



City of Corpus Christi

1201 Leopard Street
Corpus Christi, TX 78401
cctexas.com

Meeting Agenda - Final

Planning Commission

Wednesday, October 1, 2025

5:30 PM

Council Chambers

The Planning Commission shall be responsible to and act as an advisory body to City Council; shall review and make recommendations to City Council regarding the adoption/implementation of a comprehensive plan; regarding all proposals to adopt/amend land development regulations for the purpose of establishing consistency with the comprehensive plan; regarding zoning or requests for zoning changes in a manner to ensure consistency with the adopted comprehensive plan; regarding the City's annual capital budget and any capital improvement bond program. The Planning Commission also exercises control (approving body) over platting/subdividing land within the corporate limits and the extraterritorial jurisdiction of the City in a manner to ensure the consistency of all plats with the adopted comprehensive plan.

I. Call to Order, Roll Call

II. PUBLIC COMMENT: Citizens will be allowed to attend and make public comments in person at City Planning Commission meetings. The public is invited to speak on any agenda item and any other items that pertain to the Planning Commission. Comments are limited to three minutes. If you choose to speak during this period, you will not be allowed to speak again when the specific item is being considered in order of the agenda. Electronic media that you would like to use may only be introduced into the City system IF approved by the City's Communications Department at least 24 hours prior to the Meeting. Please contact IT at 826-3211 to coordinate.

III. Approval of Absences: None (all members were present at 9.17.2025 PC meeting)

IV. Approval of Minutes: September 17, 2025 Meeting Minutes

[25-1542](#)

Planning Commission Meeting Minutes DRAFT 9.17.2025

Attachments: [9.17.25 PC Meeting Minutes- DRAFT](#)

V. Consent Public Hearing: Discussion and Possible Action (Items A, B, & C)

NOTICE TO THE PUBLIC: The following Consent Public Hearing consists of items in which City Staff has given a recommendation of approval. The Planning Commission has been furnished with background and support material on each item. All items will be acted upon by one vote without being discussed separately unless a Commissioner has requested to pull a specific item for individual consideration. In any event, the item or items will immediately be withdrawn for individual consideration in its normal sequence

A. Plat[25-1537](#)

PL8707

PRELIMINARY - NEMEC TOWNE CENTER PHASE 2

Block 1

(25.34 acres)

(District 5) Generally located at 3601 Interstate Highway 69 (IH-69), on the northwest corner of IH-69 and County Road 52 (CR 52).

Attachments: [PL8707CoverTab](#)

[PL8707 Closed Comment Report](#)[PL8707 Latest Plat](#)[25-1538](#)

PL8912

REPLAT - Bluff Portion Addition

Lot 5R, Block 19

(0.23 Acres)

(District 1) Generally located at 717 North Tanchua Street, on the southwest corner of North Tanchua Street and Antelope Street.

Attachments: [PL8912ReplatCoverTab](#)

[PL8912ClosedCommentReport](#)[PL8912LatestPlat](#)**B. Plat-Time Extension**[25-1547](#)

22PL1061

FINAL - Landmark at Airline

(11.16 acres)

(D5) Generally located at 3538 Airline Road, north of Slough Road, and west of Rodd Field Road.

Attachments: [22pl1061 Cover Txt Tab-Time Ext 2025](#)

[Time Extension Request - 9-8-2025](#)[Approved plat 9-21-22.pdf \(1\)](#)**C. Zoning**[25-1539](#)

Zoning Case No. ZN8855, William Mays (District 1). Ordinance rezoning a property at or near 15349 Northwest Boulevard from the "FR" Farm Rural District to the "RS-6" Single-Family 6 District; providing for a penalty not to exceed \$2,000 and publication. (Staff recommends approval).

Attachments: [ZN8855 William Mays Staff Report](#)

[ZN8855 William Mays](#)

VI. Public Hearing: Discussion and Possible Action (Item D)

The following Public Hearing items will be considered individually

D. Deferred Agreement

[25-1546](#)

**DEFERMENT AGREEMENT FOR
PROJECT: PL8160**

Solid Rock Industrial Park Phase I - Final Plat of 37.9 Acres Located
north of Old Brownsville Rd. and Junior Beck Dr.

Attachments: [PC1-Cover Txt Tab-Deferment Agreement](#)

[PC2-Agenda Memo - Deferment Agmnt - Solid Rock Ind Park\(PI\)](#)

[Deferment Agreement - Solid Rock 9.23.25](#)

[PC3A-PC Presentation-Solid Rock Industrial Park \(Def Agmnt\)](#)

VII. Director's Report**VIII. Future Agenda Items****IX. Adjournment**

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact Jessica Martinez, at 361-826-3202 or jessicam2@cctexas.com, no later than 48 hours prior to this meeting so that appropriate arrangements can be made.



City of Corpus Christi

1201 Leopard Street
Corpus Christi, TX 78401
cctexas.com

Meeting Minutes - Draft

Planning Commission

Wednesday, September 17, 2025

5:30 PM

Council Chambers

I. Call to Order, Roll Call

Chairman Salazar-Garza called the meeting to order at 5:30pm. A quorum was present to conduct the meeting with all Commissioners present.

II. PUBLIC COMMENT: None.

III. Approval of Absences: Commissioners Budd & Munoz (9.3.2025 Meeting)

Vice Chairman Mandel made a motion to approve the absence of Commissioners Budd and Munoz. Commissioner Miller seconded. Vote: All Aye. Motion passed.

IV. Approval of Minutes: September 3, 2025 Meeting Minutes

Commissioner Miller made a motion to approve the meeting minutes from September 3, 2025, as presented by staff. Commissioner Teichelman seconded. Vote: All Aye. Motion passed.

1. [25-1486](#) Planning Commission Meeting Minutes DRAFT 9.3.2025

Attachments: [9.3.25 PC Meeting Minutes- DRAFT](#)

V. Consent Public Hearing: Discussion and Possible Action (Items A & B)

Andrew Dimas, Development Services introduced items 2, 3, & 4 into record. The plat and time extension will satisfy the requirements of the Unified Development Code and State Law. The Technical Review Committee recommends Approval. Recordation is pending satisfactory completion of UDC Review Criteria for 3.8.5.D.

At the request of Commissioner Miller, agenda item 4 was removed from the consent agenda due to further discussion needed.

With no questions from staff, Chairman Salazar-Garza opened for public comment on items 2 & 3. Being none, public comment was closed.

Chairman Salazar-Garza made a motion to approve consent agenda items 2 & 3 as presented by staff. Commissioner Hedrick seconded. Vote: All Aye. Motion passes.

Chairman Salazar-Garza opened for discussion on agenda item 4.

Commissioner Hedrick asked for clarification on the number for this time extension. Andrew Dimas had previously stated it was the first extension request but corrected his statement to reflect that it was the third extension request. Commissioner Hedrick stated if we are continuing to grant extensions that the developer be held up to the new requirement standards. He stated the developer should be required to submit PI plans with the plat extension request.

Chairman Salazar-Garza opened for public comment for item 4.

Bo Wisehart with Pape Dawson spoke on behalf of Braselton. He stated PI plans are being developed. Those plans just were not ready at the extension was requested. He stated construction date was to start early next year with 8B in construction currently. Commissioner Hedrick stated this unit's construction will help with the connectivity of neighborhood.

Commissioner Miller asked if there could be a stipulation added to the approval of the extension that the developer would need to be in construction by the end of the year. Andrew Dimas stated that commission is not allowed to grant any extensions shorter than what the UDC allows.

Chairman Salazar-Garza how can the board be assured that construction will be started in the timeframe stated in meeting today. Bart Braselton stated that things have slowed down in the residential field. He also stated there are 500 homes on the ground now and they are currently moving forward in development.

Commissioner Miller asked Mr. Braselton if he shares the same response about being under construction by early next year. Bart Braselton stated this would be probable. He stated that much of the development was done to help the connectivity of CR 33. He stated that the market conditions should weigh on the commission's decision for time extensions.

With no questions from staff, Chairman Salazar-Garza opened for public comment. Being none, public comment was closed.

Commissioner Munoz made a motion to approve agenda item 4 as presented by staff. Commissioner Cantu seconded. Vote: All Aye. Motion passes.

A. Plat

2. [25-1440](#) PL8886
FINAL - Laughlin Subdivision
Lot 16A & 16B, Block 3
(0.49 Acres)

(District 2) Generally located at 3414 Houston Street, north of Houston Street

and east of
Kostoryz Road.

Attachments: [PL8886FinalPlatCoverTab](#)
 [PL8886ClosedCommentReport](#)
 [PL8886LatestPlat](#)

3. [25-1484](#) PL8892
 FINAL - LEXINGTON PLACE
 Lot U
 (0.22 acres)

(District 3) Generally located at 4921 Kostoryz Road, west of Kostoryz Road and south of McArdle Road.

Attachments: [PL8892CoverTabFinal](#)
 [PL8892 Closed Comment Report](#)
 [PL8892LastestPlat](#)

B. Plat Extension

4. [25-1485](#) 22PL1109
 FINAL - London Towne Unit 9A
 (18.42 acres)

(OCL) Generally located south of Farm-to-Market Road 43 and north of County Road 33

Attachments: [Cover Txt Tab-Time Ext 2025](#)
 [Extension of Time - Final Plat.pdf \(1\).crdownload](#)
 [Approved plat 9-21-22](#)

VI. Director's Report

Andrew Dimas stated the commissioners there could be the possibility of emails rec'd under the guise as PC information. The city IT departments has been alerted and recommends commissioners not to open any links and to report it to himself if any are received.

VII. Future Agenda Items: None

VIII. Adjournment

With no other business to conduct, Chairman Salazar-Garza adjourned the meeting at 5:59 pm.

**TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
October 1, 2025**

PL8707

PRELIMINARY – NEMEC TOWNE CENTER PHASE 2

Block 1

(25.34 acres)

(District 5) Generally located at 3601 Interstate Highway 69 (IH-69), on the northwest corner of IH-69 and County Road 52 (CR 52).

Zoned: CG-2

Owner: 2AVH Calallen, LP.

Engineer/Surveyor: Xavier Sandoval

The applicant proposes to preliminary plat the lot and intends to develop 8 proposed lots for commercial use and 1 non-buildable lot. The submitted Re-plat complies with the requirements of the Unified Development Code and State law. Staff recommends **Approval**.



Merged Document Report

Application No.: PL8707

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
PRELIM10- 25-828 - 3601 IH69 Access Rd. Corpus Christi 78410-REPLAT-1 OF 1 (2).pdf
C400 - UTILITY PLAN_easement markup.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Bria Whitmire	briaw@cctexas.com	361-826-3268
Mina Trinidad	minar@cctexas.com	361-826-3259
Caleb Wong	calebw@cctexas.com	361-826-3392
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
27	Bria Whitmire : DS	Closed	<p>Improvements Required for Recordation, per UDC 8.1.4.</p> <p>A. Streets: No Sidewalks: Yes B. Water: Yes, coordinate with NCWID#3 Fire hydrants: Yes C. Wastewater: Yes D. Stormwater: Yes E. Public open space: No F. Permanent monument markers: No</p> <p>Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.</p>	

[Corrections in the following table need to be applied before a permit can be issued](#)

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
14	Utility Plan	Note	Mina Trinidad : DS	Closed	(Informational) Gas Department has no comment for the above referenced plat.	
18	Utility Plan	Note	Bria Whitmire : DS	Closed	<p>Update: Confirmed.</p> <p>Provide documentation verifying that CP&L is okay with private stormwater detention in their easements.</p>	
23	Utility Plan	Callout	Alex Harmon : DS	Closed	If these 2 pad sites are separate lots as shown on plat, then a UE or private UE should be shown and recorded on plat for sanitary sewer services.	
25	Utility Plan	Note	Alex Harmon : DS	Closed	Per UDC 8.1.5., All required improvements shall be designed and installed in order to provide for a system of utilities, storm water and streets and to create continuity of improvements among adjacent properties. Place UEs to provide services to each LOT.	
26	Utility Plan	Note	Alex Harmon : DS	Closed	Who will be responsible for maintaining stormwater detention ponds?	
28	Utility Plan	Note	Alex Harmon : DS	Closed	Approval of the plat does not approve the layout of public utilities, including but not limited to water, wastewater, stormwater and roadways. These items are only approved via Public Improvement Plans.	
41	Utility Plan	Note	Mina Trinidad : DS	Closed	<p>(Informational) Fire: Comments 1-7</p> <p>1. All code reference is based on currently adopted International Fire Code (IFC) 2021 and Corpus Christi Water Distribution Standards.</p> <p>2. Commercial Development shall have a fire flow of 1,500 GPM with 20 psi residual</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>Fire hydrant every 300 feet and operational.</p> <p>3. 507.5.1 (amendment) Where Required: All premises, other than one-family detached dwellings, where buildings or portions of buildings are located more than 150 feet from a fire hydrant shall be provided with approved on-site hydrants and water mains capable of supplying the fire flow require by the fire official. The minimum arrangement being so as to have a hydrant available for distribution of hose to any portion of building on the premises at distances not exceeding 300 feet.</p> <p>4. 507.5.4 Obstruction. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Note: Hose lay from a hydrant will not cross an arterial street.</p> <p>5. 912.2.3 (amendment) Proximity to Hydrant: Fire department connections (FDC) for each sprinkler system or standpipe system shall be located not more than 100 feet from the nearest fire hydrant connected to an approved water source</p> <p>6. 503.1.1 (amendment) Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall allow access to three (3) sides of buildings in excess of fifteen thousand (15,000) square feet and all sides for buildings in excess of thirty thousand (30,000) square feet.</p> <p>7. 3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.</p>	
42	Utility Plan	Note	Mina Trinidad : DS	Closed	<p>(Informational) Fire: Comments 8-15</p> <p>8. D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>9. 503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.</p> <p>10. An accessible road and a suitable water supply is required once construction materials are brought on site.</p> <p>11. 503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.</p> <p>12. D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.</p> <p>13. The minimum required width of 20 feet that shall be maintained means a clear unobstructed path that allows the passage of fire apparatus. Where Fire Apparatus Access is constructed to the minimum of 20 feet, no parking is allowed within the fire apparatus lane.</p> <p>Where a fire hydrant is located on the street, the minimum unobstructed clearance shall be 26 feet. In this instance, no parking is allowed on one side of the street. The minimum UDC residential street width is 28 ft. curb to curb. Any parking along the street that reduces the width to less than 20 ft. is prohibited and the Fire Code Official and will require painting "NO PARKING-FIRE LANE" along one side of the street.</p> <p>14. Note: Calculated Turning Radii for Fire Apparatus: Inside Turn: 20 ft. 3 in. Curb to curb: 36 ft. 8 in. Wall to wall: 44 ft. 8 in.</p> <p>Note: The turning radius for fire apparatus should not be less than 45 degrees and curb to curb 36 feet. As a result, developers should be particularly careful not to design streets with acute angles that would prevent fire apparatus from completing a turn without having to back up to negotiate the turn.</p> <p>15. The plat does not provide details regarding the width of the driveways. Especially the driveway labeled E and F. The minimum standards must meet the criteria noted above. Drive F has a centerisland, each side of the island should measure 20 ft. or it may be necessary to remove this center island to maintain fire access.</p>	

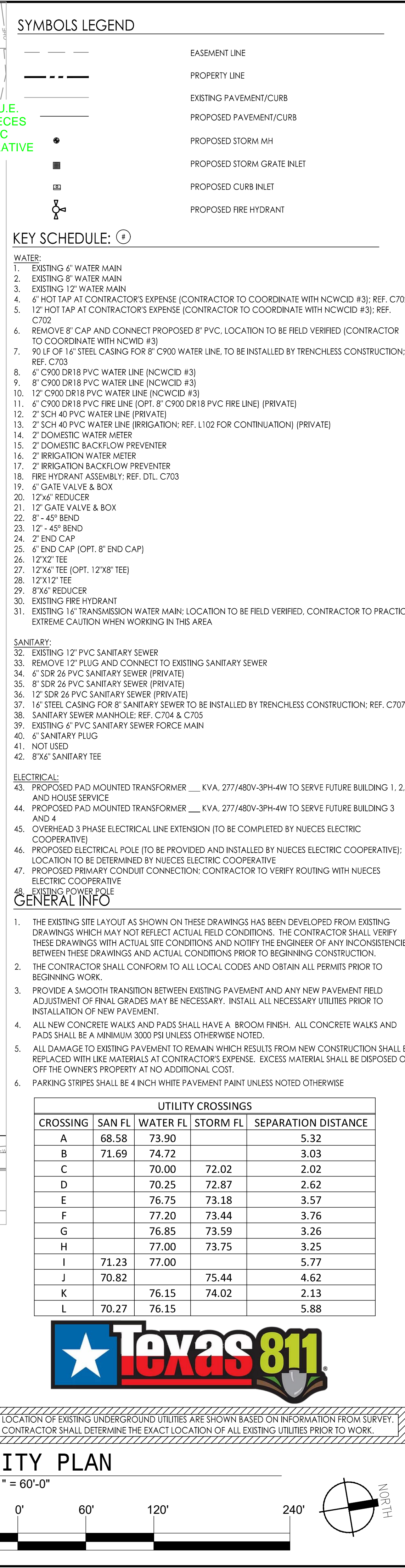
Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
43	Utility Plan	Note	Mina Trinidad : DS	Closed	<p>(Informational) Fire: Comments 16-25</p> <p>16. D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater</p> <p>17. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.</p> <p>18. D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.</p> <p>19. D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.</p> <p>20. 503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.</p> <p>21. 503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.</p> <p>22. Table D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					<p>cul-de-sac.</p> <p>23. 503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.</p> <p>24. D103.5 Fire apparatus access road gates. If installed-Gates securing the fire apparatus access roads shall comply with all the following criteria: Single gate width shall not be less than 20 feet. 12 feet gate width is required for a divided roadway. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official. Note: The use of a Knox Gate Switch is currently required by the Fire Official. Methods of locking shall be submitted for approval by the fire code official. Note: The Knox Padlock is currently required by the Fire Official. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed, and installed to comply with the requirements of ASTM F 2200.</p> <p>25. Commercial development of the property will require further Development Services review.</p>	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
46	Utility Plan	Note	Mina Trinidad : DS	Closed	(Informational) AEP Texas Distribution has no comment.	
5	Plat	Note	Mark Zans : DS	Closed	<p>The application is in incomplete status. Please submit the following items to move the plat forward.</p> <ol style="list-style-type: none"> 1. Application for Land Subdivision with the preliminary plat type of plat checked on the first page. Please fill out all information and have owner and surveyor/engineer sign the third page. 2. a completely fill out Disclosure of Interest form. this form can be found on the city of Corpus Christi website under development services / forms. 3. A copy of the latest deeds showing the ownership of the land being platted. Grantee on deeds should match people who are signing the plat. 4. A utility plan showing all present and future utility connections including all underground facilities and any pipelines. 5. The site is over 1 acre in size, a SWQMP plan for the entire site will be required. 6. Since this is a commercial site a PHT (Peak Hour Trip) form will be required. 7. Please submit all plans and documents via the portal. A completeness check will be run again on submitted items. 	
12	Plat	Note	Mina Trinidad : DS	Closed	This plat is on the 30-day tract for approval, approval with conditions, or disapproval by August 28, 2025.	
13	Plat	Note	Mina Trinidad : DS	Closed	(Informational) CCRTA: This plat is located along but not immediately adjacent to any bus stops served by CCRTA Service Route 27 Leopard.	
15	Plat	Note	Mina Trinidad : DS	Closed	(Informational) Equistar Pipeline: Based on the information provided Equistar Pipeline will not be affected and has no comment.	
16	Plat	Note	Mina Trinidad : DS	Closed	(Informational) GIS: Plat closes within acceptable engineering standards.	
19	Plat	Note	Alex Harmon : DS	Closed	Provide private drainage easement for detention ponds, or place a note that Lot 9 is non-buildable.	
20	Plat	Callout	Alex Harmon : DS	Closed	Should this plat extend the access easement to Lot 7 and/or 9 or will Lot 7 and/or 9 have access along frontage only?	
21	Plat	Note	Alex Harmon : DS	Closed	Place 20 ft UE along lots 4-7 and Lot 9 along IH-69 frontage road.	
22	Plat	Note	Alex Harmon : DS	Closed	Any questions on easements for waterlines should be directed to NWCID #3.	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
33	Plat	Note	Mina Trinidad : DS	Closed	(Informational) Parks and Recreation Department: No fees applicable as prelim plat designates lot for commercial buildings. As such, since no proposed residential dwelling units are being constructed, no fees are to be applied.	
34	Plat	Note	Mina Trinidad : DS	Closed	<p>(Informational) Traffic/ROW: Comments 1-8</p> <p>1. Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7)</p> <p>2. Proposed driveway access to a public maintained by the Texas Department of Transportation (TXDOT) shall conform to TXDOT criteria. The developer and/or agent is responsible for coordination with the local TXDOT Area Office.</p> <p>3. The PW-Traffic Department(Right-of-Way Division) is responsible for reviewing and permitting new construction and repairs/modifications to driveways, sidewalks, and curb and gutter. The review and approval of the permit must be approved prior to the issuance of the building permit (issued by DSD). (Refer to Municode Chapter 49-30 for permit requirements.)</p> <p>4. A ROW Construction Permit, issued by PW-Traffic Department (Right-of-Way Division), is required for any work obstructing, closing, or occupying public right-of-way (Reference Chapter 49-2). Work within the Right-of-Way without a permit is subject to daily Non-Compliance Fees (Reference Municode Chapter 49).</p> <p>5. Provide the PHT form using 11th edition, or latest edition, of the Trip Generation Manual . A PHT Form is required for any rezoning, site plan or street closure request for developments that are projected to contain 500 or fewer weekday peak hour trips. A traffic impact analysis will be required for developments generating or 501 trips. (Reference UDC Section 3.29)</p> <p>6. An Urban Transportation Plan Amendment is required to modify or delete a master planned street. Coordinate with the Traffic Department (TrafficEngineering@cctexas.com) to complete this separate process and requirements.</p> <p>7. Any street excavation, utility cut, or utility tap requires a permit issued by the Traffic Department (Right-of-Way Division). Restoration requirements are subject to the street Pavement Condition Index (PCI) and street age. New streets (Any street 0-6</p>	

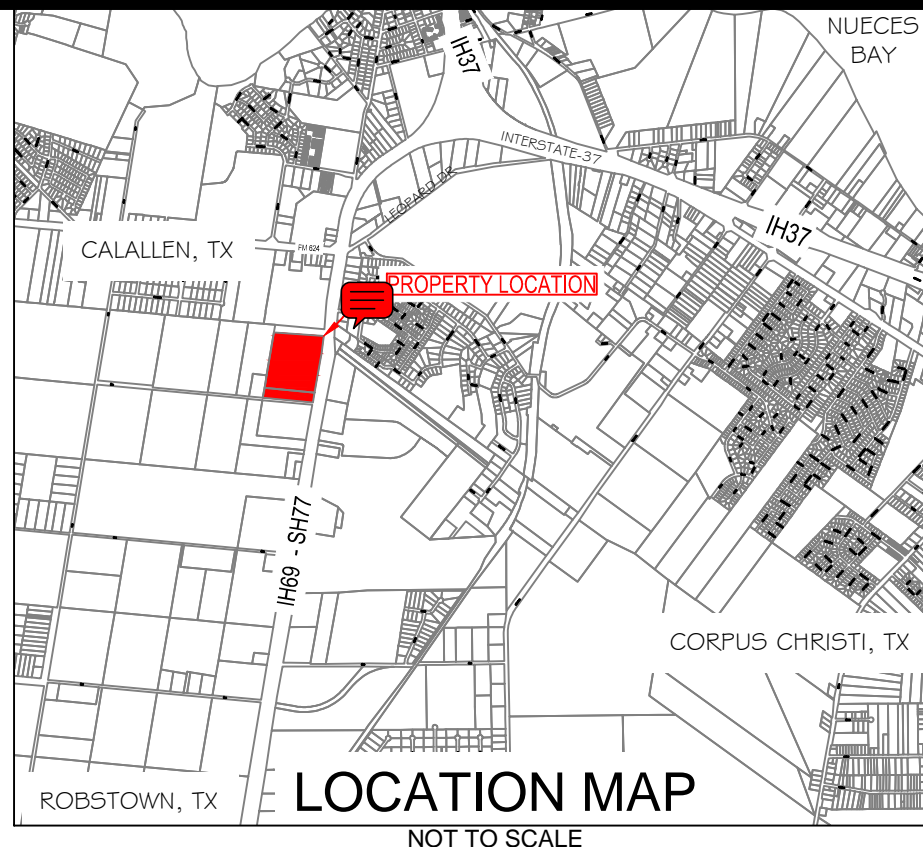
Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
					years and / or PCI \geq 80) will require restoration of 25-ft beyond the outermost edge of the excavation and up to curb to curb repair. Older streets (Any street > 6 years or PCI < 80) will require restoration of 10-ft beyond the outermost edge of the excavation and up to full lane (Refer to Municode Section 49-47-1). 8. Sidewalks required on both sides of local street as per IDM Chapter 6 - Street Design Requirements. Table 6.2.2 Street Right-of-Way Dimension Standards	
35	Plat	Note	Mina Trinidad : DS	Closed	Remove signature blocks on plat. Plat does go to Planning Commission but does not get recorded so signature blocks are not needed.	
36	Plat	Note	Mina Trinidad : DS	Closed	On the location site map, zoom into the subject property for better visibility.	
37	Plat	Note	Mina Trinidad : DS	Closed	Ensure all plat notes are numbered.	
38	Plat	Note	Mina Trinidad : DS	Closed	Remove adjacent property owner names from plat.	
39	Plat	Note	Mina Trinidad : DS	Closed	Increase the block number text size.	
47	Plat	Note	Mina Trinidad : DS	Closed	08/25: Applicant requests additional review time, spoke with EJB. Deadline is now 9/27/25.	
29	Plat	Note	Caleb Wong : STREET	Closed	PW STR: Informational - Please coordinate with Public Works Traffic Engineering regarding driveway spacing along City Right-of-Way along CR 52	
30	Plat	Note	Caleb Wong : STREET	Closed	PW STR: Informational - Based on the Corpus Christi GIS Viewer, IH 69 Access is TxDOT jurisdiction. Please coordinate with TxDOT.	
31	Plat	Note	Caleb Wong : STREET	Closed	PW STR: Informational - Please refer to City of Corpus Christi Standards and Specifications for proposing roadwork, curb and gutter, sidewalk, utilities, etc and have the standards included in the plan set and the specifications referenced. Wherever available, please include a table of contents for which standards and specifications were used.	
32	Plat	Note	Caleb Wong : STREET	Closed	PW STR: Informational - A person shall be held responsible for damage to and in public right-of-way for the criteria outlined in Sec. 49-39-9 in the City's Municipal Code and will be held responsible for restoring the City assets per Municipal Code Sec. 49-47-1, Sec. 49-54-6 and Sec. 49-49-3. For further information, please email ROWManagement@cctexas.com.	



