

**WATER ARTERIAL TRANSMISSION AND GRID MAIN
CONSTRUCTION AND REIMBURSEMENT AGREEMENT**

STATE OF TEXAS §
 §
COUNTY OF NUECES §

This Water Arterial Transmission and Grid Main Construction and Reimbursement Agreement ("Agreement") is entered into between the City of Corpus Christi ("City"), a Texas home-rule municipality, and **LSK Development, LLC**, ("Developer/Owner"), a Texas Limited Liability Company.

WHEREAS, the Developer/Owner, in compliance with the City's Unified Development Code ("UDC"), has a plat, approved by the Planning Commission on **December 13, 2023** to develop a tract of land, to wit: approximately **13.87** acres known as **Azali Estates Unit 3 located north of Yorktown Boulevard and east of Azali Drive** as shown in the attached **Exhibit 1**, the content of such exhibit being incorporated by reference into this Agreement;

WHEREAS, under the UDC, the Developer/Owner is responsible for construction of the Arterial Transmission and Grid main extension ("Water Improvements");

WHEREAS, under the UDC, the Developer/Owner is eligible for reimbursement of the Developer/Owner's costs for the construction of Water Improvements;

WHEREAS, it is in the best interests of the City to have the Water Improvements be constructed to its ultimate capacity under the City's applicable Master Plan;

WHEREAS, Section 8.5.1.C. of the UDC authorizes the acceptance of applications to be eligible for reimbursement in the future when certain funds become fully available in the Arterial Transmission and Grid Main Line Trust Fund and are appropriated by the City Council; and

WHEREAS, Developer/Owner has submitted an application for reimbursement of the costs of extending Water Improvements, as shown in **Exhibit 2**, the content of such exhibit being incorporated by reference into this Agreement.

WHEREAS, the Water Arterial Transmission and Grid Main Trust Fund does not currently have sufficient funds to fully reimburse Developer/Owner for Water Improvements; and

WHEREAS, Developer/Owner may be paid when assets of the Water Arterial Transmission and Grid Main Trust Fund are sufficient, authorized for such purpose, and Developer/Owner has priority per UDC §8.5.1. C.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained in this Agreement, the parties do covenant and agree as follows:

1. TRUSTEE LIABILITY.

- a. The City is executing this agreement as trustee of the Water Trust Fund pursuant to UDC §8.5. The City is acting as trustee to further its governmental functions of providing water and sewer service. Texas Constitution Article 11, Section 3 prohibits the City from

becoming a subscriber to the capital of any private corporation or association, or make any appropriation or donation to the same, or in anywise loan its credit. As such, the City's participation as Trustee does not create a loan of its credit. Execution of this agreement constitutes a promise to pay only to the extent that the assets and future assets of the trust are sufficient for such purpose and it is expressly agreed that any judgment will only be satisfied out of the assets of the trust and not out of the City's assets. The City is excluded from personal liability.

- b. The Water Arterial Transmission and Grid Main Trust Fund was established by Ordinance No. 17092 to encouraging the orderly development of subdivisions within and surrounding the City of Corpus Christi, Texas and continues pursuant Texas Local Government Code §395.001(4)(C). The revenue generated for funding and continuation of the Water Arterial Transmission and Grid Main Trust Fund is subject to legislation of the State of Texas and the City of Corpus Christi. Nothing in this agreement guarantees neither the continuation nor future revenues of the Water Arterial Transmission and Grid Main Trust Fund. The City is not liable for modification or termination of the Water Arterial Transmission and Grid Main Trust Fund. The Developer/Owner agrees that any modification or termination of the Water Arterial Transmission and Grid Main Trust Fund is a legislative action and does not constitute a breach of trust, an act of bad faith, an intentional or reckless indifference to the interest of a beneficiary, or a profit derived by the trustee from a breach of trust.

