREMENTS

If a person who requests official action on a matter knows that the requested action will confer an economic benefit on any City official or employee that is distinguishable from the effect that the action will have on members of the public in general or a substantial segment thereof, you shall disclose that fact in a signed writing to the City official, employee or body that has been requested to act in the matter, unless the interest of the City official or employee in the matter is apparent. The disclosure shall also be made in a signed writing filed with the City Secretary. [Ethics Ordinance Section 2-349 (d)].

CERTIFICATION

I certify that all information provided is true and correct as of the date of this statement, that I have not knowingly withheld disclosure of any information requested, and that supplemental statements will be promptly submitted to the City of Corpus Christi, Texas, as changes occur.

Certifying Person:	Mossa (Moses) Mostaghasi	Title:	General Partner
Signature of Certifying Person:		Date:	7-30-25

DEFINITIONS

- a. "Board member." A member of any board, commission, or committee of the city, including the board of any corporation created by the city.
- b. "Economic benefit". An action that is likely to affect an economic interest if it is likely to have an effect on that interest that is distinguishable from its effect on members of the public in general or a substantial segment thereof.
- c. "Employee." Any person employed by the city, whether under civil service or not, including part-time employees and employees of any corporation created by the city.
- d. "Firm." Any entity operated for economic gain, whether professional, industrial or commercial, and whether established to produce or deal with a product or service, including but not limited to, entities operated in the form of sole proprietorship, as self-employed person, partnership, corporation, joint stock company, joint venture, receivership or trust, and entities which for purposes of taxation are treated as non-profit organizations.
- e. "Official." The Mayor, members of the City Council, City Manager, Deputy City Manager, Assistant City Managers, Department and Division Heads, and Municipal Court Judges of the City of Corpus Christi, Texas.
- f. "Ownership Interest." Legal or equitable interest, whether actually or constructively held, in a firm, including when such interest is held through an agent, trust, estate, or holding entity. "Constructively held" refers to holdings or control established through voting trusts, proxies, or special terms of venture or partnership agreements.
- g. "Consultant." Any person or firm, such as engineers and architects, hired by the City of Corpus Christi for the purpose of professional consultation and recommendation.