PLAT - FULL SIZE = 18 x 24
MINOZ ENGINEERING, LLC 1 2023 (D:\2025_2025\XDS\2025-25-127 REPLAT - CALALLEN -3601 IH8 Access Rd., Corpus Christi, 78410\DELIVERABLES\2.dwg)

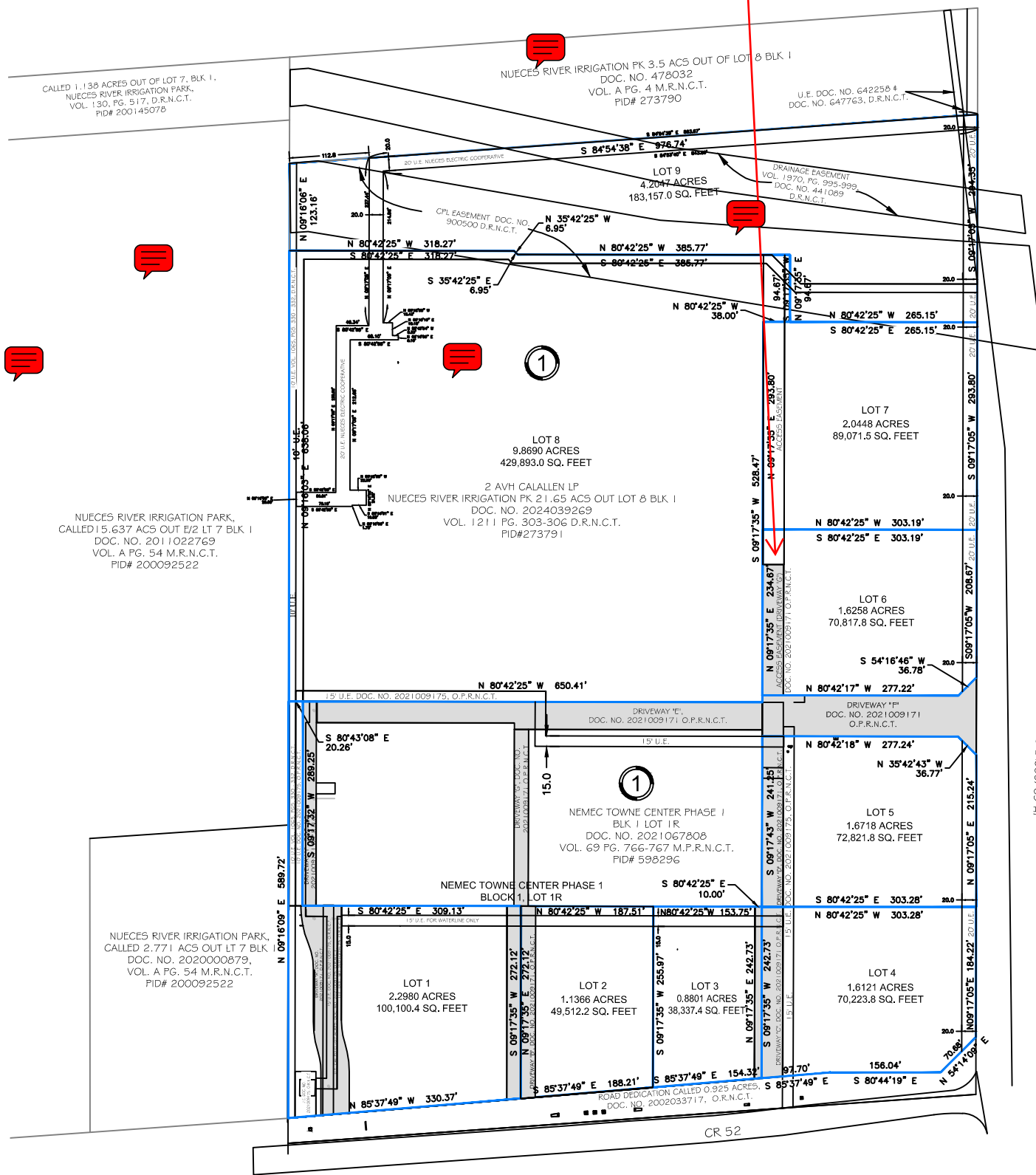
PRELIMINARY PLAT OF NEMEC TOWNE CENTER PHASE 2 BLOCK 1

BEING A RE-PLAT OF A CALLED 25.343 ACRE TRACT OF LAND SITUATED IN LOT 8,
BLOCK 1, NUECES RIVER IRRIGATION PARK SUBDIVISION, AS RECORDED IN VOLUME A,
PAGE 54, MAP RECORDS NUECES COUNTY, TEXAS, AND BEING THE SAME TRACT OF
LAND (CALLED 21.65 ACRES) AS CONVEYED TO 2AVH CALALLEN LP, TEXAS LIMITED
PARTNERSHIP IN DOCUMENT NO. 2024039269, & THE SAME TRACT LAND (CALLED 3.76
ACRES) AS CONVEYED TO 2AVH CALALLEN LP, TEXAS LIMITED PARTNERSHIP IN
DOCUMENT NO. 2024039249, OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS.



NOT TO SCALE

Should this plat extend the
access easement to Lot 7
and/or 9 or will Lot 7
and/or 9 have access
along frontage only?



DEVELOPMENT INFORMATION

- PROPERTY OWNER
2 AVH CALALLEN LP
- ENGINEER
Rebecca Gonzales, P.E.
Morris & Associates, Engineers, LLC
- SURVEYOR
Xavier D. Sandoval R.P.L.S.

LOT INFORMATION

COMMERCIAL = 9 LOTS 25.3430 ACRES
DEDICATION = 0.00 ACRES
TOTAL = 9 LOTS 25.3430 ACRES

PLAT NOTES

TOTAL PLATTED AREA CONTAINS 25.3430 ACRES OF LAND, INCLUDING RIGHT-OF-WAY
DEDICATIONS AND EASEMENTS.

- FEMA INFORMATION: THIS PROPERTY IS IN ZONE X ON FLOOD INSURANCE RATE MAP
COMMUNITY-PANEL NO. 48355C0260G. MAP WITH A EFFECTIVE DATE OF OCTOBER 13,
2022. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE
ENGINEER OR SURVEYOR.
- RECEIVING WATERS
NUECES RIVER DRAINAGE BASIN
THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS
THE NUECES RIVER. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR
THE NUECES RIVER, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE
AREA. THE NUECES RIVER FLOWS DIRECTLY INTO THE NUECES BAY. THE TCEQ
HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE NUECES BAY AS
"EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING
WATER AS "CONTACT RECREATION" USE.
- LOT 9 IS NON-BUILDABLE.
- ALL FOUND PROPERTY CORNERS ARE NOTATED ON THE PLAT.
- GRID BEARINGS AND DISTANCES SHOWN HEREON ARE REFERENCED TO THE TEXAS
COORDINATE SYSTEM OF 1983, TEXAS SOUTH ZONE 4205, AND ARE BASED ON THE
NORTH AMERICAN DATUM OF 1983 (2011) EPOCH 2010.00.
- THE SURVEYOR CAN NOT CERTIFY AS TO UN-RECORDED EASEMENTS AND/OR
RIGHT-OF-WAY THAT MAY IMPACT THE SUBJECT PROPERTY AND ARE NOT VISIBLE AND
APPARENT.
- CAUTION MUST BE TAKEN WITH PIPELINE MARKERS INDICATING BURIED LINES NOT ON
RECORD.
- THIS SUBDIVISION INCLUDES PRIVATE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO,
STREETS, FACILITIES AND EASEMENTS THAT HAVE NOT BEEN DEDICATED TO THE
PUBLIC OR ACCEPTED BY THE CITY OF CORPUS CHRISTI OR ANY OTHER LOCAL
GOVERNMENT AGENCY AS PUBLIC RIGHTS-OF-WAY. THE CITY OF CORPUS CHRISTI
HAS NO OBLIGATION, NOR ANY OTHER LOCAL GOVERNMENT AGENCY HAVE ANY
OBLIGATION, TO MAINTAIN, REPAIR, INSTALL OR CONSTRUCT PRIVATE IMPROVEMENTS
WITHIN THE SUBDIVISION UNLESS DAMAGE IS NEGLIGENT BY SUCH ENTITY. THE
OBLIGATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY
OF THIS SUBDIVISION.

1/4-69 (200 R.O.W.)
VOL. 1067 PG. 416, D.R.N.C.T.

0 200 400 600

PLAT ABBREVIATION LEGEND

M.R. - MAP RECORDS	D.R. - DEED RECORDS
VOL - VOLUME	PG - PAGE
SEC - SECTION	LT - LOT
AC - ACRE	SF - SQUARE FEET
NB - NON-BUILDABLE	R.O.W. - RIGHT-OF-WAY
YR - YARD REQUIREMENT	AE - ACCESS EASEMENT
UE - UTILITY EASEMENT	DE - DRAINAGE EASEMENT

PLAT SYMBOL AND LINE LEGEND

●	IRON ROD FOUND
○	PLASTIC CAP STAMPED "XDS"
⊗	BLOCK IDENTIFICATION
—	PROPERTY LINE
---	ADJOINING PROPERTY
---	EASEMENT

"PRELIMINARY, THIS DOCUMENT SHALL NOT
BE RECORDED FOR ANY PURPOSE AND
SHALL NOT BE USED OR VIEWED OR
RELIED UPON AS A FINAL SURVEY DOCUMENT"

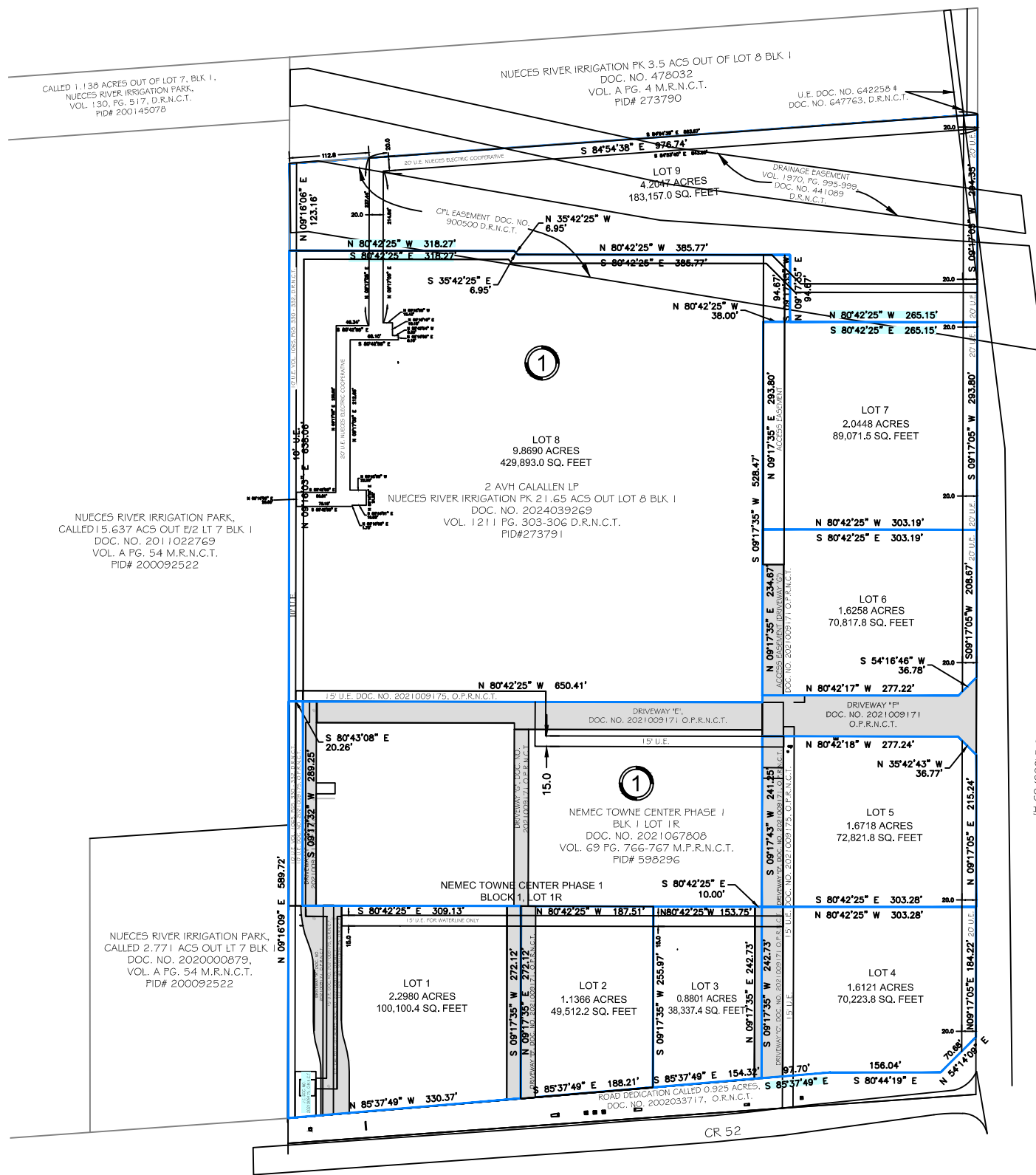
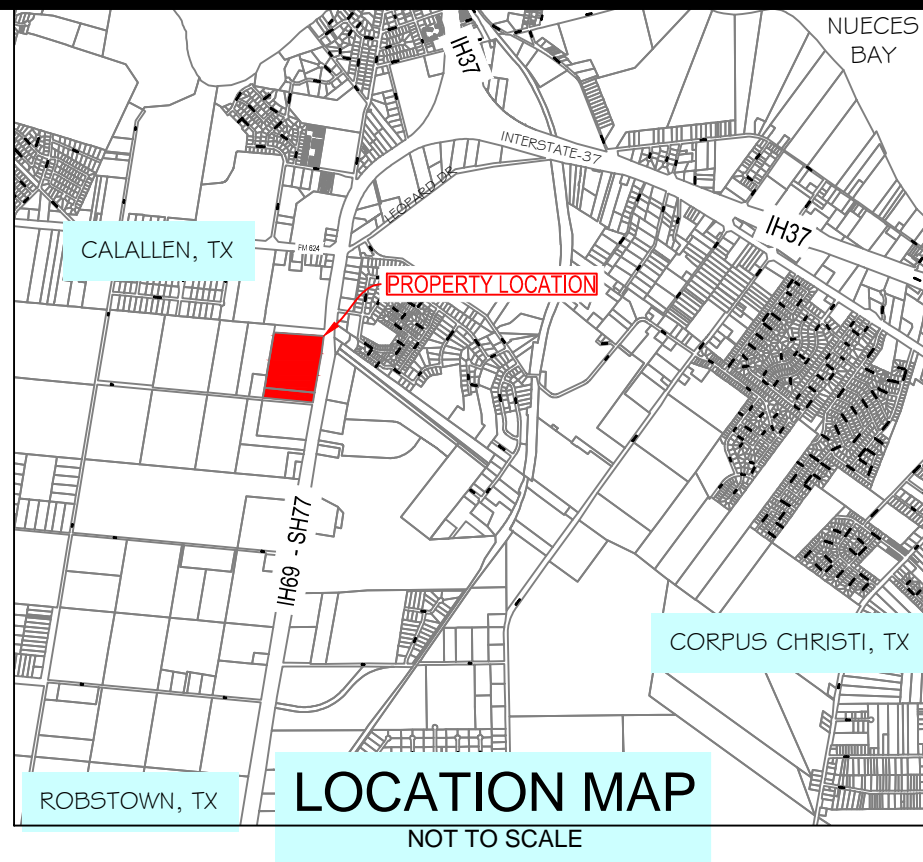
SURVEYING & MAPPING

DRAWN BY: XDS	DATE: 07/20/2025
APPROVED: XDS	DATE: 07/20/2025
SCALE: 1" = 20'	PROJECT NO: 25-620

NEMEC TOWNE CENTER
PHASE 2, BLOCK 1
CORPUS CHRISTI, NUECES COUNTY, TEXAS

PRELIMINARY PLAT OF NEMEC TOWNE CENTER PHASE 2 BLOCK 1

BEING A RE-PLAT OF A CALLED 25.343 ACRE TRACT OF LAND SITUATED IN LOT 8, BLOCK 1, NUECES RIVER IRRIGATION PARK SUBDIVISION, AS RECORDED IN VOLUME A, PAGE 54, MAP RECORDS NUECES COUNTY, TEXAS, AND BEING THE SAME TRACT OF LAND (CALLED 21.65 ACRES) AS CONVEYED TO 2AVH CALALLEN LP, TEXAS LIMITED PARTNERSHIP IN DOCUMENT NO. 2024039269, & THE SAME TRACT LAND (CALLED 3.76 ACRES) AS CONVEYED TO 2AVH CALALLEN LP, TEXAS LIMITED PARTNERSHIP IN DOCUMENT NO. 2024039249, OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS.



DEVELOPMENT INFORMATION

- PROPERTY OWNER
2 AVH CALALLEN LP

LOT INFORMATION

COMMERCIAL = 9 LOTS 25.3430 ACRES
DEDICATION = 0.00 ACRES

- ENGINEER
Rebecca Gonzales, P.E.
Morris & Associates, Engineers, LLC
- SURVEYOR
Xavier D. Sandoval R.P.L.S.

TOTAL = 9 LOTS 25.3430 ACRES

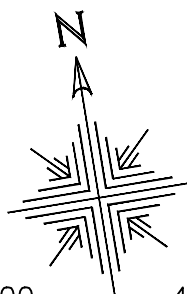
PLAT NOTES

TOTAL PLATTED AREA CONTAINS 25.3430 ACRES OF LAND, INCLUDING RIGHT-OF-WAY DEDICATIONS AND EASEMENTS.

- FEMA INFORMATION: THIS PROPERTY IS IN ZONE X ON FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 48355C0260G, MAP WITH A EFFECTIVE DATE OF OCTOBER 13, 2022. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.
- RECEIVING WATERS
NUECES RIVER DRAINAGE BASIN
THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE NUECES RIVER. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE NUECES RIVER, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE NUECES RIVER FLOWS DIRECTLY INTO THE NUECES BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE NUECES BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
- LOT 9 IS NON-BUILDABLE.
- ALL FOUND PROPERTY CORNERS ARE NOTATED ON THE PLAT.
- GRID BEARINGS AND DISTANCES SHOWN HEREON ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, TEXAS SOUTH ZONE 4205, AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (2011) EPOCH 2010.00.
- THE SURVEYOR CAN NOT CERTIFY AS TO UN-RECORDED EASEMENTS AND/OR RIGHT-OF-WAY THAT MAY IMPACT THE SUBJECT PROPERTY AND ARE NOT VISIBLE AND APPARENT.
- CAUTION MUST BE TAKEN WITH PIPELINE MARKERS INDICATING BURIED LINES NOT ON RECORD.
- THIS SUBDIVISION INCLUDES PRIVATE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, STREETS, FACILITIES AND EASEMENTS THAT HAVE NOT BEEN DEDICATED TO THE PUBLIC OR ACCEPTED BY THE CITY OF CORPUS CHRISTI OR ANY OTHER LOCAL GOVERNMENT AGENCY AS PUBLIC RIGHTS-OF-WAY. THE CITY OF CORPUS CHRISTI HAS NO OBLIGATION, NOR ANY OTHER LOCAL GOVERNMENT AGENCY HAVE ANY OBLIGATION, TO MAINTAIN, REPAIR, INSTALL OR CONSTRUCT PRIVATE IMPROVEMENTS WITHIN THE SUBDIVISION UNLESS DAMAGE IS NEGLIGENT BY SUCH ENTITY. THE OBLIGATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY OF THIS SUBDIVISION.

1/4-69 (200 R.O.W.)
VOL. 1067 PG. 416, D.R.N.C.T.

0 200 400 600



PLAT ABBREVIATION LEGEND

M.R. - MAP RECORDS	D.R. - DEED RECORDS
VOL - VOLUME	PG - PAGE
SEC - SECTION	LT - LOT
AC - ACRE	SF - SQUARE FEET
NB - NON-BUILDABLE	R.O.W. - RIGHT-OF-WAY
YR - YARD REQUIREMENT	AE - ACCESS EASEMENT
UE - UTILITY EASEMENT	DE - DRAINAGE EASEMENT

PLAT SYMBOL AND LINE LEGEND

●	IRON ROD FOUND
○	PLASTIC CAP STAMPED "XDS"
⊗	BLOCK IDENTIFICATION
—	PROPERTY LINE
---	ADJOINING PROPERTY
---	EASEMENT

"PRELIMINARY, THIS DOCUMENT SHALL NOT
BE RECORDED FOR ANY PURPOSE AND
SHALL NOT BE USED OR VIEWED OR
RELIED UPON AS A FINAL SURVEY DOCUMENT"

SURVEYING & MAPPING

DRAWN BY: XDS	DATE: 07/20/2025
APPROVED: XDS	DATE: 07/20/2025
SCALE: 1" = 20'	PROJECT NO: 25-620

NEMEC TOWNE CENTER PHASE 2, BLOCK 1 CORPUS CHRISTI, NUECES COUNTY, TEXAS

TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
October 1, 2025

PL8912

REPLAT – Bluff Portion Addition

Lot 5R, Block 19

(0.23 Acres)

(District 1) Generally located at 717 North Tanchua Street, on the southwest corner of North Tanchua Street and Antelope Street.

Zoned: CBD

Owner: Corpus Christi Properties Ltd.

Surveyor: Texas Geo Tech

The applicant proposes to replat the property to eliminate lot line and combine properties for building permits. All Technical Review Committee comments have been addressed. The submitted Replat complies with the requirements of the Unified Development Code and State law. Staff recommends **approval**.

**Merged Document Report****Application No.: PL8912**

Description :	
Address :	
Record Type :	PLAT

Submission Documents:

Document Filename
250901 Plat-R1 PL8912.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Mark Zans	markz2@cctexas.com	361-826-3553
Mina Trinidad	minar@cctexas.com	361-826-3259
Caleb Wong	calebw@cctexas.com	361-826-3392
Alex Harmon	alexh2@cctexas.com	361-826-1102

General Comments

Comment ID	Author : Department	Status	Review Comments	Applicant Response Comments
8	Alex Harmon : DS	Closed	Improvements Required for Recordation, per UDC 8.1.4. A. Streets: No Sidewalks: No B. Water: No Fire hydrants: No C. Wastewater: No D. Stormwater: No E. Public open space: No F. Permanent monument markers: No Please note, improvements required should be constructed to city standards, found in Article 8 and the IDM.	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Review Comments	Applicant Response Comments
1	Plat	Note	Mina Trinidad : DS	Closed	This Plat Application has requested the 30-day review tract. Please keep in mind that once the Technical Review Committee (TRC) comments are sent back to you, you will have the option to request additional review time (if needed). If you do not request additional review time, your application will be sent to Planning Commission with open comments from TRC.	
3	Plat	Note	Mark Zans : LD	Closed	Please clarify Corpus Christi Properties name. Is it LTD. or INC.	
4	Plat	Note	Mark Zans : LD	Closed	Please clarify Corpus Christi Properties name. Is it LTD. or INC.	
9	Plat	Note	Mark Zans : LD	Closed	Change secretary name to Michael Dice	
5	Plat	Note	Caleb Wong : STREET	Closed	PW STR: Informational - Please refer to City of Corpus Christi Standards and Specifications for proposing roadwork, curb and gutter, sidewalk, utilities, etc and have the standards included in the plan set and the specifications referenced. Wherever available, please include a table of contents for which standards and specifications were used.	
6	Plat	Note	Caleb Wong : STREET	Closed	PW STR: Informational - A person shall be held responsible for damage to and in public right-of-way for the criteria outlined in Sec. 49-39-9 in the City's Municipal Code and will be held responsible for restoring the City assets per Municipal Code Sec. 49-47-1, Sec. 49-54-6 and Sec. 49-49-3. For further information, please email ROWManagement@cctexas.com.	

WE, CORPUS CHRISTI PROPERTIES LTD., HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LANDS EMBRACED WITHIN THE BOUNDARIES OF THE FORGOING PLAT; THAT IT HAS HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN; THAT STREETS AS SHOWN ARE DEDICATED TO THE PUBLIC FOREVER; THAT ALL EASEMENTS ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND USE OF PUBLIC UTILITIES; THAT THIS MAP WAS MADE FOR THE PURPOSE OF DESCRIPTION AND DEDICATION.

MARY JO BRANSCOMB, MANAGING MEMBER OF PROPS MANAGEMENT, LLC
A SOLE GENERAL PARTNER OF CORPUS CHRISTI PROPERTIES, LTD.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY
MARY JO BRANSCOMB.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED
ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS BY THE PLANNING
COMMISSION.

MICHAEL DICE, SECRETARY

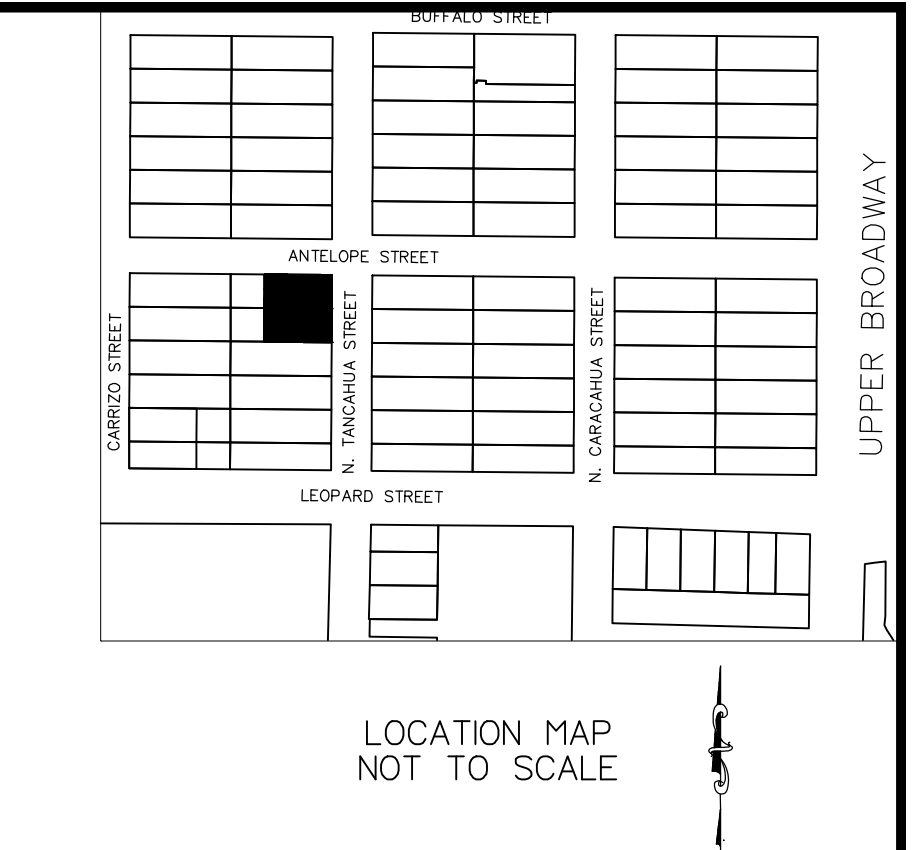
THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED
BY THE DEVELOPMENT SERVICES ENGINEER OF THE CITY OF CORPUS
CHRISTI, TEXAS.

BRIA WHITMIRE, P.E. CFM. CPM
DEVELOPMENT SERVICES ENGINEER

I, JARREL L. MOORE, A REGISTERED PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IS TRUE AND CORRECT; THAT I HAVE BEEN ENGAGED UNDER CONTRACT TO SET ALL LOT AND BLOCK CORNERS AND COMPLETE SUCH OPERATIONS WITHOUT DELAY.

JARREL L. MOORE
REGISTERED PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4854

BEING A RE-PLAT OF THE EAST 100 FEET OF LOTS 5 AND 6, BLOCK 19, BLUFF PORTION ADDITION, A SUBDIVISION IN THE CITY OF CORPUS CHRISTI, NUECES COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME A, PAGE 2-3, MAP RECORDS OF NUECES COUNTY, TEXAS.