2. PLANS AND SPECIFICATIONS

- a. Developer/Owner shall contract with a professional engineer licensed in the State of Texas and acceptable to the City's Development Services Engineer to prepare plans and specifications for the Water Improvements, as shown in the attached **Exhibit 3**, the content of such exhibit being incorporated by reference into this Agreement, with the following minimum requirements:

AZALI ESTATES UNIT 3					
GRID MAIN WATER REIMBURSEMENT ESTIMATE 06/30/23					
12" GRID MAIN WATER ITEMS REIMBURSABLE BY CITY					
ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	12" PVC PIPE	1289	LF	\$66.00	\$85,074.00
2	12" CAP TAPPED FOR 2"	2	EA	\$1,500.00	\$3,000.00
3	12" TEE	6	EA	\$2,200.00	\$13,200.00
4	12" GATE VALVE W/BOX	8	EA	\$1,500.00	\$12,000.00
5	12" EL, ANY ANGLE	4	EA	\$2,000.00	\$8,000.00
6	6" GATE VALVE W/BOX	6	EA	\$800.00	\$4,800.00
SUBTOTAL					\$126,074.00
10% CONTINGINCIES					\$12,607.40
SUBTOTAL					\$138,681.40

7.5% ENGINEERING, SURVEYING, & TESTING		\$10,401.11
		SUBTOTAL
		\$149,082.51
		LESS WATER LOT FEE
		\$12,212.20
TOTAL AMOUNT REIMBURSABLE		\$136,870.31

- b. The plan must be in compliance with the City's master plans.
- c. The plans and specifications must comply with City Water Distribution Standards and Standard Specifications.
- d. Before the Developer/Owner starts construction the plans and specifications must be approved by the City's Development Services Engineer.

3. REIMBURSEMENT

- a. The cost for the Water Improvements less \$12,212.20 lot/acreage fee credit is **\$136,870.31**. Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund and the appropriation of funds, the City will reimburse the developer, the reasonable actual cost of the Water Improvements up to an amount not to exceed **\$136,870.31** as shown in the attached **Exhibit 4**, the contents of such exhibit being incorporated by reference into this Agreement.
- b. Subject to the conditions for reimbursement from the Water Arterial Transmission and Grid Main Trust Fund per the UDC, this agreement, and the appropriation of funds, the City agrees to reimburse the Developer/Owner on a monthly basis upon invoicing for work performed. The submitted invoice shall be deemed administratively complete by the City prior to payment. The reimbursement will be made no later than 30-days from the date of the City's administrative approval of the invoice. Developer/Owner shall submit all required performance bonds and proof of required insurance under the provisions of this Agreement.
- c. Cost-supporting documentation to be submitted shall include:
 - 1. Summary of Costs and Work Performed on form provided by the Development Services Department,
 - 2. Contractor and professional services invoices detailing work performed,
 - 3. The first reimbursement request requires submittal of invoices for work performed. Future disbursements shall provide evidence of payment by the developer/owner through a cancelled check or bank ACH for the previous submittal. The final reimbursement request shall require evidence that all invoices to date have been paid.
- d. To be eligible for reimbursement, the work must be constructed in a good and workmanlike manner and must have been inspected and accepted by the City. The City agrees to conduct periodic inspections and approve the progress of the work at key points during construction.

- e. The final 5% of the total contract reimbursement amount will be held as retainage until such time the City issues acceptance of public infrastructure in accordance with Unified Development Code.
- f. In the event that this Agreement is terminated by the City at a time when there has been a partial completion and partial payment for the improvements, then the City shall only reimburse Developer/Owner for its costs that were legitimately incurred towards the completion of the improvements that have been inspected and accepted by the City up to the time that there is an uncured default by the Developer/Owner.

4. PAYMENTS, CREDITS AND DEFERRED REIMBURSEMENT.

- a. All payments, credits, priority of reimbursement, and deferred reimbursement shall be made in accordance with UDC §8.5. Developer/Owner understands and agrees that if funds are not available in the Water Arterial Transmission and Grid Main Trust Fund, that reimbursement will not be made until such funds are available, appropriated, and Developer/Owner has priority per UDC §8.5.1. Pursuant UDC §8.5.1. C., priority is determined according to the date the reimbursement agreement is approved by the City Council.
- b. Payments will not be paid when funds are not available in the Water Arterial Transmission and Grid Main Trust Fund. Payments may be made when monies are available in and appropriated from the Water Arterial Transmission and Grid Main Trust Fund and the Developer/Owner has priority in accordance with UDC §8.5.1. C.
- c. If the developer is owed funds from the Water Arterial Transmission and Grid Main Trust Fund, the developer will be given credit for lot or acreage fees that are due on subsequent final plats filed with the County Clerk in accordance with UDC §8.5.1. C. The amounts credited will be deducted from the outstanding amounts owed to the developer by the Water Arterial Transmission and Grid Main Trust Fund until the total amount owed has been paid, provided that the lands being platted are within or contiguous to the boundaries of the preliminary plat of the originally developed property, the land will be served by the water line for which the credit was given, and an extension of the line was not required to serve the land.