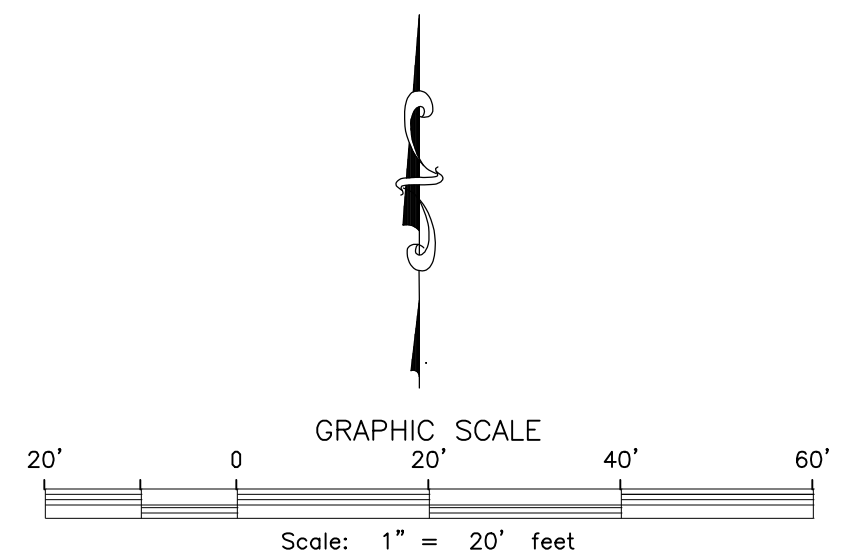


LOCATION MAP
NOT TO SCALE

- 1) THE TOTAL PLATTED AREA CONTAINS 0.23 ACRES OF LAND.
- 2) THE YARD REQUIREMENT, AS DEPICTED IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
- 3) PER FLOOD INSURANCE RATE MAP, MAP INDEX, COMMUNITY-PANEL NUMBER 48355C0320G, MAP REVISED 10/13/2022, THE SUBJECT PROPERTY IS LOCATED IN ZONE X AREAS OF MINIMAL FLOOD HAZARD.
- 4) ALL BEARINGS REFER TO THE TEXAS STATE PLANE COORDINATE SYSTEM OF 1983, TEXAS SOUTH ZONE.
- 5) THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE CORPUS CHRISTI BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE CORPUS CHRISTI BAY AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE CORPUS CHRISTI BAY AS "CONTACT RECREATION" USE.
- 6) PROPOSED DRIVEWAY ACCESS TO A PUBLIC CITY STREET SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS OUTLINED IN ARTICLE 7 OF THE UDC (UDC 7.1.7)
- 7) DURING THE DEVELOPMENT OF THE SITE, ANY INCREASE IN STORMWATER RUNOFF FLOW RATES MUST BE MITIGATED IN ACCORDANCE WITH UDC 8.2.8A, 8.2.B, AND IDM 3.0.5 RESULTING IN NO ADVERSE IMPACT BETWEEN EXISTING CONDITIONS AND PROPOSED CONDITIONS.

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE _____ DAY OF _____, 2025, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____, 2025, AT _____ O'CLOCK _____M. AND DULY RECORDED THE _____ DAY OF _____, 2025, AT _____ O'CLOCK _____M, IN VOLUME _____, PAGE _____, MAP RECORDS NUECES COUNTY, TEXAS.

BY: _____ DEPUTY



5525 S. STAPLES ST. SUITE B2
Corpus Christi, TX 78411
(361) 993-0808 Fax (361) 993-2955
JOB # 250901
SEPTEMBER 18, 2025

STATE OF TEXAS
COUNTY OF NUECES

WE, CORPUS CHRISTI PROPERTIES LTD., HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LANDS EMBRACED WITHIN THE BOUNDARIES OF THE FORGOING PLAT; THAT IT HAS HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN; THAT STREETS AS SHOWN ARE DEDICATED TO THE PUBLIC FOREVER; THAT ALL EASEMENTS ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND USE OF PUBLIC UTILITIES; THAT THIS MAP WAS MADE FOR THE PURPOSE OF DESCRIPTION AND DEDICATION.

THIS THE_____ DAY OF _____ 2025.

MARY JO BRANSCOMB, MANAGING MEMBER OF PROPS MANAGEMENT, LLC
A SOLE GENERAL PARTNER OF CORPUS CHRISTI PROPERTIES, LTD.

STATE OF TEXAS
COUNTY OF NUECES

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY
MARY JO BRANSCOMB.

THIS THE_____ DAY OF _____ 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED
ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS BY THE PLANNING
COMMISSION.

THIS THE_____ DAY OF _____ 2025.

CYNTHIA S. GARZA, CHAIRPERSON

MICHAEL DICE, SECRETARY

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED
BY THE DEVELOPMENT SERVICES ENGINEER OF THE CITY OF CORPUS
CHRISTI, TEXAS.

THIS THE_____ DAY OF _____ 2025.

BRIA WHITMIRE, P.E. CFM. CPM
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
COUNTY OF NUECES

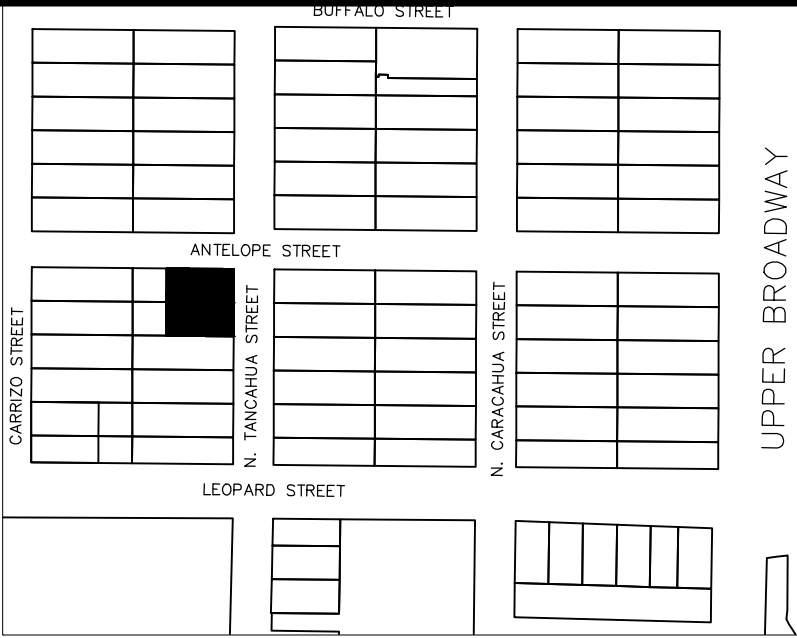
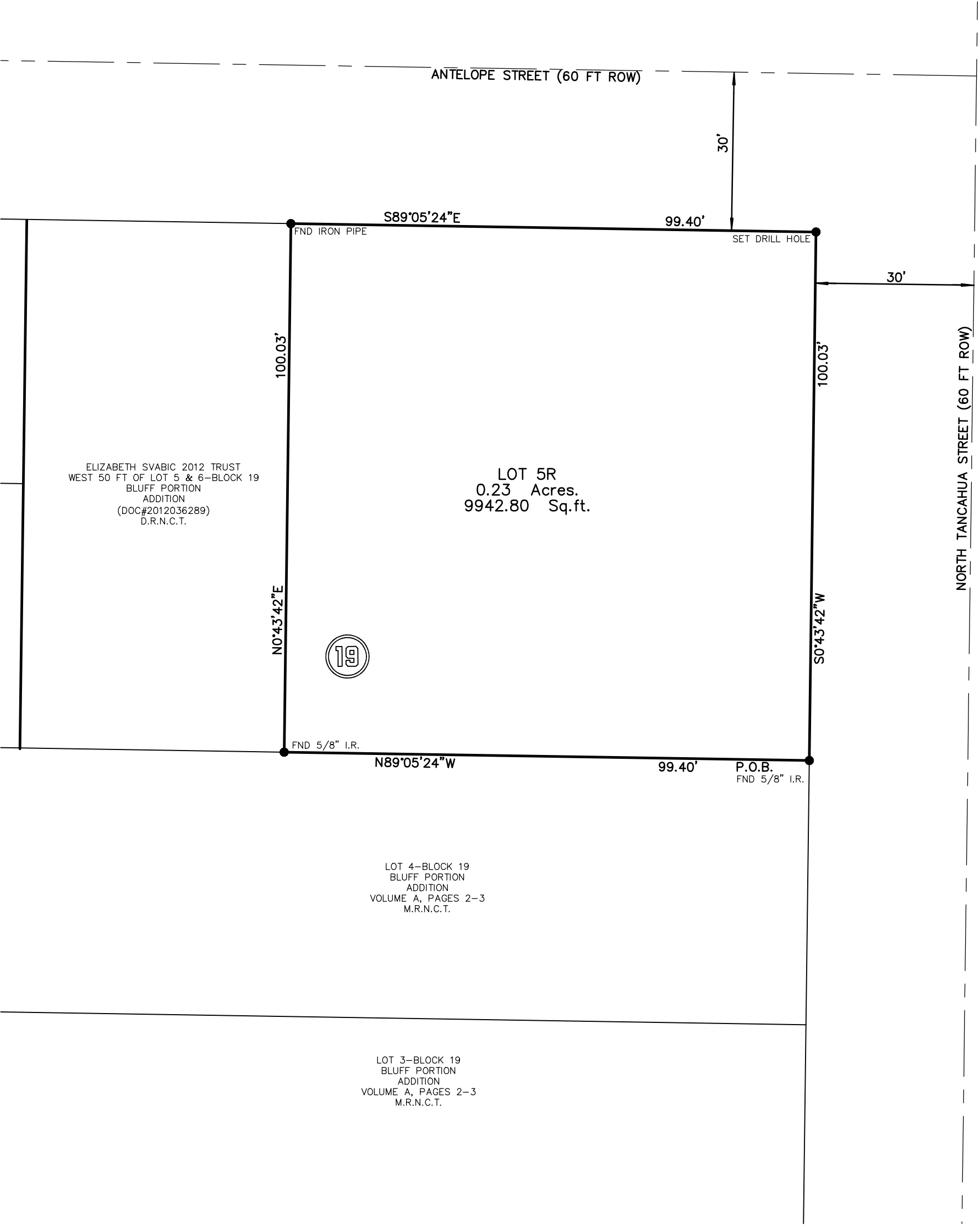
I, JARREL L. MOORE, A REGISTERED PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IS TRUE AND CORRECT; THAT I HAVE BEEN ENGAGED UNDER CONTRACT TO SET ALL LOT AND BLOCK CORNERS AND COMPLETE SUCH OPERATIONS WITHOUT DELAY.

THIS THE 29TH DAY OF JULY 2025.

JARREL L. MOORE
REGISTERED PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4854

BLUFF PORTION ADDITION BLOCK 19, LOT 5R

BEING A RE-PLAT OF THE EAST 100 FEET OF LOTS 5 AND 6, BLOCK 19, BLUFF PORTION ADDITION, A SUBDIVISION IN THE CITY OF CORPUS CHRISTI, NUECES COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME A, PAGE 2-3, MAP RECORDS OF NUECES COUNTY, TEXAS.



LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

- 1) THE TOTAL PLATTED AREA CONTAINS 0.23 ACRES OF LAND.
- 2) THE YARD REQUIREMENT, AS DEPICTED IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
- 3) PER FLOOD INSURANCE RATE MAP, MAP INDEX, COMMUNITY-PANEL NUMBER 48355C03206, MAP REVISED 10/13/2022, THE SUBJECT PROPERTY IS LOCATED IN ZONE X AREAS OF MINIMAL FLOOD HAZARD.
- 4) ALL BEARINGS REFER TO THE TEXAS STATE PLANE COORDINATE SYSTEM OF 1983, TEXAS SOUTH ZONE.
- 5) THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE CORPUS CHRISTI BAY. THE TCEQ HAS CLASSFED THE AQUATIC LIFE USE FOR THE CORPUS CHRISTI BAY AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE CORPUS CHRISTI BAY AS "CONTACT RECREATION" USE.
- 6) PROPOSED DRIVEWAY ACCESS TO A PUBLIC CITY STREET SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS OUTLINED IN ARTICLE 7 OF THE UDC (UDC 7.1.7)
- 7) DURING THE DEVELOPMENT OF THE SITE, ANY INCREASE IN STORMWATER RUNOFF FLOW RATES MUST BE MITIGATED IN ACCORDANCE WITH UDC 8.2.8A, 8.2.8, AND IDM 3.05 RESULTING IN NO ADVERSE IMPACT BETWEEN EXISTING CONDITIONS AND PROPOSED CONDITIONS.

STATE OF TEXAS
COUNTY OF NUECES

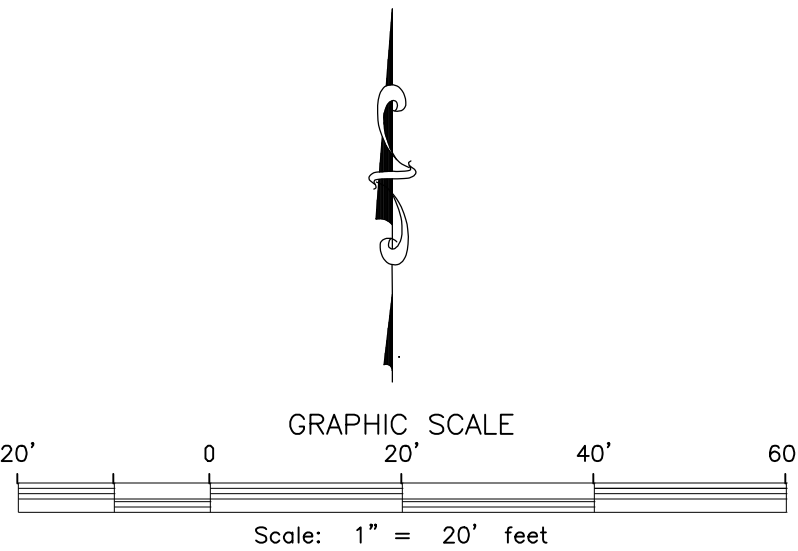
I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE DAY OF _____, 2025, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____, 2025, AT _____ O'CLOCK _____M. AND DULY RECORDED THE _____ DAY OF _____, 2025, AT _____ O'CLOCK _____M., IN VOLUME _____, PAGE _____, MAP RECORDS NUECES COUNTY, TEXAS.

KARA SANDS, COUNTY CLERK
NUECES COUNTY, TEXAS

AT _____ O'CLOCK _____M.

_____, 2025

BY: _____ DEPUTY



TEXAS GEO TECH
LAND SURVEYING, INC

5525 S. STAPLES ST. SUITE B2
Corpus Christi, TX 78411
(361) 993-0808 Fax (361) 993-2955
JOB # 250901
SEPTEMBER 18, 2025

**TECHNICAL REVIEW PLAT REQUIREMENTS
REGULAR PLANNING COMMISSION MEETING
October 1, 2025**

22PL1061

FINAL – Landmark at Airline
(11.16 acres)

(D5) Generally located at 3538 Airline Road, north of Slough Road, and west of Rodd Field Road.

Zoned: RM-3

Owner: Airline Multifamily Partners, LP

Surveyor: Urban Engineering

Background

GENERAL PLAT INFORMATION	
Plat Application	22PL1061
Subdivision	Landmark at Airline
Final Plat Approved	9/21/2022
Previous Time Extensions Granted	9/5/2023, 9/21/2024
Date of Extension Current Request	9/8/2025
Expiration Date	9/21/2025
Submitted on Time	Yes
Documentation Submitted	Request for Extension Submitted
Justification Provided	“The developer is still working with HUD on the financing for this project. There are several factors that have affected the financing, which include the apartment market in Corpus Christi, high interest rates, high construction costs, high insurance costs, high property taxes, and tight lending policies. The developer has invested a great deal of time and money in this project and is still looking to complete the project once these conditions have improved “
Phasing	No

Staff Review (Based on UDC §3.8.3.E. Expiration)

LAND DEVELOPMENT	
Are there engineering plans, utility coordination, or environmental reviews underway or completed?	NA
Staff Notes:	Stormwater improvements required. Plat approval prior to PI's being required for recordation (Ord. 033317 3/25/2024)
Are there any approved waivers? Does this time extension affect the waiver(s)?	No
Have there been any major redesigns or scope changes since preliminary plat approval?	No
CONTRACTS	
Are there any associated reimbursement agreements that need to be extended?	No
If so, do costs need to be updated to today's rates and submitted for approval?	NA

If approved, the new expiration date would be October 1, 2026 – 12 months from the date of the Planning Commission's approval of the extension. Staff recommends **approval**.

September 8, 2025

Via: email

Elena Buentello
City of Corpus Christi
2406 Leopard Street
Corpus Christi, Texas 78408

Re: Time Extension Request

22PL1061 - Landmark at Airline, Block 1, Lot 1 (final plat)
Airline Multifamily Partners, LP
Project No. 0000012103/42878.C1.01

Ms. Buentello:

The final plat of Landmark at Airline is coming up for expiration on September 21, 2025. At this time, we, Urban Engineering, on behalf of Airline Multifamily Partners, LP would like to request an additional time extension of twelve (12) months for the above referenced project. The developer is still working with HUD on the financing for this project. There are several factors that have affected the financing, which include the apartment market in Corpus Christi, high interest rates, high construction costs, high insurance costs, high property taxes, and tight lending policies. The developer has invested a great deal of time and money in this project and is still looking to complete the project once these conditions have improved. Please feel free to call if you have any questions or comments.

Regards,

Urban Engineering

A handwritten signature in blue ink, appearing to read 'Xavier Galvan', with a stylized, flowing script.

Xavier Galvan
Sr. Platting Technician
xgalvan@dccm.com

General Notes:

1. Total platted area contains 11.16 Acres of Land.
2. The receiving water for the storm water runoff from this property is the Oso Bay. The TCEQ has classified the aquatic life use for the Oso Bay as "exceptional" and "oyster waters". The TCEQ also categorized the receiving water as "contact recreation" use.
3. The yard requirement, as depicted is a requirement of the Unified Development Code and is subject to change as the zoning may change.
4. "If any lot is developed with residential uses, compliance with the open space regulation will be required during the building permit phase."

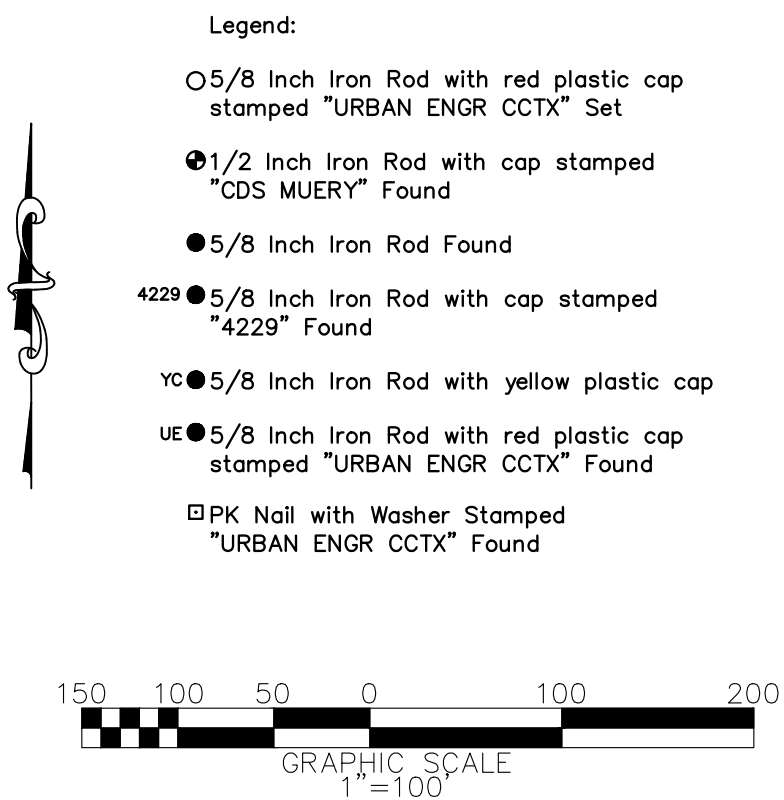
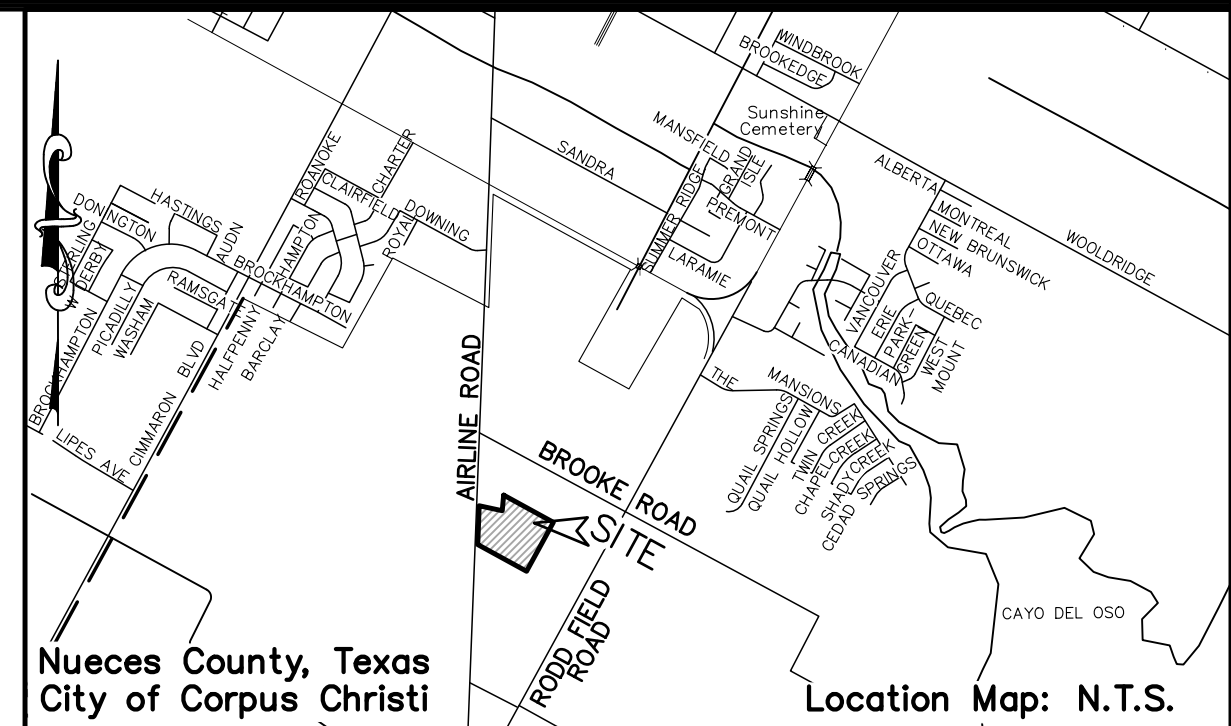
Surveyor's Notes:

1. Grid Bearings and Distances shown hereon are referenced to the Texas Coordinate System of 1983, Texas South Zone 4205, and are based on the North American Datum of 1983(2011) Epoch 2010.00.
2. Existing Flood Map: by graphic plotting only, this property is currently in Zone "C" of the Flood Insurance Rate Map (FIRM), Community Panel Number 485494 0540 C, City of Corpus Christi, Texas, which bears a date of March 18, 1985 and is not in a Special Flood Hazard Area. The existing FIRM Panel 485494 0540 C is based on the National Geodetic Vertical Datum of 1929 (NGVD).
3. Proposed Flood Map: this property is proposed to lie within Zone "X" of the Flood Insurance Rate Map (FIRM), Community Panel Number 48355C0540G, Nueces County, Texas, which bears a preliminary date of May 30, 2018. The Proposed FIRM Panel 48355C0540G is based on the North American Vertical Datum of 1988 (NAVD88).

APPROVED
SEPTEMBER 21, 2022
PLANNING COMMISSION

Plat of
Landmark at Airline
Block 1, Lot 1

11.16 Acres out of Lots 22 and 23, Section 20, Flour Bluff and Encinal Farm and Garden Tracts, a map of which is recorded in Volume A, Pages 41-43, Map Records of Nueces County, Texas, being the same property described in a General Warranty Deed from Guadalupe Leon and Maria Del Carmen Leon to Airline MultiFamily Partners LP, Document No. 2021066866, recorded in Official Records of Nueces County, Texas.



State of Texas
County of Nueces

Airline Multifamily Partners, a Texas limited partnership, hereby certifies that it is the owner of the lands embraced within the boundaries of the foregoing plat; that it has had said lands surveyed and subdivided as shown; that streets shown are dedicated to the public use forever; that easements as shown are dedicated to the public use for the installation, operation and use of public utilities; and that this map was made for the purpose of description and dedication.

This the _____ day of _____, 20____

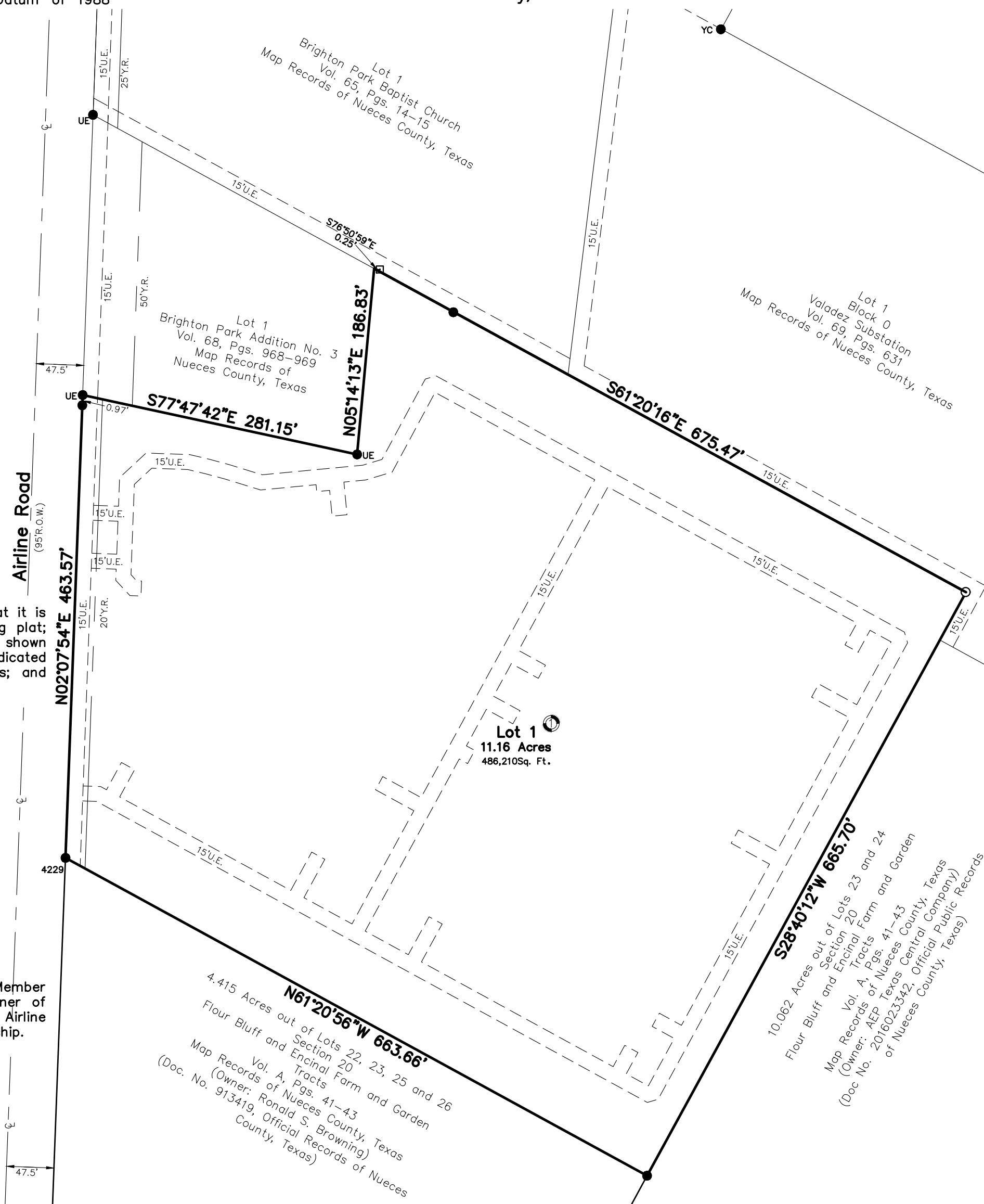
By: Airline Multifamily Partners, a Texas limited partnership
By: Bruin Ventures I LP, a Texas limited partnership, General Partner
By: Bruin Ventures, LLC, a Texas Limited Liability Company, General Partner
By: _____
Thomas M. Jones, Sole Member

State of Texas
County of Nueces

This instrument was acknowledged before me by Thomas M. Jones, Sole Member of Bruin Ventures, LLC, a Texas Limited Liability Company, General Partner of Bruin Ventures I LP, a Texas limited partnership, General Partner of Airline Multifamily Partners, a Texas limited partnership, on behalf of said partnership.