5. DEVELOPER/OWNER TO COMPLETE IMPROVEMENTS

Developer/Owner shall award a contract and complete the Water Improvements, under the approved plans and specifications within 24 months from the date of City Council approval of this agreement.

6. NOTICES

- a. Any notice or other communication required or permitted to be given under this Agreement must be given to the other Party in writing at the following address:
 - 1. If to the Developer/Owner:

LSK Development, LLC
P.O. Box 8155

Corpus Christi, Texas 78468

2. If to the City:

City of Corpus Christi
Attn: Director, Development Services Department
2406 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

with a copy to:

City of Corpus Christi
Attn: Assistant City Manager, Business Support Services
1201 Leopard Street 78401
P. O. Box 9277
Corpus Christi, Texas 78469-9277

- b. Notice may be made by United States Postal Service, First Class Mail, Certified, Return Receipt Requested, postage prepaid; by a commercial delivery service that provides proof of delivery, delivery prepaid; or by personal delivery.
- c. Either party may change the address for notices by giving notice of the change under the provisions of this section.

7. REQUIRED CONSTRUCTION

Developer/Owner shall construct the Water Improvements in compliance with the City's UDC, the City's Infrastructure Design Manual, and all local, state and federal laws, codes and regulations, in accordance with the plans and specifications submitted to the City's Development Services Department and reviewed and approved by the City's Development Services Engineer.

8. SITE IMPROVEMENTS

Prior to the start of construction of the Water Improvements, Developer/Owner shall acquire and dedicate to the City the required additional utility easements "Easements", if necessary for the completion of the Water Improvements. If any of the property needed for the Easements is owned by a third party and Developer/Owner is unable to acquire the Easements through reasonable efforts, then the City may use its powers of eminent domain to acquire the Easements. Developer will be responsible for cost of acquisition, payable from the reimbursement agreed to in this agreement.

9. PLATTING FEES

Developer/Owner shall pay to the City the required acreage fees and pro-rata fees as required by the UDC.

10. TIME IS OF THE ESSENCE. Time is of the essence in the performance of this contract.

11. PROMPT AND GOOD FAITH ACTIONS

The parties shall act promptly and in good faith in performing their duties or obligations under this Agreement. If this Agreement calls for review or inspections by the City, then the City's reviews or inspections must be completed thoroughly and promptly.

12. DEFAULT

The following events shall constitute default:

- a. Developer/Owner fails to engage a professional engineer for the preparation of plans and specifications by the 10th calendar day after the date of approval of this Agreement by the City Council.
- b. Developer/Owner's professional engineer fails to submit the plans and specifications to the City's Director of Engineering Services by the 40th calendar day after the date of approval by City Council.
- c. Developer/Owner fails to award a contract for the construction of the project, according to the approved plans and specifications, by the 70th calendar day after the date of approval by City Council.
- d. Developer/Owner's contractor does not reasonably pursue construction of the Water Improvements under the approved plans and specifications.
- e. Developer/Owner's contractor fails to complete construction of the Water Improvements, under the approved plans and specifications as provided in section 4 of this agreement.
- f. Either the City or Developer/Owner otherwise fails to comply with its duties or obligations under this Agreement.

13. NOTICE AND CURE

- a. In the event of a default by either party under this Agreement, the non-defaulting party shall deliver notice of the default, in writing, to the defaulting party stating, in detail the nature of the default and the requirements to cure such default.
- b. After delivery of the default notice, the defaulting party has 15 business days from the delivery of the default notice ("Cure Period") to cure the default.
- c. In the event the default is not cured by the defaulting party within the Cure Period, then the non-defaulting party may pursue its remedies in this section.
- d. Should Developer/Owner fail to perform any obligation or duty of this Agreement, the City shall give notice to Developer/Owner, at the address stated in section 6, of the need to perform the obligation or duty, and should Developer/Owner fail to perform the required obligation or duty within 15 days of receipt of the notice, the City may perform the obligation or duty, charging the cost of such performance to Developer/Owner by reducing the reimbursement amount due Developer/Owner.