This the _____ day of _____, 20____

Notary Public in and for the State of Texas



State of Texas
County of Nueces

This final plat of the herein described property was approved by the Department of Development Services of the City of Corpus Christi, Texas.

This the _____ day of _____, 20____

Brett Flint, P.E.
Development Services Engineer

State of Texas
County of Nueces

This final plat of the herein described property was approved on behalf of the City of Corpus Christi, Texas by the Planning Commission.

This the _____ day of _____, 20____

Al Raymond, III, AIA
Secretary

Dan Dibble
Chairman

State of Texas
County of Nueces

I, Kara Sands, Clerk of the County Court in and for said County, do hereby certify that the foregoing instrument dated the ____ day of _____, 20____, with its certificate of authentication was filed for record in my office the ____ day of _____, 20____. At ____ O'clock ____M., and duly recorded the ____ day of _____, 20____, at ____ O'clock ____M., in said County in Volume _____, Page _____, Map Records.

Witness my hand and seal of the County Court, in and for said County, at office in Corpus Christi, Texas, the day and year last written.

No. _____
Filed for Record

at _____ O'clock ____M.
_____, 20____

Kara Sands, County Clerk
Nueces County, Texas

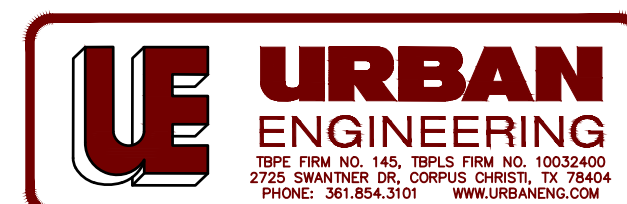
By: _____
Deputy

State of Texas
County of Nueces

I, Brian D. Lorentson, a Registered Professional Land Surveyor for Urban Engineering, have prepared the foregoing map from a survey made on the ground under my direction and is true and correct to the best of my knowledge, information and belief; I have been engaged under contract to set all Lot and Block corners as shown herein and to complete such operations with due and reasonable diligence consistent with sound professional practice.

This the _____ day of _____, 20____
Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Brian D. Lorentson, R.P.L.S.
Texas License No. 6839



Submitted: 03/30/22
SCALE: 1"=100'
JOB NO.: 42878.C1.01
SHEET: 1 of 1
DRAWN BY: JAB

©2022 by Urban Engineering
urbansurvey1@urbaneng.com

ZONING REPORT

CASE ZN8855

Applicant & Subject Property			
District: 1 Owner: William Mays Applicant: Melden & Hunt Inc Address: 15349 Northwest Boulevard, located along the south side of Northwest Boulevard, north of County Road 52, east of County Road 73, and west of Interstate Highway 69 and Farm-to-Market Road 1889. Legal Description: 68.79 Acres Out of the McIntyre Partition Acreage of Subject Property: 68.8 acres. Refer to Attachment (A) Metes and Bounds.			
Zoning Request			
From: "FR" Farm Rural District To: "RS-6" Single-Family District Purpose of Request: To allow a medium-density residential subdivision.			
Land Development & Surrounding Land Uses			
	Zoning District	Existing Land Use	Future Land Use
Site	"FR" Farm Rural	Agricultural	Mixed Use, Medium-Density Residential, Low-Density Residential
North	"OCL" Outside City Limits	Residential Estate, Vacant, Professional Office, Commercial	Transportation (Northwest Boulevard), Outside City Limits
South	"OCL" Outside City Limits	Agricultural	Outside City Limits
East	"CG-2" General Commercial, "RM-1" Multi-Family, "RS-6" Single-Family, "OCL" Outside City Limits	Vacant, Agricultural, Residential Estate, Park	Mixed-Use, Medium-Density Residential, Planned Development
West	"FR" Farm Rural "OCL" Outside City Limits	Residential Estate, Vacant, Agricultural	Mixed-Use, Medium-Density Residential, Low-Density Residential

Plat Status: The subject property is not platted. Master Preliminary and Preliminary plats have been submitted for review to Development Services.

Military Compatibility Area Overlay District (MCAOD, Effective August 22, 2022): The subject property is not within a MCAOD District.

Code Violations: None

Roadway Master Plan

	Designation	Section Proposed	Section Existing
Northwest Boulevard	"A3" Primary Arterial Divided	70-Foot ROW 4 Lanes, Center Turn Lane	70-Foot ROW 4 Lanes, Center Turn Lane
	Designation	Section Proposed	Section Existing
Carousal Lane (Proposed)	"C1" Minor Residential Collector	60-Foot ROW 2 Lanes, No Median/Center Turn Lane	NA
	Designation	Section Proposed	Section Existing
River Trails Drive (Proposed)	"C1" Minor Residential Collector	60-Foot ROW 2 Lanes, No Median/Center Turn Lane	NA
	Designation	Section Proposed	Section Existing
Exxon Plant Road / Amanda Lane (Proposed)	"A2" Secondary Arterial Divided	60-Foot ROW 2 Lanes, No Median/Center Turn Lane	NA

Transit: The Corpus Christi RTA does not provide service to the subject property.

Bicycle Mobility Plan: The subject property is approximately one mile west from the nearest 1-Way Cycle Track (Both Sides), along Northwest Boulevard.

Utilities

Gas: An 8-inch (WS) grid main exists along the north side of Northwest Boulevard.

Stormwater: No infrastructure exists.

Wastewater: No infrastructure exists.

Water: No infrastructure exists.

Corpus Christi Comprehensive Plan

Plan CC: Provides a vision, goals, and strategies, to guide, regulate, and manage future development and redevelopment within the corporate limits and extraterritorial jurisdiction (ETJ) was adopted in 2016.

ADP (Area Development Plan): According to Plan CC the subject property is located within the Northwest ADP (Adopted on January 9, 2001).

Water Master Plan: No improvements have been proposed. Wastewater Master Plan: Improvements have been proposed; which, include a gravity main and lift station. Stormwater Master Plan: No improvements have been proposed. Roadway Master Plan: Improvements have been proposed, which, include widening of Northwest Boulevard and construction of proposed rights-of-way.	
Public Notification	
Number of Notices Mailed	25 within a 200-foot notification area 2 outside 200-foot notification area
In Opposition	0 inside the notification area 0 outside the notification area 0 % in opposition within the 200-foot notification area (0 individual property owner)
Public Hearing Schedule	
Planning Commission Hearing Date: October 1, 2025 City Council 1st Reading/Public Hearing Date: November 11, 2025 City Council 2nd Reading Date: November 18, 2025	

Background:

The subject property is a 68.8-acre tract, out of the Northwest area of the city, located along the south side of Northwest Boulevard, an A3 class arterial road, and south of the city's limits.

The surrounding properties are mostly vacant, with the east zoned "CG-2" General Commercial, "RM-1" Multi-Family, "RS-6" Single-Family 6, and "OCL" Outside City Limits. The medium-density residential subdivision to the east of the parcel is within the "RS-6" zoning district. The properties to the south are outside city limits, and the properties to the west are zoned "FR" Farm Rural District, with residential estate and agricultural uses, and portion vacant.

The applicant is requesting a change of zoning from the "FR" Farm Rural District to the "RS-6" Single-Family 6 district to accommodate a medium-density residential subdivision with approximately 226 lots with some amenities.

The "RS-6" Single Family 6 Residential District allows for single-family detached houses and group homes. A limited number of public and civic uses are allowed, subject to the restrictions necessary to preserve and protect the single-family character of the neighborhood.

Plan CC (City of Corpus Christi Comprehensive Plan) Consistency:

The proposed rezoning is consistent with Elements, Goals and Strategies for Decision Makers:

- Corpus Christi development patterns support efficient and cost-effective use of resources and a high quality of life.
 - Encourage orderly growth of new residential, commercial, and industrial areas.
 - Promote a balanced mix of land uses to accommodate continuous growth and promote the proper location of land uses based on compatibility, locational needs, and characteristics of each use.

Northwest ADP (Area Development Plan) and FLUM (Future Land Use Map) Consistency:

The proposed rezoning is consistent with the Northwest ADP; however, is inconsistent with the future land use designations of mixed-use along Northwest Boulevard, and Low-Density Residential at the south half of the tract. The future land use designation is Medium-Density Residential in-between.

Staff Analysis:

Staff reviewed the subject property's background information and the applicant's purpose for the rezoning request and conducted research into the property's land development history to include platting, zoning, existing surrounding land uses, and potential code violations. Staff compared the proposed zoning's consistency with the applicable elements of the comprehensive plan. As a result of the above analysis, staff notes the following:

- The proposed rezoning is generally consistent with elements and goals of the City of Corpus Christi comprehensive plan (Plan CC); however, it is inconsistent with the future land use designation of mixed-use along Northwest Boulevard (at a depth of approximately 600 feet), and low-density residential at the south half of the tract (at a depth of 2,250 feet). The overall tract depth is approximately 4,600 feet.
- The requested amendment, if approved, would be compatible with the present zoning and conforming uses of nearby property and to the character of the surrounding neighborhood.
- The property is suitable for the uses permitted by the zoning district that would be applied by the proposed amendment if approved.

Staff Recommendation:

After evaluation of case materials provided and subsequent staff analysis including land development, surrounding uses and zoning, transportation and circulation, utilities, Comprehensive Plan consistency, and considering public input, Staff Recommends approval of the change of zoning from the "FR" Farm Rural District to the "RS-6" Single-Family 6 District.

Attachment(s):

- (A) Metes & Bounds Description and Exhibit.
- (B) Existing Zoning and Notice Area Map.
- (C) Tentative Subdivision Layout and Phasing Plans

(A) Metes & Bounds Description with Exhibit

MURRAY BASS, JR., P.E., R.P.L.S.
NIXON M. WELSH, P.E., R.P.L.S.
www.bass-welsh.com

3054 S. ALAMEDA, ZIP 78404
361-882-5521 ~ FAX 361-882-1265
e-mail: murrayjr@aol.com
c-mail: nixmw1@gmail.com

BASS & WELSH ENGINEERING

TX Registration No. F-52

Survey Registration No. 100027-00

P.O. Box 6397
Corpus Christi, TX 78466-6397

April 24, 2025

Field Note Description

Being a tract situated in Corpus Christi, Nueces County, Texas, being generally described as that tract as described in the deed to Katherine Lontos, at all in the Deed recorded on the Clerk's File Number 2005011825, Deed Records, Nueces County, Texas, save and except that 30 foot wide strip deeded to the State of Texas for additional right-of-way for Farm to Market Road 624;

BEGINNING at a 5/8 inch iron rod found for the northeast corner of the 0.39 acre tract described in the deed recorded in Clerk's File Number 2012028051, Deed Records, Nueces County, Texas;

THENCE S84°53'22"E along the south right-of-way line of Farm to Market Road 624, a distance of 623.87 feet to a 5/8 inch iron rod found for the northeast corner of this tract said point being the northwest corner of a 2.48 acre tract out of the Mostaghani Investment Trust, Document Number 2019002135, Deed Records, Nueces County, Texas;

THENCE S08°46'57"W at 274.56 feet pass the southwest corner of the 2.48 acre tract, at 1447.01 feet pass the northwest corner of The Lakes Northwest Unit 2, as shown on the map thereof recorded in Volume 70, at Pages 3 through 5 of the Map Records of Nueces County, Texas, at 2312.88 feet pass a 5/8 inch iron rod found for the southwest corner of the heretofore referenced The Lakes Northwest Unit 2 Subdivision, and the northwest corner of Rio Lado Acres Unit 2, as shown on the map thereof, recorded in Volume 44 at pages 190 through 191, of the Map Records of Nueces County, Texas, at 3561.92 feet pass a 3/4 inch iron rod found for the southwest corner of Rio Lado Acres Unit 2 and the northwest corner of Stonegate Block 3, as shown on the map thereof, recorded in Volume 68 at Pages 540 through 543, Map Records, Nueces County, Texas, and in all a distance of 4157.97 feet to a 5/8 inch iron rod set for the southeast corner of this tract said point being a corner of a 150.09 acre tract in the name of Randall R. Harwell and wife Stephanie, described in the Deed recorded in Clerk's File Number 2015051648, of the Deed Records, Nueces County, Texas, for the southeast corner of this tract;

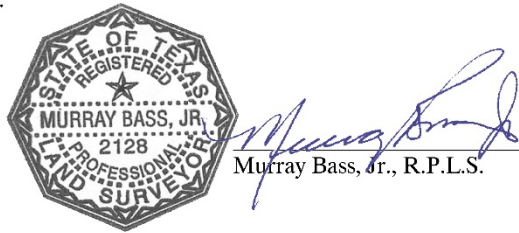
THENCE N80°34'56"W a distance of 738.86 feet to a 5/8 inch iron rod set for an interior corner of the heretofore referenced 159.09 acre tract and the southwest corner of this tract;

THENCE N09°00'42"E, at a distance of 2216.77 feet pass a 1 inch iron pipe found for the southeast corner of the 7.458 acre tract out of the north portion of the 472.63 acre tract of the Shawna Bass et al Tract and in all a distance of 3933.22 feet to a 5/8 inch iron rod found for the southwest corner

of the heretofore referenced 0.39 acres out of the McIntyre Partition and the southerly northwest corner of this tract;

THENCE S84°59'45"E a distance of 99.74 feet to a 5/8 inch iron rod found for the southeast corner of the 0.39 acre tract and an interior corner of this tract;

THENCE N09°06'10"E a distance of 170.06 feet to the **POINT OF BEGINNING** forming a tract embracing 68.89 acres(3,000,775 square feet).



Note: Basis of bearing: State of Texas, Lambert Grid, South Zone, NAD 1983.

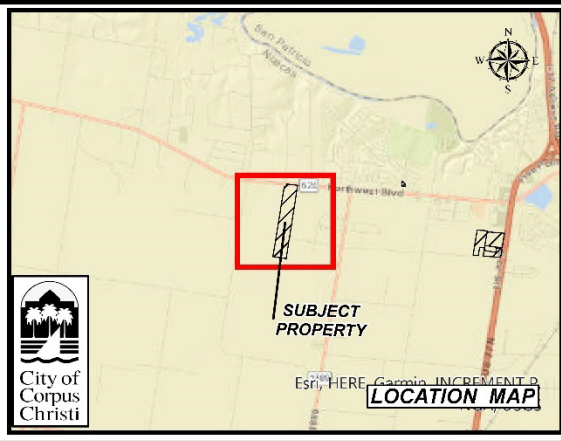
MBJ:cmg

25008-RhodesDevelopment-FM24atCalallen-M&B

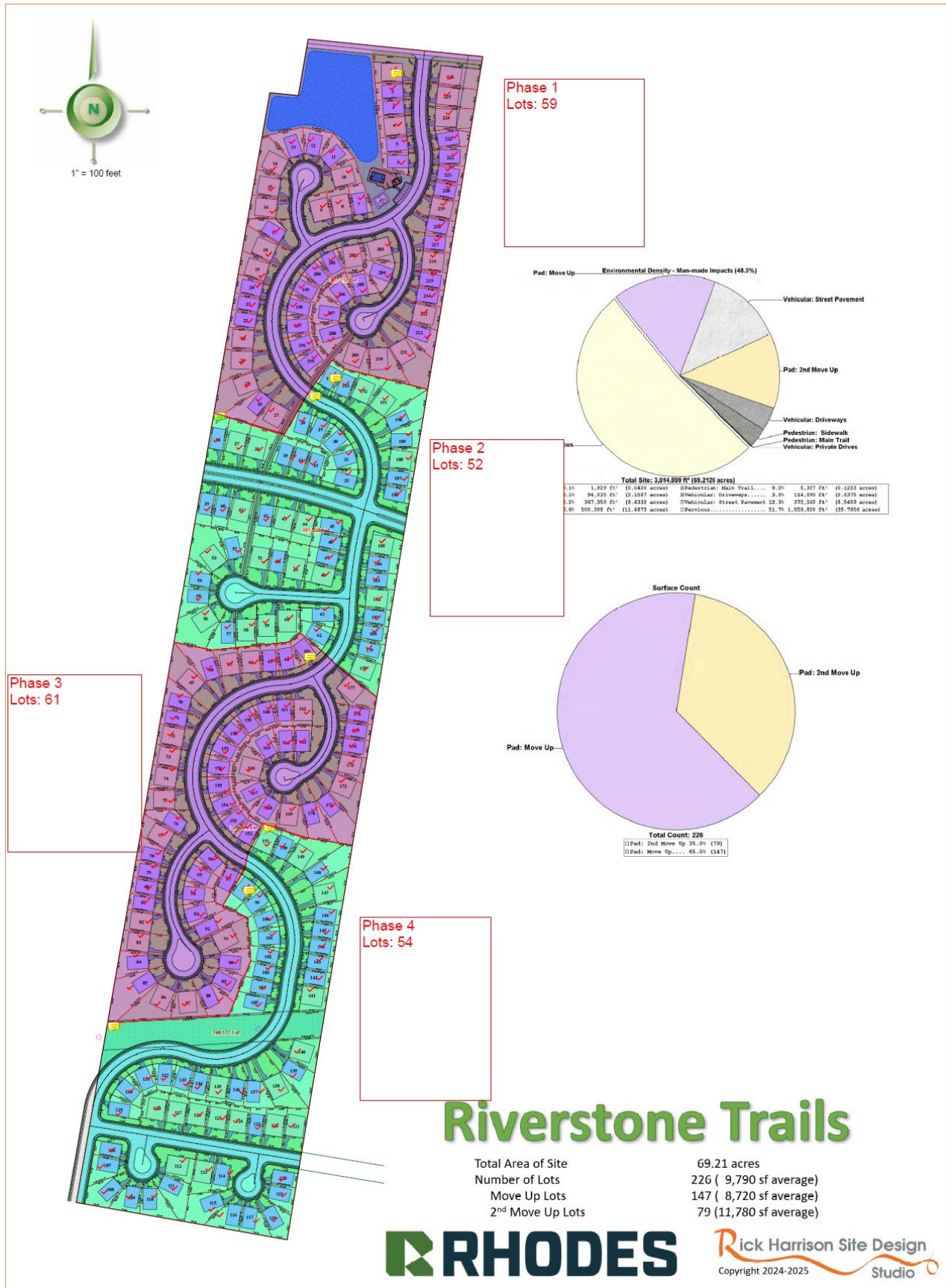
This is a detailed plat map of a portion of the City of Chicago, showing various land parcels and their zoning designations. The map includes Northwest Blvd at the top, CR-73 GR running vertically on the left, and several streets including Lake Athens Ave, Sahari Lake, W Barber Ln, Masters, and Amanda Ln. A large parcel is shaded with diagonal lines and labeled "SUBJECT PROPERTY" and "FR". Other parcels are labeled with zoning codes such as CG-2, RM-1, RS-4.5, RS-6, and RM-3. A cluster of small lots is numbered 1 through 25. The map also shows a river area on the right side.

RM-1	Multifamily 1	IL	Light Industrial
RM-2	Multifamily 2	IH	Heavy Industrial
RM-3	Multifamily 3	PUD	Planned Unit Dev. Overlay
ON	Professional Office	RS-10	Single-Family 10
RM-AT	Multifamily AT	RS-6	Single-Family 6
CN-1	Neighborhood Commercial	RS-4.5	Single-Family 4.5
CN-2	Neighborhood Commercial	RS-TF	Two-Family
CR-1	Resort Commercial	RS-15	Single-Family 15
CR-2	Resort Commercial	RE	Residential Estate
CG-1	General Commercial	RS-TH	Townhouse
CG-2	General Commercial	SP	Special Permit
CI	Intensive Commercial	RV	Recreational Vehicle Park
CBD	Downtown Commercial	RMH	Manufactured Home
CR-3	Resort Commercial		
FR	Farm Rural		
H	Historic Overlay		
BP	Business Park		

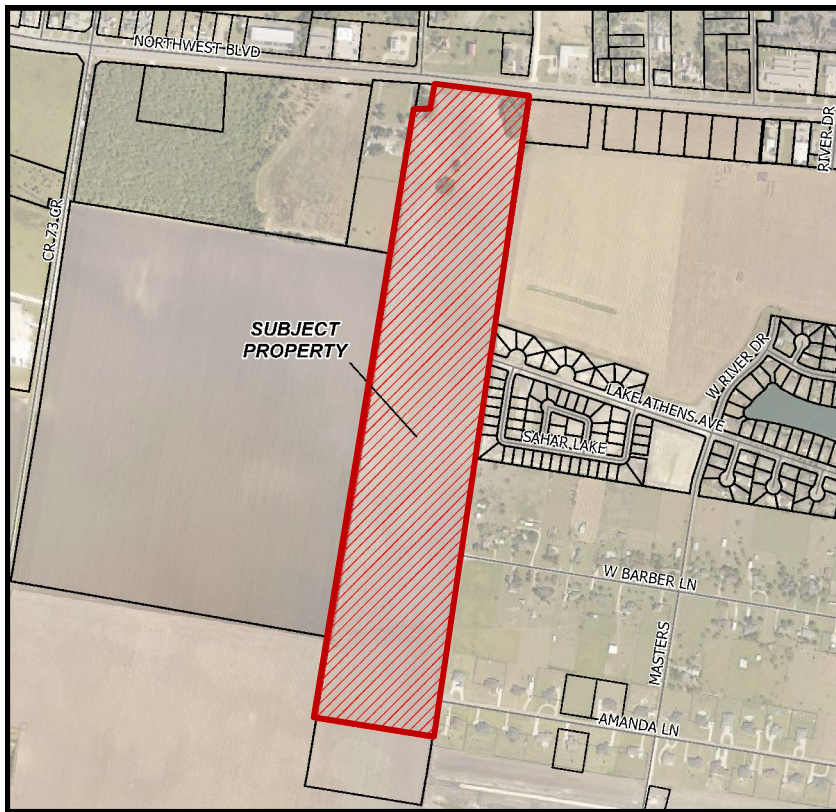
X Owners
in opposition



(C) Tentative Subdivision Layout and Phasing Plans

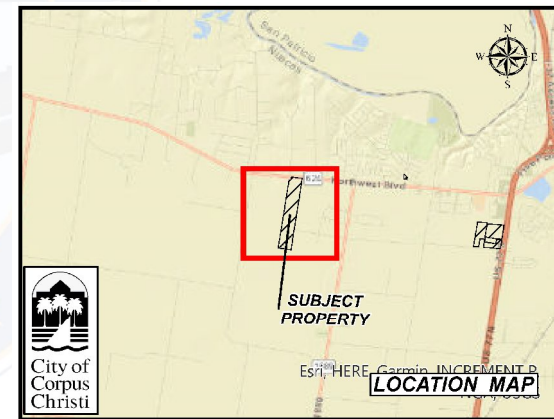


Zoning Case ZN8855



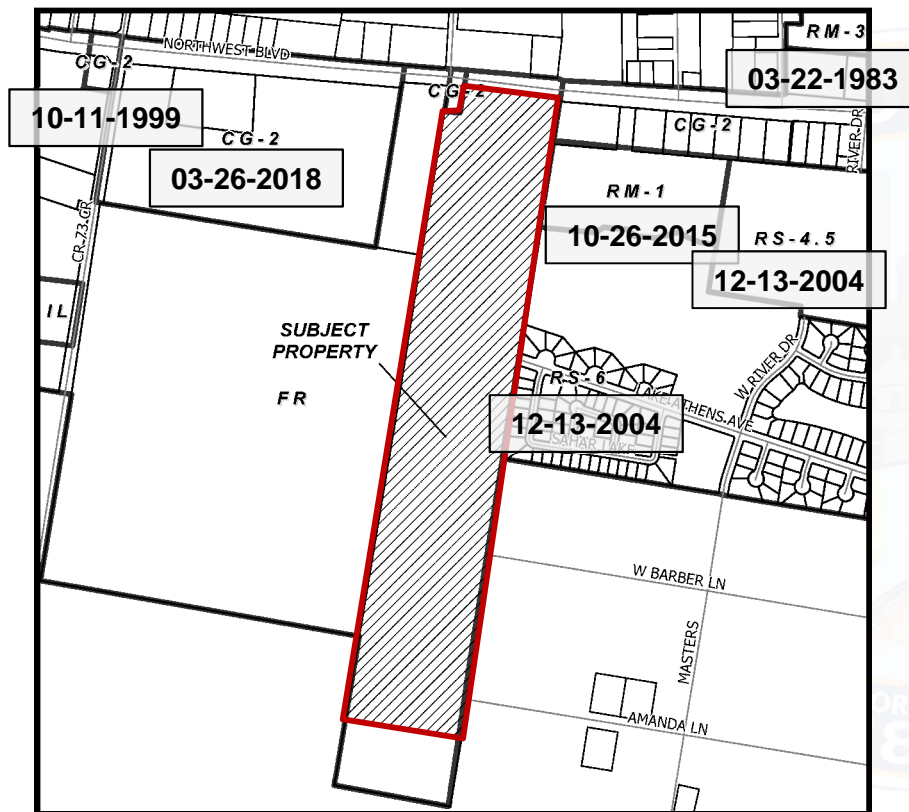
William Mays
District 1

Rezoning for a property at or near
15349 Northwest Boulevard
From the "FR" Farm Rural District
To the "RS-6" Single-Family 6 District



Planning Commission
October 1, 2025

Zoning and Land Use



Proposed Use:

To allow a medium-density residential subdivision

ADP (Area Development Plan):

Northwest Blvd, Adopted on January 9, 2001

FLUM (Future Land Use Map):

Mixed Use, Medium- and Low-Density Residential

Existing Zoning District:

"FR" Farm Rural District

Adjacent Land Uses:

North: Agricultural; Zoned: OCL

South: Agricultural; Zoned: OCL

East: Vacant, Agricultural, Residential Estate, Park; Zoned: CG-2, RM-1, RS-6, OCL

West: Residential Estate, Vacant, Agricultural; Zoned: FR, OCL

Public Notification

25 Notices mailed inside the 200' buffer
2 Notices mailed outside the 200' buffer

Notification Area

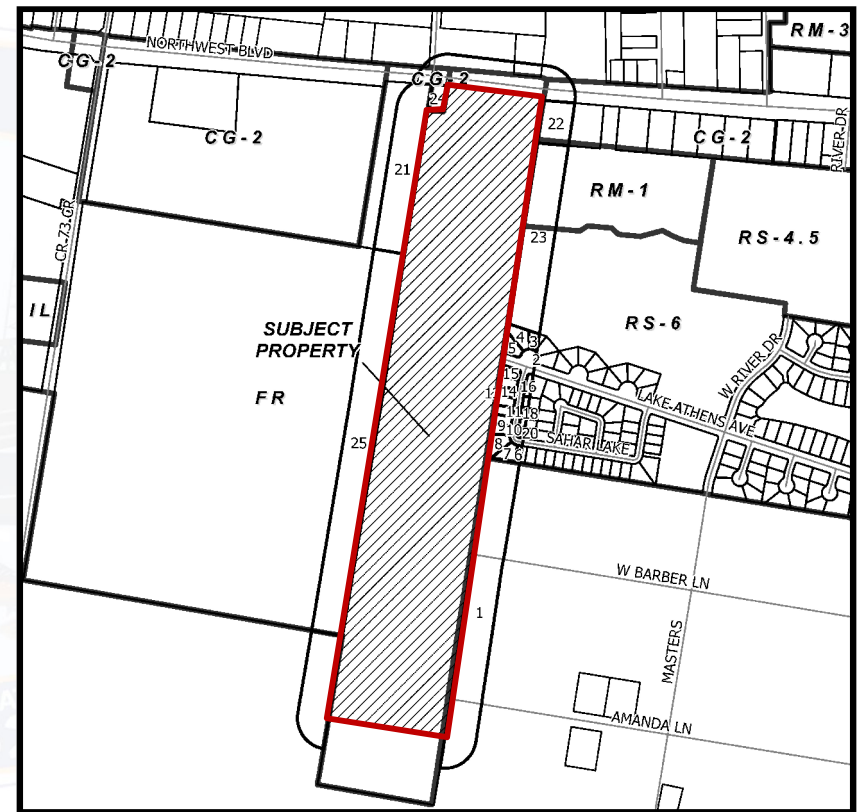
Opposed: 0 (0.00%)
Separate Opposed Owners: (0)

X

In Favor: 0 (0.00%)

O

**Notified property owner's land in SQF/ Total SQF of all properties in the notification area = Percentage of public in opposition and/or favor.*



Staff Analysis and Recommendation

- The proposed rezoning is generally consistent with elements and goals of the City of Corpus Christi comprehensive plan (Plan CC); however, it is inconsistent with the future land use designation of mixed-use along Northwest Boulevard at the south half of the tract.
- The requested amendment, if approved, would be compatible with the present zoning and conforming uses of nearby property and to the character of the surrounding neighborhood.
- The property is suitable for the uses permitted by the zoning district that would be applied by the proposed amendment if approved.

**STAFF RECOMMENDS APPROVAL
TO THE “RS-6” SINGLE-FAMILY 6 DISTRICT**

REGULAR PLANNING COMMISSION MEETING
10/1/2025

DEFERMENT AGREEMENT FOR

PROJECT: PL8160

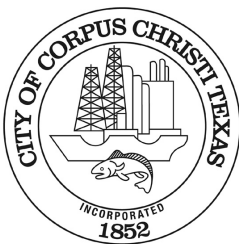
Solid Rock Industrial Park Phase I - Final Plat of 37.9 Acres Located north of Old Brownsville Rd. and Junior Beck Dr.

Owner: SRCP Management, LLC as General Partner of Solid Rock Commercial Properties, Ltd

The plat for Solid Rock Industrial Park Phase I was approved by Planning Commission on May 1, 2024. A layout of existing and proposed improvements is included as Exhibit 2 of the agreement. The development is located north of Old Brownsville Rd. and Junior Beck

Solid Rock Commercial Properties, Ltd is requesting deferment of the public improvements for Solid Rock Industrial Park Phase I without financial security. Any deviations from the approved standard form deferment agreement require a recommendation from the Planning Commission and approval by the City Council in accordance with UDC Section 8.1.10.B.4. Standard form deferment agreements require financial security in the amount of 110% of the cost of the deferred improvements

The Deferment Agreement for consideration provides no financial security. In lieu of financial security, the agreement provides that no building permit for vertical structures shall be issued for all or any portion of the real property that is subject of the plat until the deferred improvements are constructed and accepted by the City. If the owner defaults, the City shall not issue any building permits for vertical structures or certificate of occupancy. Additionally, the City may move to vacate such plat.



AGENDA MEMORANDUM

Action Item for the City Council Meeting of October 23, 2025

DATE: October 1, 2025

TO: Peter Zaroni, City Manager

FROM: Michael Dice, Director Development Services
michaeld3@cctexas.com
(361) 826-3596

Approval of a Deferment Agreement for infrastructure improvements at Solid Rock Industrial Park – Phase 1.

CAPTION:

Motion authorizing city manager or designee to execute a Deferment Agreement (“Agreement”) with Solid Rock Commercial Properties, Ltd (“Developer”), for the construction of paving, storm sewer, water, and sanitary sewer improvements at Solid Rock Industrial Park – Phase 1.

SUMMARY:

Solid Rock Commercial Properties, Ltd is developing a new light industrial subdivision and is required to construct infrastructure improvements. Developer has requested to enter into a deferment agreement for the infrastructure improvements. The total estimated construction cost of the deferred improvement is \$621,522.62.

BACKGROUND AND FINDINGS:

The plat for Solid Rock Industrial Park Phase I was approved by Planning Commission on May 1, 2024. A layout of existing and proposed improvements is included as Exhibit 2 of the agreement. The development is located north of Old Brownsville Rd. and Junior Beck.

Solid Rock Commercial Properties, Ltd is requesting deferment of the public improvements for Solid Rock Industrial Park Phase I without financial security. Standard form deferment agreements require a financial security of 110% of the construction costs

of all improvements. The Deferment Agreement for consideration provides no financial security. In lieu of financial security, the agreement provides that no building permit for vertical structures shall be issued for all or any portion of the real property that is subject of the plat until the deferred improvements are constructed and accepted by the City. If the owner defaults, the City shall not issue any building permits for vertical structures or certificate of occupancy. Additionally, the City may move to vacate such plat.

ALTERNATIVES:

Do not approve the deferment agreement and require either full construction of public improvements or a standard form deferment agreement with financial security to record the plat.

FINANCIAL IMPACT:

N/A

Funding Detail:

N/A

RECOMMENDATION:

Staff recommends approval.

LIST OF SUPPORTING DOCUMENTS:

Ordinance (with exhibits)
Agreement (with exhibits)
Presentation
Location Map

DEFERMENT AGREEMENT

STATE OF TEXAS §
 §
COUNTY OF NUECES §

This deferment agreement ("Agreement") is entered into between the City of Corpus Christi ("City"), a Texas home-rule municipality, and Solid Rock Commercial Properties, Ltd ("Developer"), a Texas Limited Partnership in order to defer the completion of certain required public improvements prior to recording the final plat of SOLID ROCK INDUSTRIAL PARK – PHASE 1 (the "Plat"). A copy of the Plat is attached and incorporated by reference into this Agreement as **Exhibit 1**.

WHEREAS, the Developer is obligated under Section 8.1 of the Unified Development Code ("UDC") to construct the required public improvements before the final Plat is endorsed by the City's City Engineer or Development Services Engineer, as applicable ("City Engineer");

WHEREAS, the Developer is seeking to delay the construction of the required public improvements ("Deferred Improvements") shown in **Exhibit 2**, which exhibit is attached and incorporated by reference into this Agreement, and to have the Plat filed immediately with the County Clerk of Nueces County, Texas;

WHEREAS, the developer is seeking deviation from the standard form deferment agreement to forego the financial security required by Section 3.30.1 of the UDC in the amount representing 110% of the estimated cost of constructing the Deferred Improvements; and

WHEREAS, any deviations from the approved standard form deferment agreement require a recommendation from the Planning Commission and an approval by the City Council per Section 8.1.10.B.4. of the UDC;

NOW, THEREFORE, for the consideration set forth in this Agreement, the City and Developer agree as follows:

1. Preamble.
The above preamble and all defined terms therein are incorporated in this Agreement for all purposes. In addition, the preamble to this Agreement is included as substantive content in this instrument and upon which both parties to this Agreement have relied and will continue to rely during the term of this Agreement.
2. Consideration.
In consideration of the Developer's request to enter into this Agreement and the commitment to the construction of the Deferred Improvements, the City agrees to allow the final Plat to be endorsed by the City Engineer and filed for record with the County Clerk of Nueces County prior to the construction of the Deferred Improvements and without financial security in the amount representing 110% of the estimated cost of constructing the Deferred Improvements as required by the Unified Development Code.
3. Development Fees.
Prior to the filing of the Plat with the County Clerk of Nueces County, the Developer must pay all development fees for the Plat as required by the Corpus Christi Code and UDC.

4. Improvements.
 - a. Developer covenants to construct and install, at Developer's expense, all external and internal subdivision improvements required to comply with City ordinances, regulations, and policies governing subdivision approval for the Plat, including Deferred Improvements as shown in **Exhibit 2** and **Exhibit 3**.
 - b. Deferred Improvements are to be completed in conformance with the City's engineering standards by October 31, 2026.
 - c. No building permit for vertical structures shall be issued for any portion of the real property that is subject to the Plat until the Deferred Improvements are constructed.
5. Time is of the Essence.

Time is of the essence in the performance of this Agreement.
6. Improvements Approval.

Detailed construction drawings must be provided by the Developer and approved by the City's Departments of Development Services and Engineering prior to the start of construction of the Deferred Improvements.
7. Improvements Construction Standards.

The Developer shall construct the Deferred Improvements in accordance with the City's engineering standards in effect at the time of construction and in accordance with the construction drawings approved by the City departments pursuant to the section above.
8. Acceptance of Improvements.

Upon completion of all Deferred Improvements by the Developer as verified by the Assistant City Manager and Director of Development Services and within the time period stated in this Agreement, acceptance of the Deferred Improvements by the City Engineer, the Developer is released from the obligation to notify purchasers of lots of this Agreement.
9. Warranty.

Developer fully warrants the workmanship of and function of the Deferred Improvements and the construction thereof for a period of two years for streets, curbs, gutters, and sidewalks and one year for all other improvements from and after the date of acceptance of the improvements by the City Engineer.
10. Default.
 - a. If Developer defaults in any of its covenants or obligations under this Agreement, the Developer shall have 30 days from the date the written notice is sent to cure the default. If the Developer fails to cure the default within 30 days, the City may seek the following remedies:
 - I. Vacation of the Plat;
 - II. Denial of building permits for any vertical structures on any portion of the real property that is the subject of the Plat; and/or
 - III. Denial of Certificate of Occupancy for any structure on any portion of the real property that is the subject of the Plat.

b. The City is not responsible for constructing or completing any Deferred Improvements.

11. Notice.

Any notice required or permitted to be given by either party shall be in writing and must be provided by personal delivery, fax, or certified United States mail, postage prepaid, return receipt requested, and notice is deemed sufficiently given if addressed to the appropriate party at the address shown for the party in the signature block of this Agreement or faxed to the fax phone number shown in the signature block for the party. By notifying the other in accordance with the provisions of this section, any party may specify a different address or addressee for notice purposes.

12. Building Permits and Certificate of Occupancy.

The City reserves the right not to issue building permits and certificates of occupancy for all or any portion of the real property that is the subject of the Plat until the Deferred Improvements are constructed, installed in working order, and accepted by the City Engineer in accordance with the provisions of this Agreement.

13. Assignment.

No party may assign this Agreement or any rights under this Agreement without the prior written approval of the other party and by amendment to this Agreement.

14. Covenant Running with the Land.

By execution of this Agreement, the Developer covenants to construct the Deferred Improvements required by this Agreement, and this covenant shall be a covenant running with the land. Therefore, at the Developer's expense, the City shall file this Agreement with the Official Public Records of Real Property of Nueces County.

15. Lot Conveyance

The Developer shall include a provision in all contracts, deeds, and instruments of conveyance for the sale of any lot within the Plat to provide notice of this Agreement by referencing its recorded document number and providing a brief summary of its contents, including Sections 4, 10, and 12.

16. **INDEMNIFICATION.**

DEVELOPER SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF CORPUS CHRISTI, ITS OFFICERS, EMPLOYEES, AND AGENTS, ("INDEMNITEES") FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF OR RELATED TO THE PERFORMANCE OF THIS AGREEMENT, REGARDLESS OF WHETHER SUCH CLAIM IS CAUSED IN PART BY THE NEGLIGENCE OF THE CITY. DEVELOPER'S DUTY TO DEFEND AND INDEMNIFY SHALL APPLY REGARDLESS OF THE MERITS OF THE UNDERLYING CLAIM AND SHALL REMAIN IN EFFECT EVEN IF CITY IS ULTIMATELY DETERMINED TO BE SOLELY AT FAULT.

17. Modifications.

No changes or modifications to this Agreement may be made, nor any provisions waived, unless the change or modification is made in writing and signed by persons authorized to sign agreements on behalf of each party.

18. Severability.

If, for any reason, any section, paragraph, subdivision, clause, provision, phrase, or word of this Agreement or the application thereof to any person or circumstance is, to any extent, held illegal, invalid, or unenforceable under present or future law or by a final judgment of a court of competent jurisdiction, then the remainder of this Agreement, or the application of said term or provision to persons or circumstances other than those as to which it is held illegal, invalid, or unenforceable, will not be affected thereby, for it is the definite intent of the parties to this Agreement that every section, paragraph, subdivision, clause, provision, phrase, or word of this Agreement be given full force and effect for its purpose.

19. Disclosure of Interest.

The Developer shall, in compliance with Section 2-349 of the City's Code of Ordinances, complete the City's Disclosure of Interests form, which is attached to this Agreement as **Exhibit 4**, the contents of which, as a completed form, are incorporated in this Agreement by reference as if fully set out here in its entirety.

20. Compliance with Laws.

The Developer shall comply with all federal, state, and local laws, regulations, and rules applicable to the performance of this Agreement.

21. Governing Law and Venue.

This Agreement shall be construed under and in accordance with the laws of the State of Texas, and all obligations of the parties created pursuant to this Agreement are performable in Nueces County, Texas. Venue for all actions arising from or pursuant to this Agreement shall be brought in Nueces County, Texas.

22. Strict Performance.

Strict performance of the provisions of this Agreement by the Developer is required by the City as a condition of this Agreement. The Developer specifically acknowledges and agrees that failure by the Developer to adhere or comply with any term, condition, or requirement of this Agreement constitutes a default of this Agreement.

23. Authority to Act.

All signatories to this Agreement warrant and guarantee that they have the authority to act on behalf of the person or entity represented and make this Agreement binding and enforceable by their signature.

24. Termination.

This Agreement terminates upon acceptance of all Deferred Improvements by the City, completion of all Deferred Improvements by the City, or upon plat vacation.

25. Effective Date.

This Agreement is executed in one original document. This Agreement becomes effective and is binding upon and inures to the benefit of the City and Developer and their successors and assigns from and after the date the Agreement has been executed by all signatories.

Attached and incorporated by reference into this Agreement:

Exhibit 1 – Plat

Exhibit 2 – Required Public Improvements

Exhibit 3 – Cost Estimate for Public Improvements

Exhibit 4 – Disclosure of Interests

EXECUTED IN ONE ORIGINAL BY THE DEVELOPER AND CITY.

DEVELOPER

Solid Rock Commercial Properties Ltd

102 Airport Rd,

Corpus Christi, TX 78405

Adriana Ortiz

President of SRCP Management, LLC

General Partner of Solid Rock Commercial Properties, Ltd

THE STATE OF _____ §

§

COUNTY OF _____ §

This instrument was acknowledged before me on _____, 2025, by
Adriana Ortiz, President of SRCP Management, LLC, on behalf of Solid Rock Commercial
Properties, Ltd.

Notary Public's Signature

CITY OF CORPUS CHRISTI
P. O. Box 9277
Corpus Christi, TX 78469-9277
(361) 826-3240 Office (361) 826-4428 Fax

Michael Dice,
Director of Development Services

THE STATE OF TEXAS §
 §
COUNTY OF NUECES §

This instrument was acknowledged before me on _____, 2025, by
Michael Dice, Director of Development Service for the City of Corpus Christi, Texas.

Notary Public's Signature

Approved to Legal Form: _____

Buck Brice
Deputy City Attorney

EXHIBIT 1

FINAL PLAT OF SOLID ROCK INDUSTRIAL PARK PHASE 1

45.2 ACRES CONSISTING OF A 23.013 ACRE TRACT, CALLED TRACT I, AND A 22.189 ACRE TRACT, CALLED TRACT II, BOTH BEING OUT OF A 66.88 ACRE TRACT, CALLED TRACT VII, AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2004040019, OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS.
AND
A 2.826 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2021033866, OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS.
AND
3.96 ACRES BEING OUT OF LOT 2, BLOCK 5, INDUSTRIAL TECHNOLOGY PARK UNIT 2, AS RECORDED IN VOLUME 67, PAGE 502, MAP RECORDS NUECES COUNTY, TEXAS.



STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS BY THE DEPARTMENT OF DEVELOPMENT SERVICES.

THIS THE _____ DAY OF _____, 2025.

BRIA WHITMIRE, PE
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS BY THE PLANNING COMMISSION.

THIS THE _____ DAY OF _____, 2025.

CYNTHIA SALAZAR-GARZA
CHAIRMAN

MICHAEL DICE
SECRETARY

STATE OF TEXAS
COUNTY OF NUECES

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE _____ DAY OF _____, 2025, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____, 2025, AT _____ O'CLOCK _____ M. AND DULY RECORDED THE _____ DAY OF _____, 2025, AT _____ O'CLOCK _____ M., IN VOLUME _____, PAGE _____, MAP RECORDS NUECES COUNTY, TEXAS.

KARA SANDS, COUNTY CLERK
NUECES COUNTY, TEXAS

AT _____ O'CLOCK _____ M.,
_____, 2025

BY: _____
DEPUTY

STATE OF TEXAS
COUNTY OF NUECES

I, ARTURO MEDINA, A REGISTERED PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND IS TRUE AND CORRECT; THAT I HAVE BEEN ENGAGED UNDER CONTRACT TO SET ALL LOT AND BLOCK CORNERS AND COMPLETE SUCH OPERATIONS WITHOUT DELAY.

THIS THE 29TH DAY OF AUGUST, 2025.

ARTURO MEDINA, R.P.L.S.

TEXAS LICENSE NO. 6669
A.M. LAND SURVEYING
TBPELS FIRM NO. 10194360
361-333-6317
AMLANDSURVEYING@YAHOO.COM



STATE OF TEXAS
COUNTY OF NUECES

WE, SOLID ROCK COMMERCIAL PROPERTIES, LTD., HEREBY CERTIFIES THAT WE ARE THE OWNERS OF THE LANDS EMBRACED WITHIN THE BOUNDARIES OF THE FORGOING PLAT; THAT IT HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN; THAT STREETS AS SHOWN ARE DEDICATED TO THE PUBLIC FOREVER; THAT ALL EASEMENTS ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION, OPERATION, AND USE OF PUBLIC UTILITIES; THAT THIS MAP WAS MADE FOR THE PURPOSE OF DESCRIPTION AND DEDICATION.

THIS THE _____ DAY OF _____, 2024.

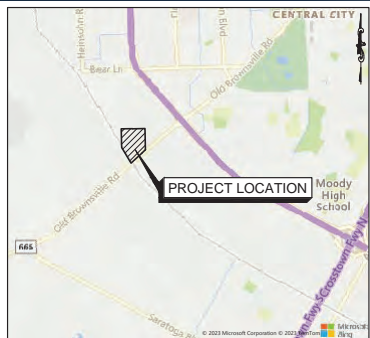
ADRIANA ORTIZ

STATE OF TEXAS
COUNTY OF NUECES

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY ADRIANA ORTIZ

THIS THE _____ DAY OF _____, 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



LOCATION MAP
SCALE: 1" = 5,000'

4.90 ACRES
OUT OF LOT 13, SEC. 5,
RANGE VIII, GUGENHEIM
AND COHN SURVEY
DOC. NO. 2023043243
O.P.R.N.C.T.

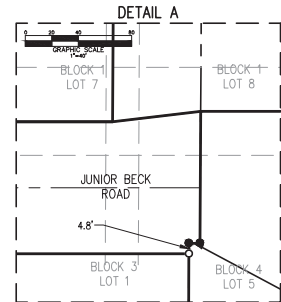
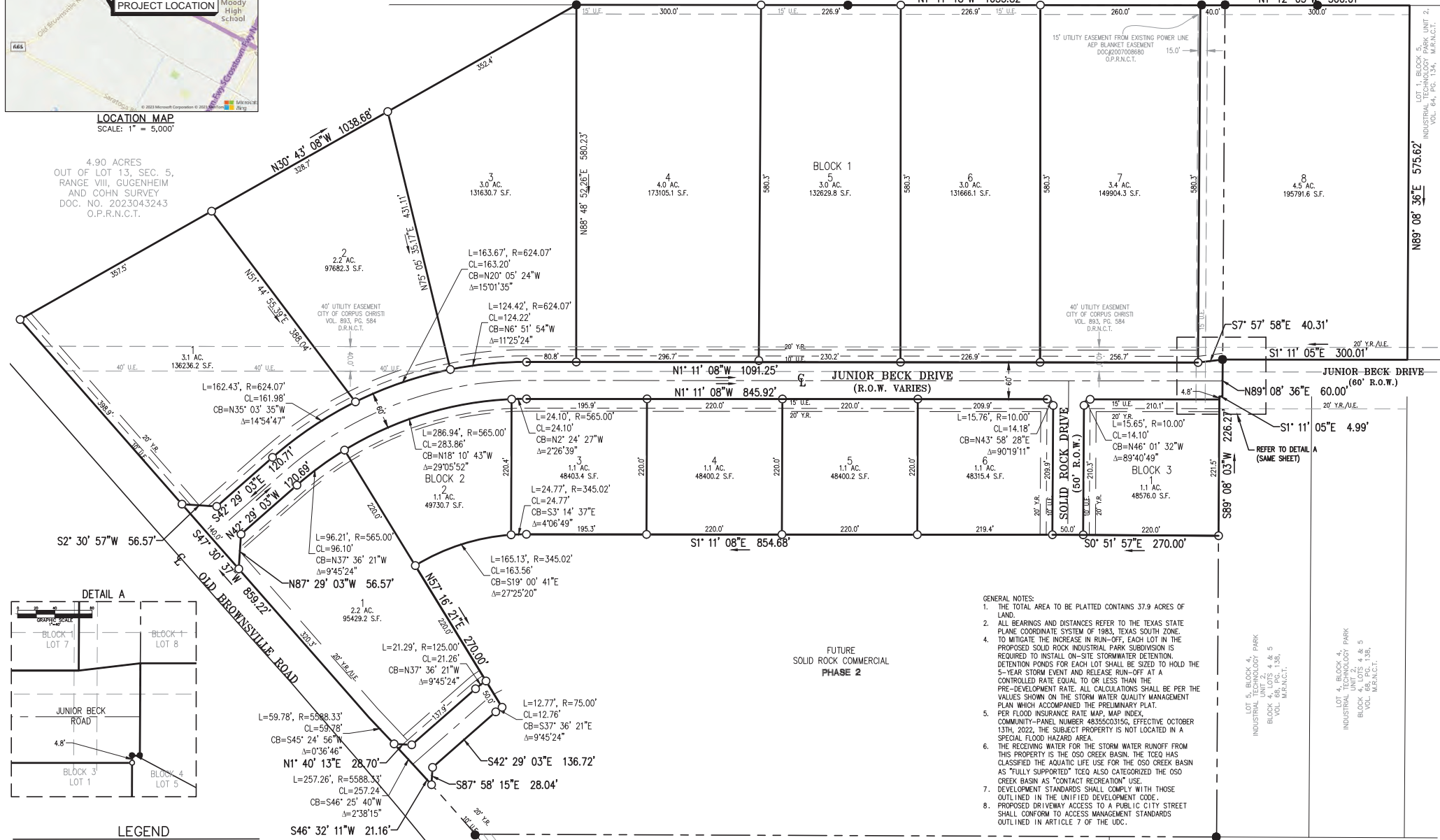
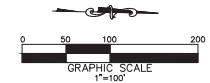
FINAL PLAT OF SOLID ROCK INDUSTRIAL PARK PHASE 1

45.2 ACRES CONSISTING OF A 23.013 ACRE TRACT, CALLED TRACT I, AND A 22.189 ACRE TRACT, CALLED TRACT II, BOTH BEING OUT OF A 66.88 ACRE TRACT, CALLED TRACT VII, AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2004040019, OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS.

A 2.826 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2021033866, OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS.

AND
3.96 ACRES BEING OUT OF LOT 2, BLOCK 5, INDUSTRIAL TECHNOLOGY PARK UNIT 2, AS RECORDED IN VOLUME 67, PAGE 502, MAP RECORDS NUECES COUNTY, TEXAS.

329.6 ACRES
MARGARET KELLY LANDS
VOL. 8, PG. 40 M.R.N.C.T.



LEGEND

- 5/8" INCH IRON ROD SET
- 5/8" INCH IRON ROD FOUND
- U.E. UTILITY EASEMENT
- Y.R. YARD REQUIREMENT
- R.O.W. RIGHT OF WAY
- D.R.N.C.T. DEED RECORDS OF NUECES COUNTY, TX
- M.R.N.C.T. MAP RECORDS OF NUECES COUNTY, TX

GENERAL NOTES:

- THE TOTAL AREA TO BE PLATTED CONTAINS 37.9 ACRES OF LAND.
- ALL BEARINGS AND DISTANCES REFER TO THE TEXAS STATE PLANE COORDINATE SYSTEM OF 1983, TEXAS SOUTH ZONE.
- TO MITIGATE THE INCREASE IN RUN-OFF, EACH LOT IN THE PROPOSED SOLID ROCK INDUSTRIAL PARK SUBDIVISION IS REQUIRED TO INSTALL ON-SITE STORMWATER DETENTION DETENTION PONDS FOR EACH LOT SHALL BE SIZED TO HOLD THE 5-YEAR STORM EVENT AND RELEASE RUN-OFF AT A CONTROLLED RATE EQUAL TO OR LESS THAN THE PRE-DEVELOPMENT RATE. ALL CALCULATIONS SHALL BE PER THE VALUES SHOWN ON THE STORM WATER QUALITY MANAGEMENT PLAN WHICH ACCOMPANIED THE PRELIMINARY PLAT.
- PER FLOOD INSURANCE RATE MAP, MAP INDEX, COMMUNITY-PANEL NUMBER 48355C0315G, EFFECTIVE OCTOBER 13TH, 2022, THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
- THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK BASIN. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK BASIN AS "FULLY SUPPORTED" TCEQ ALSO CATEGORIZED THE OSO CREEK BASIN AS "CONTACT RECREATION" USE.
- DEVELOPMENT STANDARDS SHALL COMPLY WITH THOSE OUTLINED IN THE UNIFIED DEVELOPMENT CODE.
- PROPOSED DRIVEWAY ACCESS TO A PUBLIC CITY STREET SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS OUTLINED IN ARTICLE 7 OF THE UDC.

FUTURE
SOLID ROCK COMMERCIAL
PHASE 2

LOT 5, BLOCK 4
INDUSTRIAL TECHNOLOGY PARK
UNIT 2,
BLOCK 5, PG. 138,
VOL. 67, M.R.N.C.T.

LOT 1, BLOCK 4
INDUSTRIAL TECHNOLOGY PARK
UNIT 2,
BLOCK 5, PG. 138,
VOL. 67, M.R.N.C.T.