- e. In the event of an uncured default by the Developer/Owner, after the appropriate notice and cure period, the City has all its common law remedies and the City may:
 - 1. Terminate this Agreement after the required notice and opportunity to cure the default;
 - 2. Refuse to record a related plat or issue any certificate of occupancy for any structure to be served by the project; and/or
 - 3. Perform any obligation or duty of the Developer/Owner under this agreement and charge the cost of such performance to Developer/Owner. Developer/Owner shall pay to City the reasonable and necessary cost of the performance within 30 days from the date Developer/Owner receives notice of the cost of performance. In the event that Developer/Owner pays the City under the preceding sentence, and is not otherwise in default under this Agreement, then the Agreement shall be considered in effect and no longer in default.

- f. In the event of an uncured default by the City after the appropriate notice and cure period, the Developer/Owner has all its remedies at law or equity for such default.

14. FORCE MAJEURE

- a. The term "force majeure" as employed in this Agreement means and refers to acts of God; strikes, lockouts, or other industrial disturbances; acts of public enemies; insurrections; riots; epidemic; landslides; lightning; earthquakes; fires; hurricanes; storms; floods; washouts; droughts; arrests; civil disturbances; explosions; or other causes not reasonably within the control of the party claiming the inability.

- b. If, by reason of force majeure, either party is rendered wholly or partially unable to carry out its obligations under this Agreement, then the party claiming force majeure shall give written notice of the full particulars of the force majeure to the other party within ten (10) business days after the occurrence or waive the right to claim it as a justifiable reason for delay. The obligations of the party giving the required notice, to the extent affected by the force majeure, are suspended during the continuance of the inability claimed, but for no longer period, and the party shall endeavor to remove or overcome such inability with all reasonable dispatch.

15. THIRD-PARTY BENEFICIARY

Developer/Owner's contracts with the professional engineer for the preparation of the plans and specifications for the construction of the Water Improvements contracts for testing services, and with the contractor for the construction of the Water Improvements must provide that the City is a third-party beneficiary of each contract.

16. PERFORMANCE AND PAYMENT BONDS

Developer/Owner shall, before beginning the work that is the subject of this Agreement, furnish a performance bond payable to the City of Corpus Christi if the contract is in excess

of \$100,000 and a payment bond if the contract is in excess of \$50,000. Bonds furnished must meet the requirements of Texas Insurance Code 3503, Texas Government Code 2253, and all other applicable laws and regulations. The performance or payment bond must name the City as an obligee. If the Developer/Owner is not an obligor, then Developer/Owner shall be named as a joint obligee. The bond must clearly and prominently display on the bond or on an attachment to the bond:

(1) the name, mailing address, physical address, and telephone number, including the area code, of the surety company to which any notice of claim should be sent; or

(2) the toll-free telephone number maintained by the Texas Department of Insurance under Subchapter B, Chapter 521, Insurance Code, and a statement that the address of the surety company to which any notice of claim should be sent may be obtained from the Texas Department of Insurance by calling the toll-free telephone number.

17. DEDICATION OF WATER IMPROVEMENTS.

Upon completion of the construction, dedication of Water Improvements will be subject to City inspection and approval

18. WARRANTY

Developer/Owner shall fully warranty the workmanship of and function of the Water Improvements and the construction thereof for a period of one year from and after the date of acceptance of the facilities by the City's Director of Engineering Services.

19. INDEMNIFICATION

Developer/Owner covenants to fully indemnify, save and hold harmless the City of Corpus Christi, its officers, employees, and agents, ("indemnitees") against any and all liability, damage, loss, claims, demands suits and causes of action of any nature whatsoever asserted against or recovered from city on account of injury or damage to person including, without limitation on the foregoing, workers compensation and death claims, or property loss or damage of any other kind whatsoever, to the extent any injury, damage, or loss may be incident to, arise out of, be caused by, or be in any way connected with, either proximately or remotely, wholly or in part, the Developer/Owner's failure to comply with its obligations under this agreement or to provide city water service to the development, including injury, loss, or damage which arise out of or are in any manner connected with, or are claimed to arise out of or be in any manner connected with the construction, installation, existence, operation, use,

maintenance, repair, restoration, or removal of the public improvements associated with the development described above, including the injury, loss or damage caused by the sole or contributory negligence of the indemnitees or any of them, regardless of whether the injury, damage, loss, violation, exercise of rights, act, or omission is caused or is claimed to be caused by the contributing or concurrent negligence of indemnitees, or any of them, but not if caused by the sole negligence of indemnitees, or any of them, unmixed with the fault of any other person or entity, and including all expenses of litigation, court costs, and attorneys fees, which arise, or are claimed to arise, out of or in connection with the asserted or recovered incident.