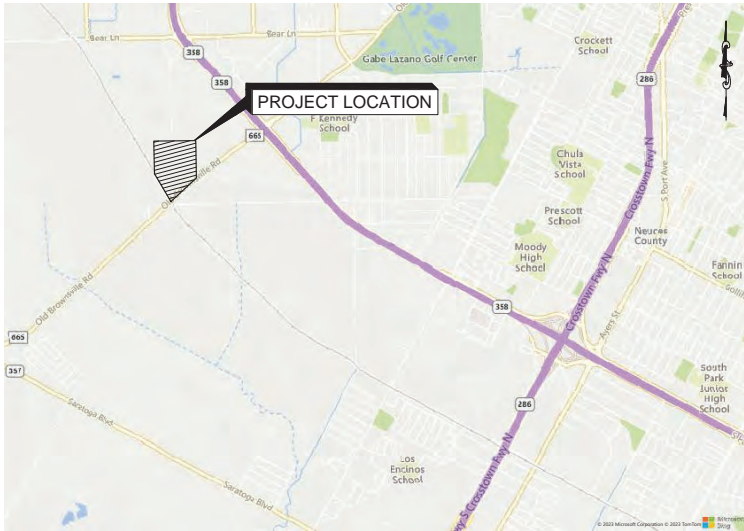
LOT 9B
BROWN-LEX TRACT
LOTS 9A & 9B
VOL. 52, PG. 130,
M.R.N.C.T.

SHEET 2 OF 2

YORK ENGINEERING
CIVIL • PLANNING • CONSULTING
1708 E. PADRE ISLAND DR., SUITE A-200 | CORPUS CHRISTI, TX 78401
361-345-1400 | YORKENGINEERING.COM
PROJECT NO. 1009-20-01 © 2023 BY YORK ENGINEERING, INC.

EXHIBIT 2

PUBLIC IMPROVEMENT PLANS
FOR
SOLID ROCK INDUSTRIAL PARK, PHASE 1
CORPUS CHRISTI, TEXAS



LOCATION MAP
SCALE: 1" = 2000'

SHEET INDEX	
Sheet Number	Sheet Title
1.0	COVER SHEET
1.1	GENERAL NOTES & DETAILS
2.1	DRAINAGE PLAN
2.2	GRADING PLAN
2.3	GRADING PLAN
2.4	UTILITY PLAN
2.5	UTILITY PLAN
2.6	UTILITY PLAN
2.7	UTILITY PROFILES
2.8	UTILITY PROFILES
2.9	SIGNAGE PLAN
3.0	STORM WATER POLLUTION PREVENTION PLAN
4.1	UTILITY DETAILS
4.2	ROAD BARRICADE DETAILS
4.3	TYPICAL SIGN REQUIREMENTS
4.4	STREET NAME BLADE DETAILS
4.5	SIGN MOUNTING DETAILS

THE CITY OF CORPUS CHRISTI STANDARD DETAILS LISTED BELOW HAVE BEEN SELECTED BY MICHAEL C. YORK, P.E., TEX. REG. NO. 124938, AS BEING APPLICABLE TO THIS PROJECT.

CITY OF CORPUS CHRISTI STANDARDS INDEX:

CONCRETE PAVEMENT STANDARD DETAILS, SHEET 1 OF 1
DRIVEWAY STANDARD DETAILS, SHEETS 1 THRU 3
STORM WATER STANDARD DETAILS, SHEETS 1 THRU 3
WASTEWATER STANDARD DETAILS, SHEETS 1 THRU 4
WATER STANDARD DETAILS, SHEETS 1 THRU 4
STORM WATER POLLUTION PREVENTION PLAN NOTES, SHEET 1 OF 3
STORM WATER POLLUTION PREVENTION PLAN STANDARD DETAILS, SHEET 2 OF 3
STORM WATER POLLUTION PREVENTION PLAN STANDARD DETAILS, SHEET 3 OF 3

NOTE:
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST CURRENT VERSION OF ABOVE LISTED CITY STANDARDS FROM THE CITY OF CORPUS CHRISTI. CITY STANDARDS LISTED ABOVE ARE PART OF THE CONSTRUCTION DOCUMENTS.

OWNER / DEVELOPER:
SOLID ROCK COMMERCIAL PROPERTIES LTD
102 AIRPORT ROAD
CORPUS CHRISTI, TX 78413

ENGINEER:
YORK ENGINEERING, INC.
9708 S. PADRE ISLAND DR., SUITE A200
CORPUS CHRISTI, TX 78418

SURVEYOR:
AM LAND SURVEYING
LICENSE NO. 5669
TPELS FIRM NO. 10194360
P.O. BOX 71094
CORPUS CHRISTI, TX 78467

CALL BEFORE YOU DIG!



PARTICIPANTS REQUEST
48 HOURS NOTICE
BEFORE YOU DIG,
DRILL, OR BLAST.
STOP AND CALL
811

RELEASED FOR CONSTRUCTION



Alex Harmon
Alexandria (Alex) Harmon, P.E., CPH
Development Services
City of Corpus Christi

NOTE: Construction Plans will expire based
on the expiration period in USC 3.8.0.1.

Alex
Harmon
Digitally signed
by Alex Harmon
Date: 2024.09.18
11:06:12 -05'00'

PREPARED BY:



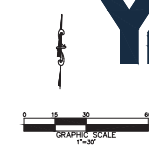
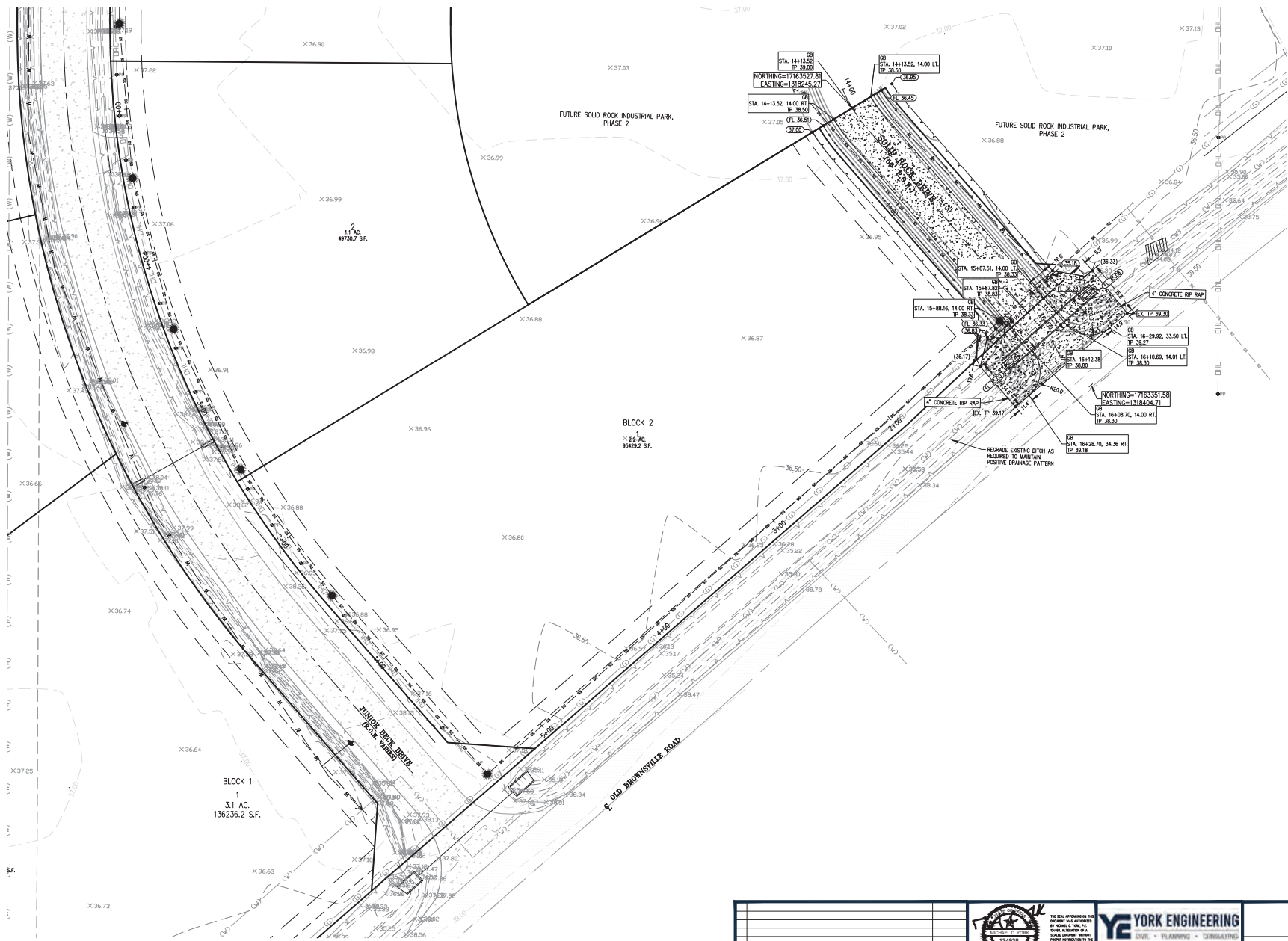
YORK ENGINEERING
CIVIL • PLANNING • CONSULTING

7808 S. PADRE ISLAND DR., SUITE A-200 | CORPUS CHRISTI, TEXAS | 78418
361-245-4400 | YORKENG.COM | TEXAS ENGINEERING FIRM #22063
© 2024 BY YORK ENGINEERING, INC.



THE SEAL APPEARS ON THE
CONTRACT AND APPROVED
BY MICHAEL C. YORK, P.E.
TO BE A LICENSED P.E.
IN THE STATE OF TEXAS
POWER DERIVED FROM THE
PROFESSIONAL ENGINEER'S
PRACTICE ACT.

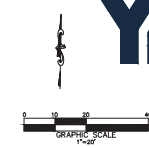
28 JUNE 2024



LEGEND	
EX	EXISTING
GB	GRADE BREAK
TP	TOP OF PAVEMENT
FL	FLOW LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
[Pattern]	EXISTING ASPHALT PAVEMENT
[Pattern]	CONCRETE PAVEMENT
---	GRADE BRAKE
---	SWALE
X 10.00	EXISTING SPOT ELEVATION
X 15.00	GROUND SPOT ELEVATION
X 16.00	PAVEMENT SPOT ELEVATION

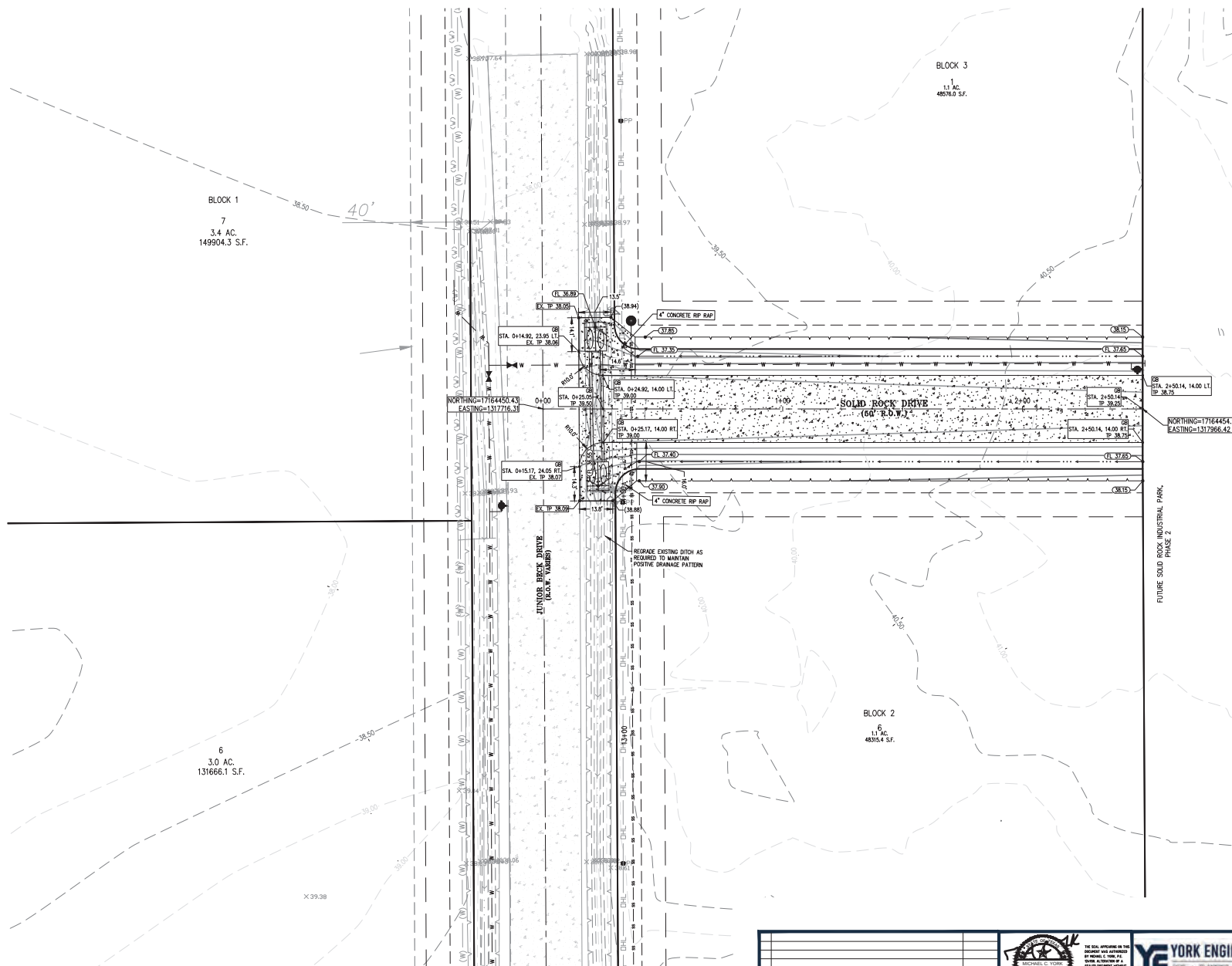


			 124938 16 AUGUST 2024	THE SOIL ATTACHED TO THIS GRADING PLAN WAS ANALYZED BY MICHAEL E. HARRIS, P.E., CIVIL ENGINEER, AND A SOIL REPORT ATTACHED HEREON REFLECTS THE SOIL ANALYSIS. THE SOIL REPORT IS AN INSTRUMENT OF SERVICE PREPARED BY THE ENGINEER IN ACCORDANCE WITH THE TEXAS PROFESSIONAL ENGINEERING ACT.	YORK ENGINEERING CIVIL • PLANNING • CONSULTING 1705 S. PARK BLVD. SUITE 200 CORPUS CHRISTI, TEXAS 78404 361-563-1000 WWW.YORK-ENG.COM TEXAS PROFESSIONAL ENGINEERING NO. 124938 © 2024 BY YORK ENGINEERING, INC.	GRADING PLAN SOLID ROCK INDUSTRIAL PARK, PHASE 1 CORPUS CHRISTI, TEXAS	PROJECT NO. 1088-23-01 SHEET: 2.2
NO	REVISIONS	DATE					



LEGEND

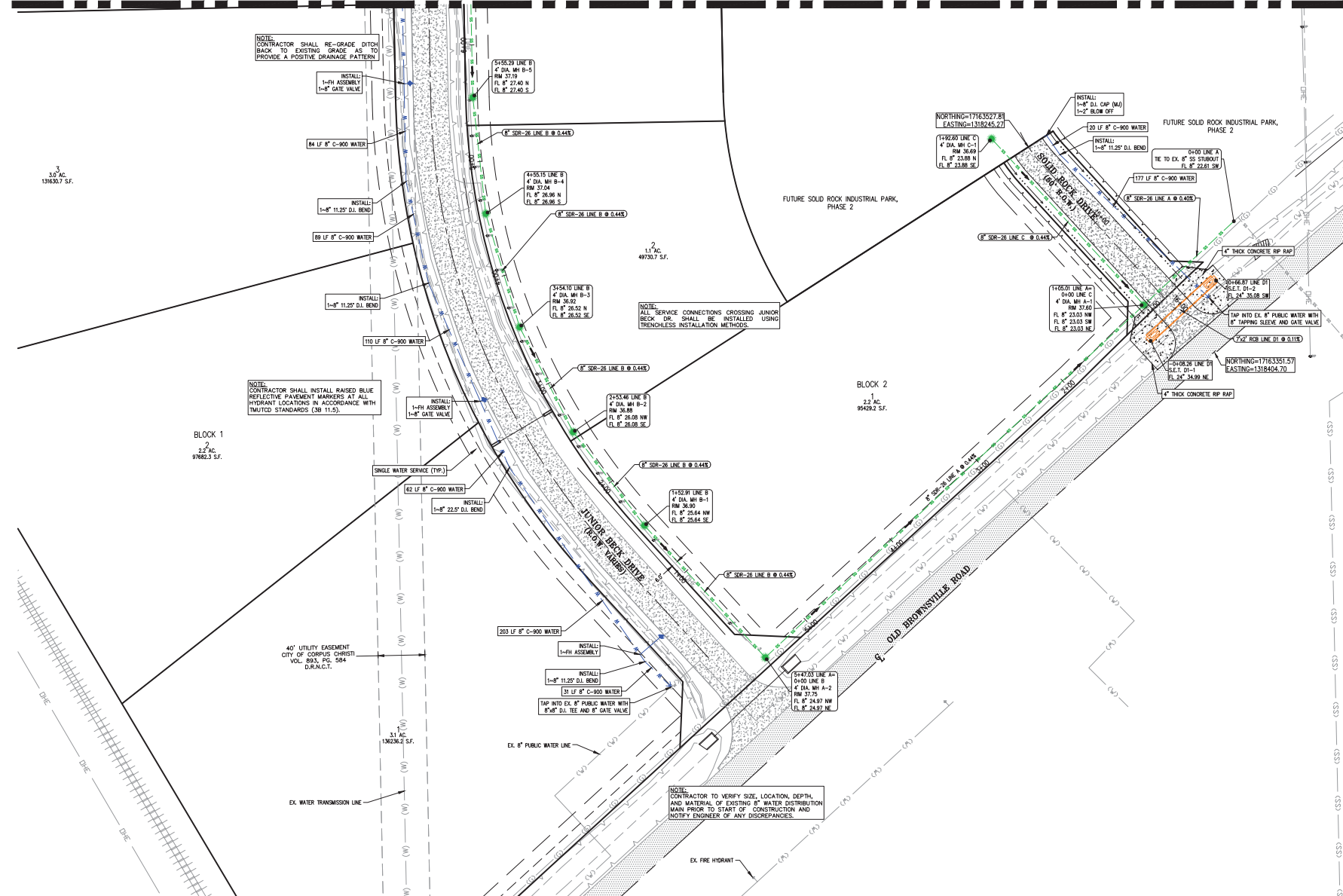
EX.	EXISTING
GB	GRADE BREAK
TP	TOP OF PAVEMENT
FL	FLOW LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
[Pattern]	EXISTING ASPHALT PAVEMENT
[Pattern]	CONCRETE PAVEMENT
---	GRADE BRAKE
---	SWALE
X 10.00	EXISTING SPOT ELEVATION
10.00	GROUND SPOT ELEVATION
10.00	PAVEMENT SPOT ELEVATION



							PROJECT NO. 1088-23-01	
					GRADING PLAN		SHEET:	
					SOLID ROCK INDUSTRIAL PARK, PHASE 1		2.3	
					CORPUS CHRISTI, TEXAS			



MATCHLINE: SEE SHEET 2.6



LEGEND

- EX. SANITARY SEWER (WATERLESS)
- EX. SANITARY SEWER (WATER)
- EX. STANDARD OPENING WATER
- EX. DUCTILE IRON
- EX. TYPICAL
- EX. FIRE HYDRANT
- EX. WATER LINE (AVAILABLE RECORDS)
- EX. SANITARY SEWER LINE (AVAILABLE RECORDS)
- EX. STORM LINE (AVAILABLE RECORDS)
- EX. EXISTING GAS LINE (AVAILABLE RECORDS)
- EX. EXISTING OVERHEAD LINES
- EX. WATER LINE
- EX. FIRE HYDRANT
- EX. WATER GATE VALVE
- EX. DOUBLE LOT WATER SERVICE
- EX. SANITARY SEWER LOT SERVICE
- EX. SANITARY SEWER MANHOLE
- EX. SANITARY SEWER MANHOLE
- EX. WATER LINE ADJUSTMENT (PER CITY DETAILS)

NOTES:

CONTRACTOR TO VERIFY SIZE, LOCATION, DEPTH, AND MATERIAL OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

WATER LINE ADJUSTMENTS SHALL HAVE RESTRAINED JOINTS FOR THE FULL LENGTH OF THE ADJUSTMENT AND EXTENDING 31' BEYOND EACH SIDE.

ALL CLEAN OUTS AND VALVES SHALL HAVE CAST IRON COVERS WHERE LOCATED IN PAVEMENT OR SIDEWALK.

REVISIONS		DATE	16 AUGUST 2024
124938		16 AUGUST 2024	

YORK ENGINEERING
CIVIL • PLANNING • ENGINEERING
1705 S. PARK BLVD. SUITE 200 | CORPUS CHRISTI, TEXAS 78401
361-562-1000 | WWW.YORKENGINEERING.COM

UTILITY PLAN

SOLID ROCK INDUSTRIAL PARK, PHASE 1

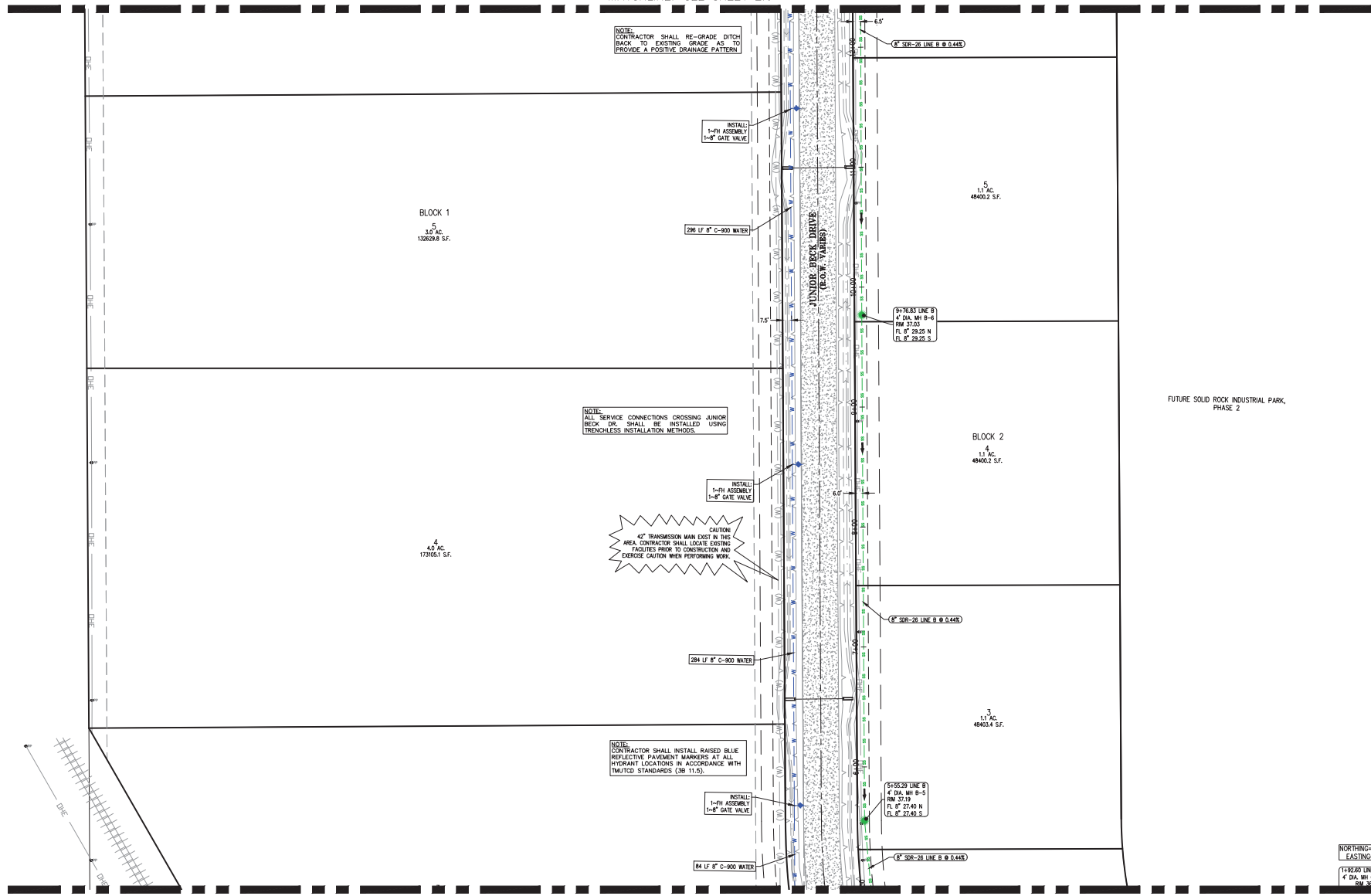
CORPUS CHRISTI, TEXAS

PROJECT NO. 1088-23-01

SHEET: 2.4



MATCHLINE: SEE SHEET 2.6



LEGEND

- EX. EXISTING
- LG. SANITARY SEWER (WASTEWATER)
- WH. WASTEWATER
- SDR. STANDARD DEPRESSION RATIO
- FL. FLOODING
- DI. DITCH
- TP. TYPICAL
- PH. FIRE HYDRANT
- EX. WATER LINE (AVAILABLE RECORDS)
- EX. SANITARY SEWER LINE (AVAILABLE RECORDS)
- EX. STORM LINE (AVAILABLE RECORDS)
- EX. EXISTING GAS LINE (AVAILABLE RECORDS)
- EX. EXISTING OVERHEAD LINES
- WATER LINE
- WATER LINE
- FIRE HYDRANT
- WATER GATE VALVE
- DOUBLE LOT WATER SERVICE
- SANITARY SEWER LOT SERVICE
- EX. SANITARY SEWER MANHOLE
- SANITARY SEWER MANHOLE
- WATER LINE ADJUSTMENT
- UPPER CITY DETAILS

NOTE:
CONTRACTOR TO VERIFY SIZE, LOCATION, DEPTH, AND MATERIAL OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

NOTE:
WATER LINE ADJUSTMENTS SHALL HAVE RESTRAINED JOINTS FOR THE FULL LENGTH OF THE ADJUSTMENT AND EXTENDING 31' BEYOND EACH SIDE.

NOTE:
ALL CLEAN OUTS AND VALVES SHALL HAVE CAST IRON COVERS WHERE LOCATED IN PAVEMENT OR SIDEWALK.

MATCHLINE: SEE SHEET 2.4

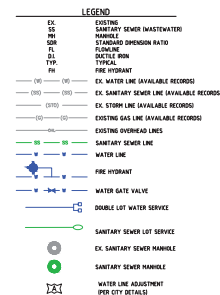
NORTHING= EASTING:
17902.00 LINE
4' DIA. MH (C)
DN 36

RELEASED FOR CONSTRUCTION

Alexandra Harmon
Alexandra (Alex) Harmon, P.E., CPH
Development Engineer
City of Corpus Christi

(Note: Construction Permit will expire 180 days after the construction start date.)

			 16 AUGUST 2024	 YORK ENGINEERING CIVIL • PLANNING • ESTIMATING 1700 S. PARK BLVD. SUITE 200 CORPUS CHRISTI, TEXAS 78401 361-543-1000 WWW.YORKENGINEERING.COM	UTILITY PLAN SOLID ROCK INDUSTRIAL PARK, PHASE 1 CORPUS CHRISTI, TEXAS	PROJECT NO. 1088-23-01 SHEET: 2.5
NO.	REVISIONS	DATE				



NOTE:
ALL CLEAN OUTS AND VALVES SHALL
HAVE CAST IRON COVERS WHERE
LOCATED IN PAVEMENT OR SIDEWALK.

RELEASED FOR CONSTRUCTION

 *Alexandria Harmon*
Alexandria (Alex) Harmon, P.E., CFH
Development Services
City of Corpus Christi

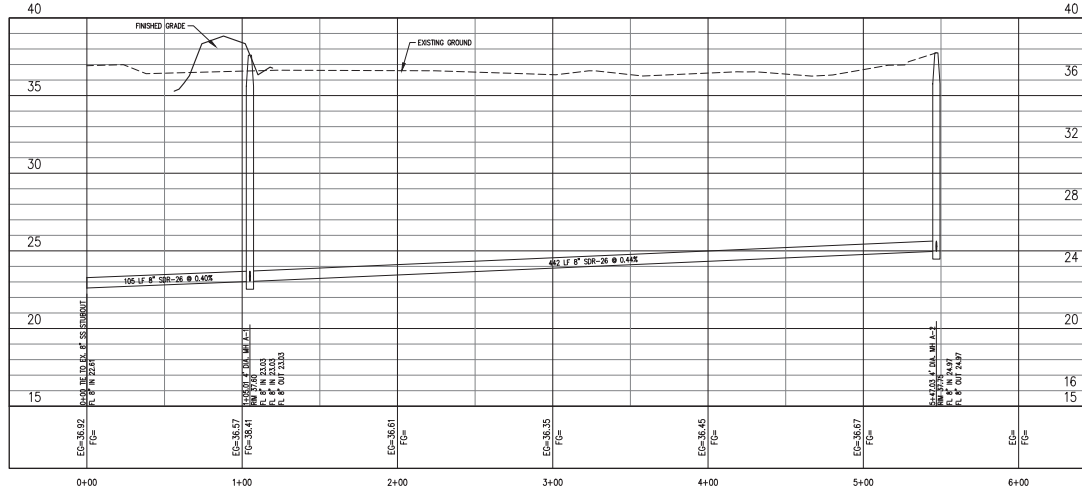
*Note: Construction Plans will expire based
on the conditions stated in UDC 3.6.3.7.*

			 <p>THE SEAL ENDORSES THE SIGNATURE AND CERTIFICATE OF MICHAEL G. STAR, P.E. STATE ENGINEER OF A SOLID DESIGN WITHOUT FURTHER REFERENCE TO THE REGISTERED ENGINEER OR ENGINEERING FIRM.</p>		 <p>YORK ENGINEERING CIVIL • PLANNING • CONSULTING</p> <p>1109 S. PAPER BLVD. SUITE 200 • CORPUS CHRISTI, TEXAS • 78401 361-245-8488 info@yorkeng.com www.yorkeng.com TEXAS ENGINEERING FIRM # 2288</p> <p>© 2024 BY YORK ENGINEERING, INC.</p>		PROJECT NO. 1088-23-01	
			124938		UTILITY PLAN		SHEET: 2.6	
			16 AUGUST 2024		SOLID ROCK INDUSTRIAL PARK, PHASE 1			
					CORPUS CHRISTI, TEXAS			
NO.	REVISIONS		DATE					

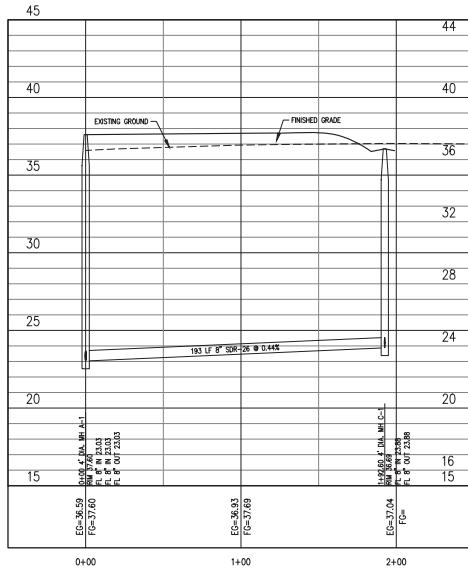
GRAPHIC SCALE
1"=40' HORIZONTAL
1"= 4' VERTICAL



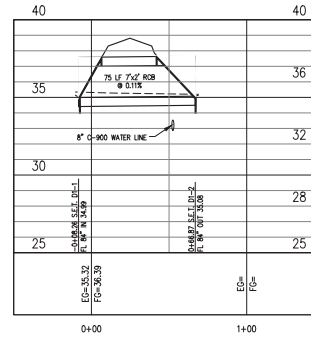
LINE A PROFILE



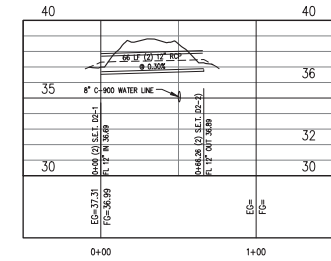
LINE C PROFILE



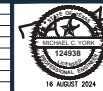
LINE D1 PROFILE



LINE D2 PROFILE

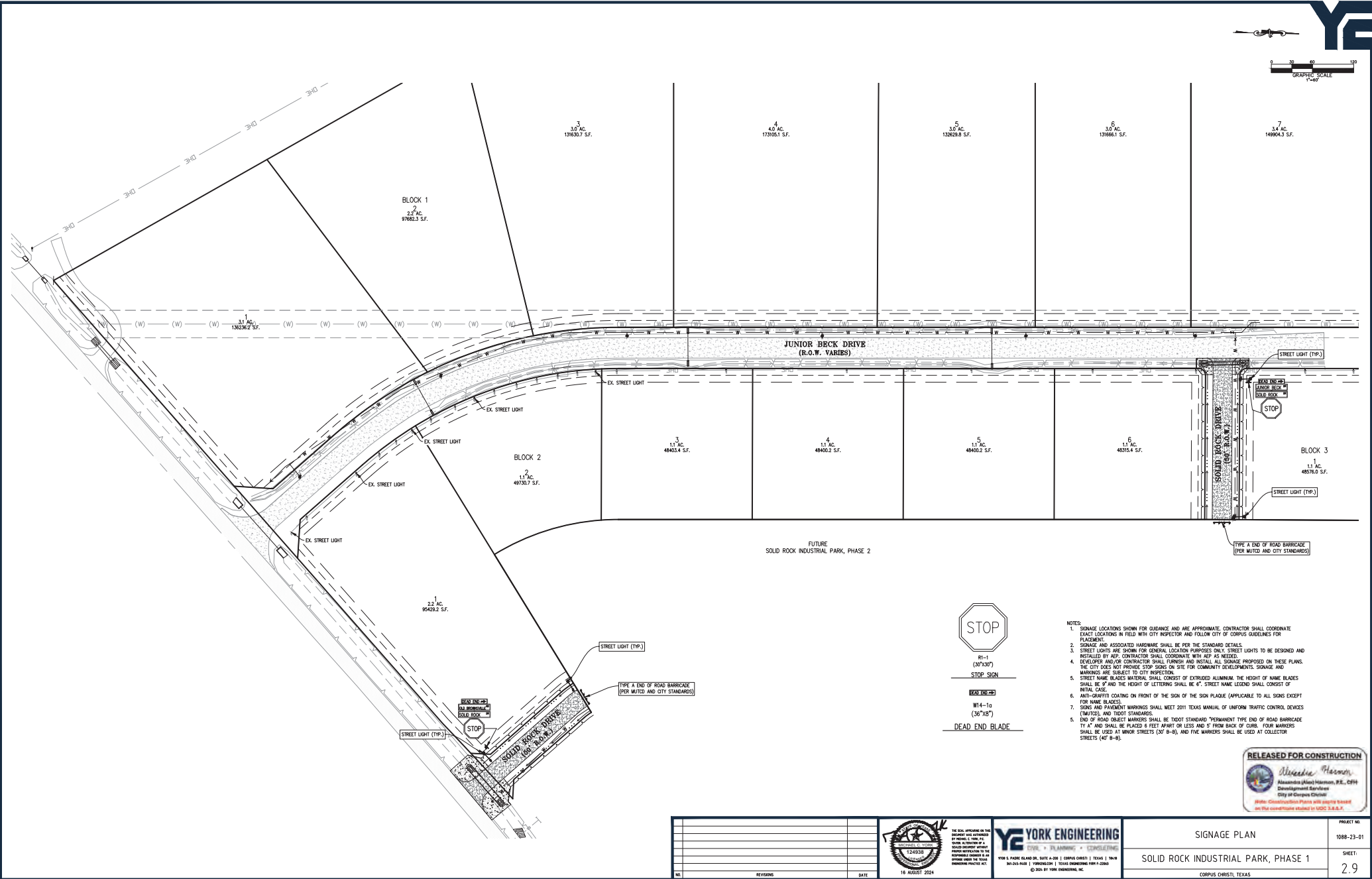
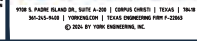


NO.	REVISIONS	DATE



UTILITY PROFILES	PROJECT NO. 1088-23-01
SOLID ROCK INDUSTRIAL PARK, PHASE 1	SHEET: 2.7
CORPUS CHRISTI, TEXAS	



[illegible]

SOLID ROCK INDUSTRIAL PARK, PHASE 1

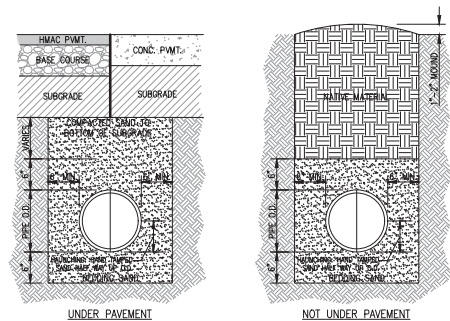
CORPUS CHRISTI, TEXAS

2.7

2.7

PROJECT NO.
1088-23-01

SHEET:
3.0



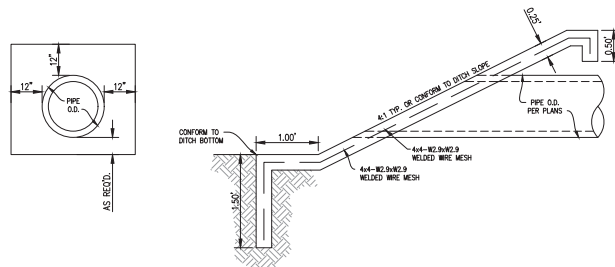
UNDER PAVEMENT
SAND SPECIFICATIONS:
PASSING 7/8" SIEVE 100% BY WEIGHT
PASSING NO. 4 SIEVE 90% BY WEIGHT
CLAY LUMP NOT TO EXCEED 10% BY WEIGHT
PLASTICITY INDEX NP-10 MAX

NOT UNDER PAVEMENT
SAND SPECIFICATIONS:
PASSING 7/8" SIEVE 100% BY WEIGHT
PASSING NO. 4 SIEVE 90% BY WEIGHT
CLAY LUMP NOT TO EXCEED 10% BY WEIGHT
PLASTICITY INDEX NP-10 MAX

STORM PIPE BACKFILL DETAILS
N.T.S.

GENERAL NOTES FOR BACKFILL

TABLE 1 BEDDING AND INITIAL BACKFILL (BELOW PIPE TO 12" ABOVE PIPE)	TABLE 2 FINAL BACKFILL (GREATER THAN 12" ABOVE PIPE)
<p>ALL BEDDING AND INITIAL BACKFILL SHALL CONSIST OF THE FOLLOWING: GRANULAR BACKFILL CONSISTING OF EITHER NATURAL SAND OR SANDY GRAVEL, OR MATERIAL PRODUCED BY CRUSHING OF NATURAL STONE OR GRAVEL.</p> <p>WATER LINES:</p> <p>1. EXCAVATIONS <20' DEEP AND ABOVE WATER TABLE, USE MATERIAL MEETING THE FOLLOWING CRITERIA:</p> <p>MEETING REQUIREMENTS OF ASTM D2487 FOR:</p> <p>SP SW GP SP-SM GP-CM SW-SM GW-CM</p> <p>AND IN ADDITION:</p> <p>PASSING 1/2" SIEVE - 100% PASSING #4 SIEVE - 30% MINIMUM PLASTICITY INDEX (PI) - NP TO 10 MAX.</p> <p>2. IN DEEP EXCAVATIONS (>20') OR BELOW WATER TABLE, USE CRUSHED STONE OR CRUSHED GRAVEL MEETING GRADATION OF:</p> <p>A. CONCRETE COARSE AGGREGATE, TxDOT ITEM 421; GRADE 2, 3, OR 4.</p>	<p>UNPAVED AREAS</p> <p>A. FOR 12" ABOVE PIPE TO BOTTOM OF TOPSOIL BACKFILL SHALL BE APPROVED SELECT MATERIAL FROM THE EXCAVATION OR IMPORTED MATERIAL; ALL TO BE FREE OF ROCKS, DEBRIS, OR ANY CLUMPS GREATER THAN 3" IN DIAMETER; LOOSE LIFTS TO BE PLACED 10" MAX.</p> <p>COMPACT MATERIAL TO 95% STD. PROCTOR (D698).</p> <p>MOISTURE TO BE ADJUSTED TO $\pm 3\%$ OF OPTIMUM.</p> <p>B. TOPSOIL TO BE PROVIDED EQUAL OR BETTER THAN EXISTING; AND MATCH EXISTING TOPSOIL DEPTH. COMPACT TO 95% TO EXISTING ADJACENT TOPSOIL. (CONSTRUCTION TO BE PERFORMED BY "DOUBLE DITCH" METHOD TOP SOIL SALVAGED TO BE PLACED ON TOP)</p>
	<p>PAVED AREAS</p> <p>A. FOR 12" ABOVE PIPE TO 3' BELOW BOTTOM OF ROAD BASE: BACKFILL SHALL BE SELECT MATERIAL FROM EXCAVATION OR TO BE IMPORTED MATERIAL IN EITHER CASE. ALL MATERIAL SHALL MEET THE FOLLOWING:</p> <p>LL <35 PI <20 NO CLUMPS > 2" DIA. MOISTURE 0 TO +3% COMPACT 95% D698 STD PROCTOR</p> <p>LOOSE LIFTS OF 10" MAX OR IF SELECT MATERIAL FROM EXCAVATION DOES NOT MEET REQUIREMENTS, THEN USE CEMENT STABILIZED SAND SEE TABLE 2-ITEM B BELOW</p> <p>B. FOR 3' BELOW BOTTOM OF ROAD BASE TO BOTTOM OF ROAD BASE:</p> <p>BACKFILL SHALL BE CEMENT STABILIZED SAND (2 SK/CY) AND SHALL MEET THE FOLLOWING REQUIREMENTS:</p> <p>SAND GRADATION: % PASSING</p> <p>#4 55-100 #10 40-100 #40 25-100 #200 10-20 PI NP-10</p> <p>COMPACT TO 95% OF D698. MOISTURE TO BE ADJUSTED TO (+/-2%) OF OPTIMUM.</p>



SAFETY END TREATMENT (S.E.T.) DETAILS
N.T.S.

GENERAL NOTES FOR CONCRETE DRAINAGE STRUCTURES:

- ALL CONCRETE SHALL BE CLASS "C" (3600 PSI) EXCEPT CONCRETE COLLARS MAY BE CLASS "A".
- ALL REINFORCING STEEL SHALL BE GRADE 60.
- DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTERS OF BARS.
- VERTICAL STEEL MAY BE SPLICED (15" MIN. LAP) IN THE LOWER ONE-HALF OF ALL INLET WALLS.
- IN AREAS OF CONFLICT BETWEEN REINFORCING STEEL, PIPES AND MANHOLE FRAME, THE REINFORCEMENT SHALL BE BENT OR ADJUSTED TO CLEAR AS DIRECTED BY THE ENGINEER.
- CHAMFER ALL EXPOSED EDGES 3/4".
- ALL CONCRETE COLLARS SHALL BE 1/4" BELOW THE FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR MAY PROPOSE ALTERNATE PROCEDURES FOR THE CONSTRUCTION OF INLETS AND MANHOLES, INCLUDING PRECAST UNITS. PLANS FOR SUCH PROPOSED ALTERNATES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE CONSTRUCTION. PRECAST MANHOLE WITHIN THE ROADWAY SHALL BE DESIGNED TO SUPPORT HS-20 TRAFFIC LOADING AND SEALED BY A LICENSED ENGINEER.
- ALL INLET WALLS SHALL BE FORMED EXCEPT WHERE THE NATURE OF THE SURROUNDING MATERIAL IS SUCH THAT IT CAN BE TRIMMED TO A SMOOTH VERTICAL FACE. WHEN INLET WALLS ARE PLACED TO NEAR EXCAVATION LINES THE WALL THICKNESS SHALL NOT EXCEED 10 INCHES. PAYMENT FOR INLET AT THE CONTRACT PRICE SHALL INCLUDE THE TRANSITION CURB.
- INVERT OF INLET SHALL BE SLOPED 1:20 WITH GROUT.
- NO SPLICING OF REINFORCING STEEL SHALL BE PERMITTED EXCEPT WHERE OTHERWISE NOTED ON THE PLANS OR PERMITTED IN WRITING BY THE ENGINEER.
- IN DEEP EXCAVATIONS (> 20') OR BELOW WATER TABLE, USE CRUSHED STONE OR CRUSHED GRAVEL MEETING GRADATION OF CONCRETE COARSE AGGREGATE, TxDOT ITEM 421; GRADE 2, 3, OR 4.

Fitting Type	Pipe Material	Soil Type	Safety Factor	Trench Type	Depth of Bury	Test Pressure	Nominal Size	Restraint Length
6" CAP	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	6 in.	59 Ft.
8" CAP	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	8 in.	78 Ft.
6"x6" TEE	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	6 in.	10 Ft.
8"x6" TEE	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	8 in.	1 Ft.
45° HORIZONTAL BEND	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	6 in.	11 Ft.
90° HORIZONTAL BEND	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	6 in.	27 Ft.
6" WATER LINE ADJUSTMENTS	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	6 in.	25 Ft.
8" WATER LINE ADJUSTMENTS	PVC	CH, Granulated Fill	2	4	4 Ft.	150 PSI	8 in.	31 Ft.

**Note that all waterline adjustments shall have restrained joints for the full length of the adjustment and shall extend beyond the required length of each side

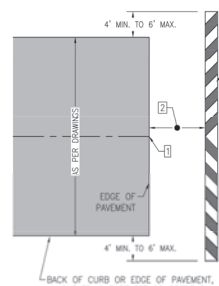
RESTRAINT JOINT LENGTH REQUIREMENTS



NO.	REVISIONS	DATE



UTILITY DETAILS	PROJECT NO. 1088-23-01
SOLID ROCK INDUSTRIAL PARK, PHASE 1	SHEET: 4.1
CORPUS CHRISTI, TEXAS	



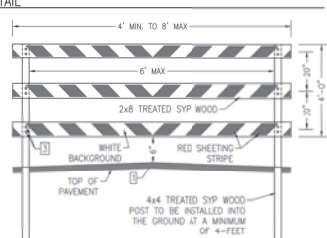
TYPICAL BARRICADE PLACEMENT
NOT TO SCALE



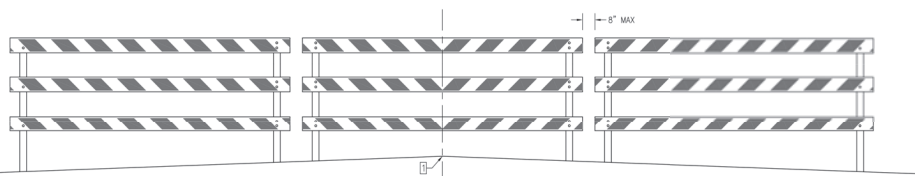
TYPICAL STRIPING DETAIL
NOT TO SCALE

END OF ROAD BARRICADE CODED NOTES

1. ELEVATION OF CENTER OF PAVED ROAD AT POINT INDICATED.
2. 2-FOOT MIN. TO 4-FOOT MAX. CONTRACTOR TO ADJUST IMPROVEMENTS AT THE PROJECT BOUNDARY TO ALLOW FOR BARRICADE PLACEMENT
3. FASTENER = 1/2-INCH x 6-INCH CARBIDE BOLT, WASHER, AND NUT. PLACE WASHER BETWEEN WOOD AND NUT.

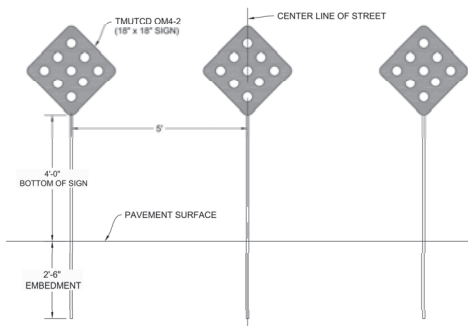


TYPICAL PANEL DETAIL
NOT TO SCALE



MULTIPLE BARRICADE PLACEMENT
NOT TO SCALE

1 TYPE A END OF ROAD BARRICADE



NOTES

1. SHALL BE CENTERED AND PLACED ACROSS THE PAVED SURFACE WIDTH OR FROM BACK OF CURB TO BACK OF CURB WHEN PRESENT, UNLESS NOTED OR DIRECTED BY THE ENGINEER, CITY, COUNTY, OR STATE.
2. QUANTITY OF MARKERS SHALL BE AS REQUIRED TO SATISFY THE REQUIREMENTS OF NOTE 1.

2 TYPICAL END OF STREET MARKERS DETAILS

NOTES

1. CONTRACTOR TO PROVIDE AND INSTALL IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, MANUFACTURER RECOMMENDATIONS, AND INDUSTRY STANDARDS.
- 1.1. IN THE EVENT THAT A SPECIFICATION, RECOMMENDATION, OR STANDARD CONFLICTS WITH ANOTHER, THE MOST STRINGENT SHALL BE APPLICABLE UNLESS OTHERWISE INDICATED BY THE OAR OR IF THE PRODUCT WILL NOT PERFORM AS INTENDED.
2. CONTRACTOR IS TO INSTALL THE BARRICADE PRIOR TO OPENING THE STREET TO THE PUBLIC.
3. BARRICADE SHALL BE INSTALLED AT LOCATIONS INDICATED WITHIN THE DRAWINGS AND/OR AS INDICATED BY THE OAR.
4. BARRICADE SHALL EXTEND ACROSS THE ROADWAY WITH THE STRIPES SLOPING DOWNWARD TOWARDS THE CENTER OF THE ROADWAY.
5. ANY IDENTIFICATION MARKINGS SHALL BE ON THE BACK OF THE BARRICADE RAILS WITH A MAXIMUM HEIGHT OF ANY LETTERS AND/OR LOGOS USED BEING NO LARGER THAN 1-INCH.
6. PROJECT WARRANTY OF 14-MONTHS FROM DATE OF RELEASE OF RETAINAGE IN FULL WILL GOVERN THIS ITEM UNLESS OTHERWISE INDICATED WITHIN THE PROJECT DOCUMENTS OR BY THE OAR.

MATERIALS AND INSTALLATION

1. ALL PRODUCTS SHALL BE AS INDICATED UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR AS INDICATED BY THE OAR.
2. WOOD
- 2.1. BE PRESSURE TREATED SOUTHERN YELLOW PINE (SYP) THAT MEETS OR EXCEEDS THE SOUTHERN PINE INSPECTION BUREAU (SPIB) GRADE 2 WHICH IS TREATED TO AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) LUGB, FREE OF SUBSTANTIAL KNOTS, DEFECTS THAT PREVENT THE MATERIAL FROM SUPPORTING ITSELF, SUBSTANTIAL EDGE DAMAGE THAT REDUCES THE WIDE FLAT SURFACE WIDTH BY MORE THAN 1/2-INCH, DECAYED MATERIAL THAT WILL PREVENT THE TREATMENT, PAINT, OR DECALS FROM PENETRATING OR ADHERING TO THE WOOD MATERIAL.
3. FASTENERS
- 3.1. ALL FASTENERS SHALL BE HOT-DIPPED GALVANIZED FASTENERS AND CONNECTORS, OR BETTER OF SIZE AND LENGTHS AS INDICATED, UNLESS OTHERWISE NOTED OR INDICATED BY THE OAR.
4. PAINT AND SHEET MATERIAL
- 4.1. NOTICE: THE WOOD MATERIAL WILL BE REQUIRED TO DRY IN A MANNER THAT PREVENTS THE MATERIAL FROM WARPING AND/OR CRACKING TO A POINT THAT THE WOOD MEMBER EASILY ACCEPTS WATER WHEN IT IS POURED ON IT, TEST OF SMALL AREAS IS REQUIRED PRIOR TO PAINTING AND WILL REQUIRE AREA TO DRY PRIOR TO PROCEEDING WITH PAINTING.
- 4.2. INSTALL A EXTERIOR GRADE LATEX WHITE PRIMER THAT IS RECOMMENDED FOR TREATED WOOD IN ACCORDANCE WITH PAINT MANUFACTURER RECOMMENDATIONS. IF PAINTED PRIOR TO INSTALLATION THE CONTRACTOR WILL BE REQUIRED TO PRIME ANY CUT EDGES.
- 4.3. INSTALL TWO (2) COATS OF EXTERIOR SEMI-GLOSS LATEX WHITE PAINT THAT IS RECOMMENDED FOR TREATED WOOD IN ACCORDANCE WITH PAINT MANUFACTURER RECOMMENDATIONS ON ALL WOOD MATERIAL. IF PAINTED PRIOR TO INSTALLATION THE CONTRACTOR SHALL INSTALL ONE (1) COAT OF THIS PAINT ON ANY SCRATCHES AND ACROSS ALL JOINTS, TWO (2) COATS ACROSS ALL FASTENERS AND PRIMED ENDS, ONCE INSTALLATION IS COMPLETE.
- 4.4. SHEETING SHALL BE RETROREFLECTIVE TYPE A CONFORMING TO TxDOT DMS-8300 UNLESS OTHERWISE INDICATED BY THE OAR.
- 4.5. CLEAN-UP OF PAINT SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.



NO.	REVISIONS	DATE



THE SEAL APPLICANT HAS THE EXPIRATION DATE OF 12/31/2024. IF THE EXPIRATION DATE IS NOT 12/31/2024, THE SEAL SHOULD BE RENEWED PRIOR TO THE EXPIRATION DATE. THE SEAL SHOULD BE RENEWED PRIOR TO THE EXPIRATION DATE.



ROAD BARRICADE DETAILS	PROJECT NO. 1088-23-01
SOLID ROCK INDUSTRIAL PARK, PHASE 1	SHEET: 4.7
CORPUS CHRISTI, TEXAS	

DISCLAIMER: This standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made for any purpose whatsoever. This standard is not intended to be used as a basis for any legal action or to create a contract. The user assumes all liability for any use of this standard.

REQUIREMENTS FOR RED BACKGROUND REGULATORY SIGNS (STOP, YIELD, DO NOT ENTER AND WRONG WAY SIGNS)

REQUIREMENTS FOR FOUR SPECIFIC SIGNS ONLY

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	RED	TYPE B OR C SHEETING
BACKGROUND	WHITE	TYPE B OR C SHEETING
LEGEND & BORDERS	WHITE	TYPE B OR C SHEETING
LEGEND	RED	TYPE B OR C SHEETING

REQUIREMENTS FOR WHITE BACKGROUND REGULATORY SIGNS (EXCLUDING STOP, YIELD, DO NOT ENTER AND WRONG WAY SIGNS)

TYPICAL EXAMPLES

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	WHITE	TYPE A SHEETING
BACKGROUND	ALL OTHERS	TYPE B OR C SHEETING
LEGEND, BORDERS AND SYMBOLS	BLACK	ACRYLIC NON-REFLECTIVE FILM
LEGEND, BORDERS AND SYMBOLS	ALL OTHER	TYPE B OR C SHEETING

REQUIREMENTS FOR WARNING SIGNS

TYPICAL EXAMPLES

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	FLUORESCENT YELLOW	TYPE B _{FL} OR C _{FL} SHEETING
LEGEND & BORDERS	BLACK	ACRYLIC NON-REFLECTIVE FILM
LEGEND & SYMBOLS	ALL OTHER	TYPE B OR C SHEETING

REQUIREMENTS FOR SCHOOL SIGNS

TYPICAL EXAMPLES

SHEETING REQUIREMENTS		
USAGE	COLOR	SIGN FACE MATERIAL
BACKGROUND	WHITE	TYPE A SHEETING
BACKGROUND	FLUORESCENT YELLOW GREEN	TYPE B _{FL} OR C _{FL} SHEETING
LEGEND, BORDERS AND SYMBOLS	BLACK	ACRYLIC NON-REFLECTIVE FILM
SYMBOLS	RED	TYPE B OR C SHEETING

GENERAL NOTES

- Signs to be furnished shall be as detailed elsewhere in the plans and/or as shown on sign tabulation sheet. Standard sign designs and arrow dimensions can be found in the "Standard Highway Sign Designs for Texas" (SHSD).
- Sign legend shall use the Federal Highway Administration (FHWA) Standard Highway Alphabets (A, C, D, E, Emod or F).
- Lateral spacing between letters and numerals shall conform with the SHSD, and any approved changes thereto. Lateral spacing of legend shall provide a balanced appearance when spacing is not shown.
- Block legend and borders shall be applied by screening process or cut-out acrylic non-reflective block film to background sheeting, or combination thereof.
- White legend and borders shall be applied by screening process with transparent colored ink, transparent colored overlay film to white background sheeting or cut-out white sheeting to colored background sheeting, or combination thereof.
- Colored legend shall be applied by screening process with transparent colored ink, transparent colored overlay film or colored sheeting to background sheeting, or combination thereof.
- Sign substrate shall be any material that meets the Departmental Material Specification requirements of DMS-7110 or approved alternative.
- Mounting details for roadside mounted signs are shown in the "SMD series" Standard Plan Sheets.

ALUMINUM SIGN BLANKS THICKNESS

Square Feet	Minimum Thickness
Less than 7.5	0.090
7.5 to 15	0.100
Greater than 15	0.125

DEPARTMENTAL MATERIAL SPECIFICATIONS

ALUMINUM SIGN BLANKS	DMS-7110
SIGN FACE MATERIALS	DMS-8300

The Standard Highway Sign Designs for Texas (SHSD) can be found at the following website:
<http://www.txdot.gov/>

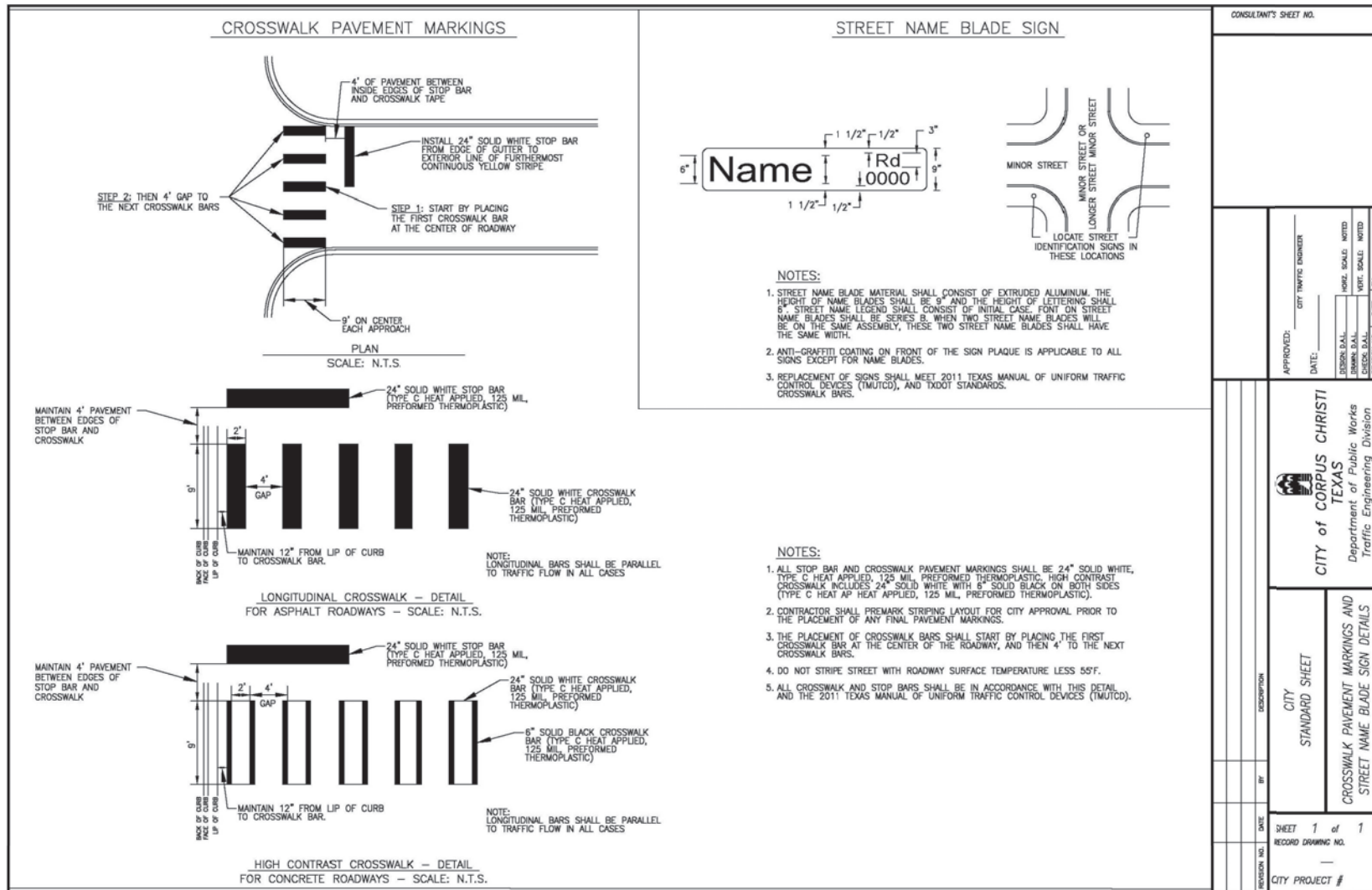
Texas Department of Transportation

Traffic Operations Division
Standard

TYPICAL SIGN REQUIREMENTS

TSR (4) - 13

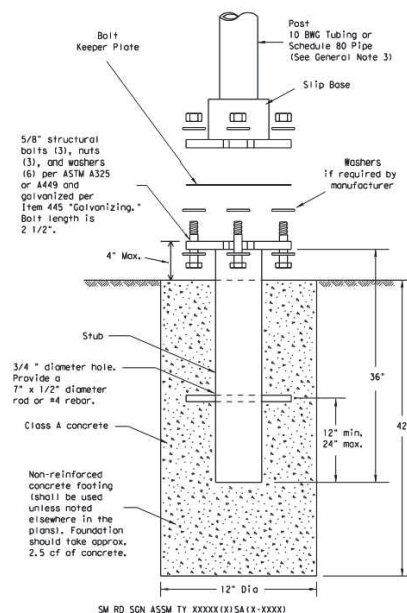
FILE: tsr4-13.dgn	DATE: 10/03/2003	BY: TADOT	DATE: 10/03/2003
PROJECT: 1088-23-01	DATE: 10/03/2003	BY: TADOT	DATE: 10/03/2003
SECTION: 12-01 7-13	DATE: 10/03/2003	BY: TADOT	DATE: 10/03/2003
SHEET NO. 4			



NO.	REVISIONS	DATE



TRIANGULAR SLIPBASE INSTALLATION GENERAL REQUIREMENTS



NOTE

There are various devices approved for the Triangular Slipbase System. Please reference the Material Producer List for approved slip base systems. http://www.txdot.gov/business/producer_list.htm The devices shall be installed per manufacturers' recommendations. Installation procedures shall be provided to the Engineer by Contractor.

GENERAL NOTES:

- Slip base shall be permanently marked to indicate manufacturer, method, design, and location of marking are subject to approval of the TxDOT Traffic Standards Engineer.
- Material used as post with this system shall conform to the following specifications:
 - 10 BWG Tubing (2.875" outside diameter)
 - 0.134" nominal wall thickness
 - Seamless or electric-resistance welded steel tubing or pipe
 - Steel shall be HSLA Gr 55 per ASTM A1011 or ASTM A1008
 - Other steels may be used if they meet the following:
 - 55,000 PSI minimum yield strength
 - 70,000 PSI minimum tensile strength
 - 20% minimum elongation in 2"
 - Wall thickness (uncoated) shall be within the range of 0.122" to 0.138"
 - Outside diameter (uncoated) shall be within the range of 2.861" to 2.883"
 - Galvanization per ASTM A123 or ASTM A653 G210. For pre-coated steel tubing (ASTM A653), recoat tube outside diameter weld seam by metallizing with zinc wire per ASTM B633.
 - Schedule 80 Pipe (2.875" outside diameter)
 - 0.276" nominal wall thickness
 - Steel tubing per ASTM A500 Gr C
 - Other seamless or electric-resistance welded steel tubing or pipe with equivalent outside diameter and wall thickness may be used if they meet the following:
 - 46,000 PSI minimum yield strength
 - 62,000 PSI minimum tensile strength
 - 21% minimum elongation in 2"
 - Wall thickness (uncoated) shall be within the range of 0.248" to 0.304"
 - Outside diameter (uncoated) shall be within the range of 2.855" to 2.895"
 - Galvanization per ASTM A123
- See the Traffic Operations Division website for detailed drawings of sign clamps and Texas Universal Triangular Slipbase System components. The website address is: <http://www.txdot.gov/publications/traffic.htm>
- Sign supports shall not be spliced except where shown. Sign support posts shall not be spliced.

ASSEMBLY PROCEDURE

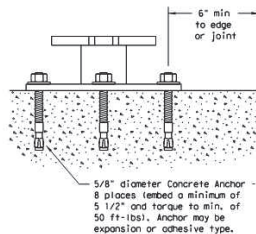
Foundation

- Prepare 12-inch diameter by 42-inch deep hole. If solid rock is encountered, the depth of the foundation may be reduced such that it is embedded a minimum of 18 inches into the solid rock.
- The Engineer may permit batches of concrete less than 2 cubic yards to be mixed with a portable, motor-driven concrete mixer. For small placements less than 0.5 cubic yards, hand mixing in a suitable container may be allowed by Engineer. Concrete shall be Class A.
- Push the pipe end of the slip base stub into the center of the concrete. Rotate the stub back and forth while pushing it down into the concrete to assure good contact between the concrete and stub. Continue to work the stub into the concrete until it is between 2 to 4 inches above the ground.
- Plumb the stub. Allow a minimum of 4 days to set, unless otherwise directed by the Engineer.
- The triangular slipbase system is multidirectional and is designed to release when struck from any direction.

Support

- Cut support so that the bottom of the sign will be 7 to 7.5 feet above the edge of the travelway (i.e., edge of the closest lane) when slip plate is below the edge of pavement or 7 to 7.5 feet above slip plate when the slip plate is above the edge of the travelway. The cut shall be plumb and straight.
- Attach sign to support using connections shown. When multiple signs are installed on the same support, ensure the minimum clearance between each sign is maintained. See SMD(SLIP-2) for clearances based on sign types.

CONCRETE ANCHOR



Concrete anchor consists of 5/8" diameter stud bolt with UNC series bolt threads on the upper end. Heavy hex nut per ASTM A563, and hardened washer per ASTM F436. The stud bolt shall have a minimum yield and ultimate tensile strength of 50 and 75 KSI, respectively. Nuts, bolts and washers shall be galvanized per Item 445, "Galvanizing." Adhesive type anchors shall have stud bolts installed with type III epoxy per DMS-6100, "Epoxyes and Adhesives." Adhesive anchors may be loaded after adequate epoxy cure time per the manufacturer's recommendations. Top of bolt shall extend at least flush with top of the nut when installed. The anchor, when installed in 4000 psi normal-weight concrete with a 5 1/2" minimum embedment, shall have a minimum allowable tension and shear of 3900 and 3100 psi, respectively.

Texas Department of Transportation Traffic Operations Division

SIGN MOUNTING DETAILS SMALL ROADSIDE SIGNS TRIANGULAR SLIPBASE SYSTEM

SMD (SLIP-1) - 08

REV	DATE	BY	CHKD	APPD	REVISION
1	07/01/2002	DM	DM	DM	INITIALS
2	09/08/2002	DM	DM	DM	INITIALS
3	01/11/2003	DM	DM	DM	INITIALS
4	01/11/2003	DM	DM	DM	INITIALS
5	01/11/2003	DM	DM	DM	INITIALS
6	01/11/2003	DM	DM	DM	INITIALS
7	01/11/2003	DM	DM	DM	INITIALS
8	01/11/2003	DM	DM	DM	INITIALS
9	01/11/2003	DM	DM	DM	INITIALS
10	01/11/2003	DM	DM	DM	INITIALS
11	01/11/2003	DM	DM	DM	INITIALS
12	01/11/2003	DM	DM	DM	INITIALS
13	01/11/2003	DM	DM	DM	INITIALS
14	01/11/2003	DM	DM	DM	INITIALS
15	01/11/2003	DM	DM	DM	INITIALS
16	01/11/2003	DM	DM	DM	INITIALS
17	01/11/2003	DM	DM	DM	INITIALS
18	01/11/2003	DM	DM	DM	INITIALS
19	01/11/2003	DM	DM	DM	INITIALS
20	01/11/2003	DM	DM	DM	INITIALS
21	01/11/2003	DM	DM	DM	INITIALS
22	01/11/2003	DM	DM	DM	INITIALS
23	01/11/2003	DM	DM	DM	INITIALS
24	01/11/2003	DM	DM	DM	INITIALS
25	01/11/2003	DM	DM	DM	INITIALS
26	01/11/2003	DM	DM	DM	INITIALS
27	01/11/2003	DM	DM	DM	INITIALS
28	01/11/2003	DM	DM	DM	INITIALS
29	01/11/2003	DM	DM	DM	INITIALS
30	01/11/2003	DM	DM	DM	INITIALS
31	01/11/2003	DM	DM	DM	INITIALS
32	01/11/2003	DM	DM	DM	INITIALS
33	01/11/2003	DM	DM	DM	INITIALS
34	01/11/2003	DM	DM	DM	INITIALS
35	01/11/2003	DM	DM	DM	INITIALS
36	01/11/2003	DM	DM	DM	INITIALS
37	01/11/2003	DM	DM	DM	INITIALS
38	01/11/2003	DM	DM	DM	INITIALS
39	01/11/2003	DM	DM	DM	INITIALS
40	01/11/2003	DM	DM	DM	INITIALS
41	01/11/2003	DM	DM	DM	INITIALS
42	01/11/2003	DM	DM	DM	INITIALS
43	01/11/2003	DM	DM	DM	INITIALS
44	01/11/2003	DM	DM	DM	INITIALS
45	01/11/2003	DM	DM	DM	INITIALS
46	01/11/2003	DM	DM	DM	INITIALS
47	01/11/2003	DM	DM	DM	INITIALS
48	01/11/2003	DM	DM	DM	INITIALS
49	01/11/2003	DM	DM	DM	INITIALS
50	01/11/2003	DM	DM	DM	INITIALS
51	01/11/2003	DM	DM	DM	INITIALS
52	01/11/2003	DM	DM	DM	INITIALS
53	01/11/2003	DM	DM	DM	INITIALS
54	01/11/2003	DM	DM	DM	INITIALS
55	01/11/2003	DM	DM	DM	INITIALS
56	01/11/2003	DM	DM	DM	INITIALS
57	01/11/2003	DM	DM	DM	INITIALS
58	01/11/2003	DM	DM	DM	INITIALS
59	01/11/2003	DM	DM	DM	INITIALS
60	01/11/2003	DM	DM	DM	INITIALS
61	01/11/2003	DM	DM	DM	INITIALS
62	01/11/2003	DM	DM	DM	INITIALS
63	01/11/2003	DM	DM	DM	INITIALS
64	01/11/2003	DM	DM	DM	INITIALS
65	01/11/2003	DM	DM	DM	INITIALS
66	01/11/2003	DM	DM	DM	INITIALS
67	01/11/2003	DM	DM	DM	INITIALS
68	01/11/2003	DM	DM	DM	INITIALS
69	01/11/2003	DM	DM	DM	INITIALS
70	01/11/2003	DM	DM	DM	INITIALS
71	01/11/2003	DM	DM	DM	INITIALS
72	01/11/2003	DM	DM	DM	INITIALS
73	01/11/2003	DM	DM	DM	INITIALS
74	01/11/2003	DM	DM	DM	INITIALS
75	01/11/2003	DM	DM	DM	INITIALS
76	01/11/2003	DM	DM	DM	INITIALS
77	01/11/2003	DM	DM	DM	INITIALS
78	01/11/2003	DM	DM	DM	INITIALS
79	01/11/2003	DM	DM	DM	INITIALS
80	01/11/2003	DM	DM	DM	INITIALS
81	01/11/2003	DM	DM	DM	INITIALS
82	01/11/2003	DM	DM	DM	INITIALS
83	01/11/2003	DM	DM	DM	INITIALS
84	01/11/2003	DM	DM	DM	INITIALS
85	01/11/2003	DM	DM	DM	INITIALS
86	01/11/2003	DM	DM	DM	INITIALS
87	01/11/2003	DM	DM	DM	INITIALS
88	01/11/2003	DM	DM	DM	INITIALS
89	01/11/2003	DM	DM	DM	INITIALS
90	01/11/2003	DM	DM	DM	INITIALS
91	01/11/2003	DM	DM	DM	INITIALS
92	01/11/2003	DM	DM	DM	INITIALS
93	01/11/2003	DM	DM	DM	INITIALS
94	01/11/2003	DM	DM	DM	INITIALS
95	01/11/2003	DM	DM	DM	INITIALS
96	01/11/2003	DM	DM	DM	INITIALS
97	01/11/2003	DM	DM	DM	INITIALS
98	01/11/2003	DM	DM	DM	INITIALS
99	01/11/2003	DM	DM	DM	INITIALS
100	01/11/2003	DM	DM	DM	INITIALS



EXHIBIT 3

Opinion of Probable Construction Cost for remaining infrastructure to be constructed as of 8/20/2025

Solid Rock Industrial Park, Phase 1					
38.13 acres, 15 lots					
Item	Description	Estimated Quantity	Unit	Unit Price	Total Amount
A	PAVING IMPROVEMENTS				
1	Clearing and Grubbing	0.0	AC	\$ 8,000.00	\$ -
2	Excavation (in-place quantity)	0	CY	\$ 50.00	\$ -
3	Embankment (in-place quantity)	0	CY	\$ 50.00	\$ -
4	**3.5" Type D HMAC (In Lieu of Item 6)	0	SY	\$ -	\$ -
5	**4" Type B HMAC (In Lieu of Item 6)	0	SY	\$ -	\$ -
6	8" Continually Reinforced Concrete Pavement	12,839	SF	\$ 15.00	\$ 192,585.00
7	7" Flexible Base (Ty. A, Gr. 1-2)	1,636	SY	\$ 25.00	\$ 40,901.75
8	**16" Flexible Base (Ty. A, Gr. 1-2) (In Lieu of Item 7)	0	SY	\$ -	\$ -
9	12" Moisture Conditioned Subgrade	1,636	SY	\$ 3.50	\$ 5,726.00
10	**8" Lime Stabilized Subgrade (In Lieu of Item 9)	0	SY	\$ -	\$ -
11	Street Signs (including signage and hardware)	2	EA	\$ 1,000.00	\$ 2,000.00
12	End of Road Barricade (OM4-2)	2	LS	\$ 3,500.00	\$ 7,000.00
		Paving Improvements Sub-Total:			\$ 248,212.75
**These items represent the alternate pavement section and must be included together if selected in lieu of items 6, 7, & 9					
B	STORM SEWER IMPROVEMENTS				
1	12" RCP	0	LF	\$ 103.62	\$ -
2	7'X2' RCB	0	LF	\$ 632.00	\$ -
3	OSHA Trench Protection	0	LF	\$ 4.00	\$ -
4	4" Thick Concrete Rip Rap	0	SF	\$ 12.00	\$ -
5	S.E.T. (12" RCP)	4	EA	\$ 2,100.00	\$ 8,400.00
6	S.E.T. (7X2 Box Culvert)	0	EA	\$ 7,500.00	\$ -
		Storm Sewer Improvements Sub-Total:			\$ 8,400.00
C	WATER IMPROVEMENTS				
1	8" PVC C-900	0	LF	\$ 71.00	\$ -
2	8"x11.25 Degree Ductile Iron Bend	0	EA	\$ 675.00	\$ -
3	8"x22.5Degree Ductile Iron Bend	0	EA	\$ 710.00	\$ -
4	8"x45 Degree Ductile Iron Bend	0	EA	\$ 800.00	\$ -
5	8"x8" D.I. Tee	0	EA	\$ 750.00	\$ -
6	8" Gate Valve and Box	0	EA	\$ 2,285.00	\$ -
7	Fire Hydrant Assembly	0	EA	\$ 6,700.00	\$ -
8	Raised Blue Reflector on Pavement at Hydrant	0	EA	\$ 15.00	\$ -
9	8" Ductile Iron Cap w/ 2" Blow off	0	EA	\$ 1,100.00	\$ -
10	8" Tapping Sleeve with 8" Gate Valve	0	EA	\$ 6,300.00	\$ -
11	8" Vertical Adjustment	0	EA	\$ 4,800.00	\$ -
12	Tie to Ex. 8" Distribution Main	0	EA	\$ 3,200.00	\$ -
		Water Improvements Sub-Total:			\$ -
D	SANITARY SEWER IMPROVEMENTS				
1	8" PVC SDR 26 (6' to 8' Deep)	357	LF	\$ 71.00	\$ 25,325.70
2	8" PVC SDR 26 (8' to 10' Deep)	599	LF	\$ 81.96	\$ 49,069.45
3	8" PVC SDR 26 (10' to 12' Deep)	901	LF	\$ 87.95	\$ 79,198.98
4	8" PVC SDR 26 (12' to 14' Deep)	355	LF	\$ 101.97	\$ 36,189.15
5	OSHA Trench Protection	2,211	LF	\$ 4.00	\$ 8,843.20
6	Embedment	2,211	LF	\$ 4.99	\$ 11,031.89
7	De-Watering	200	LF	\$ 48.00	\$ 9,600.00
8	4' Diameter Manhole (6' to 8' Deep)	2	EA	\$ 9,800.00	\$ 19,600.00
9	4' Diameter Manhole (8' to 10' Deep)	1	EA	\$ 10,100.00	\$ 10,100.00
10	4' Diameter Manhole (10' to 12' Deep)	4	EA	\$ 11,500.00	\$ 46,000.00

**Opinion of Probable Construction Cost
for remaining infrastructure to be constructed as of 8/20/2025**

[illegible]

20 AUGUST 2025

THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY MICHAEL C. YORK, P.E. 124938.
ALTERATION OF A SEALED DOCUMENT WITHOUT
PROPER NOTIFICATION TO THE RESPONSIBLE
ENGINEER IS AN OFFENSE UNDER THE TEXAS
ENGINEERING PRACTICE ACT.



EXHIBIT 4

CITY OF CORPUS CHRISTI DISCLOSURE OF INTEREST

Corpus Christi Code § 2-349, as amended, requires all persons or firms seeking to do business with the City to provide the following information. Every question must be answered. If the question is not applicable, answer with "NA". See next page for Filing Requirements, Certification and Definitions.

COMPANY NAME: Solid Rock Commercial Properties, Ltd.

STREET ADDRESS: 102 Airport Rd. **P.O. BOX:** _____

CITY: Corpus Christi **STATE:** TEXAS **ZIP:** 78405

FIRM IS: 1. Corporation ☐ 2. Partnership ☒ 3. Sole Owner ☐
4. Association ☐ 5. Other ☐ _____

If additional space is necessary, please use the reverse side of this page or attach separate sheet.

1. State the names of each "employee" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name	Job Title and City Department (if known)
N/A	

2. State the names of each "official" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name	Title
N/A	

3. State the names of each "board member" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name	Board, Commission or Committee
N/A	

4. State the names of each employee or officer of a "consultant" for the City of Corpus Christi who worked on any matter related to the subject of this contract and has an "ownership interest" constituting 3% or more of the ownership in the above named "firm."

Name	Consultant
N/A	

FILING REQUIREMENTS

If a person who requests official action on a matter knows that the requested action will confer an economic benefit on any City official or employee that is distinguishable from the effect that the action will have on members of the public in general or a substantial segment thereof, you shall disclose that fact in a signed writing to the City official, employee or body that has been requested to act in the matter, unless the interest of the City official or employee in the matter is apparent. The disclosure shall also be made in a signed writing filed with the City Secretary. [Ethics Ordinance Section 2-349 (d)].

CERTIFICATION

I certify that all information provided is true and correct as of the date of this statement, that I have not knowingly withheld disclosure of any information requested, and that supplemental statements will be promptly submitted to the City of Corpus Christi, Texas, as changes occur.

Certifying Person: Adnana Ortzi Title: General Partner
Scip Management
Signature of Certifying Person: Adnana Ortzi Date: 9/16/2025

DEFINITIONS

- a. "Board member." A member of any board, commission, or committee of the city, including the board of any corporation created by the city.
- b. "Economic benefit". An action that is likely to affect an economic interest if it is likely to have an effect on that interest that is distinguishable from its effect on members of the public in general or a substantial segment thereof.
- c. "Employee." Any person employed by the city, whether under civil service or not, including part-time employees and employees of any corporation created by the city.
- d. "Firm." Any entity operated for economic gain, whether professional, industrial or commercial, and whether established to produce or deal with a product or service, including but not limited to, entities operated in the form of sole proprietorship, as self-employed person, partnership, corporation, joint stock company, joint venture, receivership or trust, and entities which for purposes of taxation are treated as non-profit organizations.
- e. "Official." The Mayor, members of the City Council, City Manager, Deputy City Manager, Assistant City Managers, Department and Division Heads, and Municipal Court Judges of the City of Corpus Christi, Texas.
- f. "Ownership Interest." Legal or equitable interest, whether actually or constructively held, in a firm, including when such interest is held through an agent, trust, estate, or holding entity. "Constructively held" refers to holdings or control established through voting trusts, proxies, or special terms of venture or partnership agreements.
- g. "Consultant." Any person or firm, such as engineers and architects, hired by the City of Corpus Christi for the purpose of professional consultation and recommendation.

Deferment Agreement for Solid Rock Industrial Park – Phase 1

Motion authorizing city manager or designee to execute a Deferment Agreement (“Agreement”) with Solid Rock Commercial Properties, Ltd (“Developer”), for the construction of paving, storm sewer, water, and sanitary sewer improvements at Solid Rock Industrial Park – Phase 1.

Planning Commission
October 1, 2025

A map of the area around Central City, Georgia. A purple line indicates a project route. A callout box labeled "PROJECT LOCATION" points to a specific spot on Old Brownsville Rd. Other roads shown include Bear Ln, Old Brownsville Rd, and Old Fwy 5 Crosstown Fwy. Moody High School is also marked. The map includes a legend for "Micro" and "Aging" and a copyright notice for Microsoft Corporation.

LOCATION MAP
SCALE: 1" = 5,000'

Recommendation

Approval

The request submitted by the applicant is in accordance with UDC Section 8.1 and Section 3.30.