This indemnity specifically includes all claims, damages, and liabilities of whatever nature, foreseen or unforeseen, under any hazardous substance laws, including but not limited to the following:

(a) all fees incurred in defending any action or proceeding brought by a public or private entity and arising from the presence, containment, use, manufacture, handling, creating, storage, treatment, discharge, release or burial on the property or the transportation to or from the property of any hazardous substance. The fees for which the developer/owner shall be responsible under this subparagraph shall include but shall not be limited to the fees charged by (i) attorneys, (ii) environmental consultants, (iii) engineers, (iv) surveyors, and (v) expert witnesses.

(b) any costs incurred attributable to (i) the breach of any warranty or representation made by Developer/Owner in this agreement, or (ii) any cleanup, detoxification, remediation, or other type of response action taken with respect to any hazardous substance on or under the property regardless of whether or not that action was mandated by the federal, state or local government.

This indemnity shall survive the expiration or earlier termination of the agreement.

20. ASSIGNMENT OF AGREEMENT

This Agreement or any rights under this Agreement may not be assigned by the Developer/Owner to another without the written approval and consent of the City's City Manager.

21. DISCLOSURE OF INTERESTS

Developer/Owner agrees, in compliance with the Corpus Christi Code of Ordinance Sec. 2-349, to complete, as part of this Agreement, the Disclosure of Interests form attached hereto as **Exhibit 5**.

22. CERTIFICATE OF INTERESTED PARTIES.

Developer/Owner agrees to comply with Texas Government Code section 2252.908 and complete Form 1295 Certificate of Interested Parties as part of this agreement.

Form 1295 requires disclosure of "interested parties" with respect to entities that enter contracts with cities. These interested parties include:

(1) persons with a "controlling interest" in the entity, which includes:

- a. an ownership interest or participating interest in a business entity by virtue of units, percentage, shares, stock or otherwise that exceeds 10 percent;
- b. membership on the board of directors or other governing body of a business entity of which the board or other governing body is composed of not more than 10 members; or
- c. service as an officer of a business entity that has four or fewer officers, or service as one of the four officers most highly compensated by a business entity that has more than four officers.

(2) a person who actively participates in facilitating a contract or negotiating the terms of a contract with a governmental entity or state agency, including a broker, intermediary, adviser or attorney for the business entity.

Form 1295 must be electronically filed with the Texas Ethics Commission at https://www.ethics.state.tx.us/whatsnew/elf_info_form1295.htm. The form must then be printed, signed, notarized and filed with the City. For more information, please review the Texas Ethics Commission Rules at <https://www.ethics.state.tx.us/legal/ch46.html>.

23. CONFLICT OF INTEREST.

Developer/Owner agrees to comply with Chapter 176 of the Texas Local Government Code and file Form CIQ with the City Secretary's Office, if required. For more information and to determine if you need to file a Form CIQ, please review the information on the City Secretary's website at <http://www.cctexas.com/government/city-secretary/conflict-disclosure/index>

24. AUTHORITY.

All signatories signing this Agreement warrant and guarantee that they have the authority to act on behalf of the entity represented and make this Agreement binding and enforceable by their signature.

25. EFFECTIVE DATE

This Agreement shall be executed in one original, which shall be considered one instrument. *This Agreement becomes effective and is binding upon, and inures to the benefit of the City and Developer/Owner from and after the date that all original copies have been executed by all signatories.

Remainder of page intentionally left blank; signature page to follow.

EXECUTED IN ONE ORIGINAL this _____ day of _____, 20____.

ATTEST:

CITY OF CORPUS CHRISTI

Rebecca Huerta
City Secretary

Albert J. Raymond III, AIA, CBO
Director of Development Services

APPROVED AS TO LEGAL FORM:

Buck Brice (Date)
Deputy City Attorney
For City Attorney

DEVELOPER/OWNER:

**LSK Development, LLC
P.O. Box 8155
Corpus Christi, Texas**

By: _____
**Ata O. Azali
Governing Person**

**STATE OF TEXAS §
 §
COUNTY OF _____ §**

This instrument was acknowledged before me on _____, 20____, by **Ata O. Azali, Governing Person of LSK Development, LLC**, a Limited Liability Company, on behalf of said corporation.

Notary Public's Signature

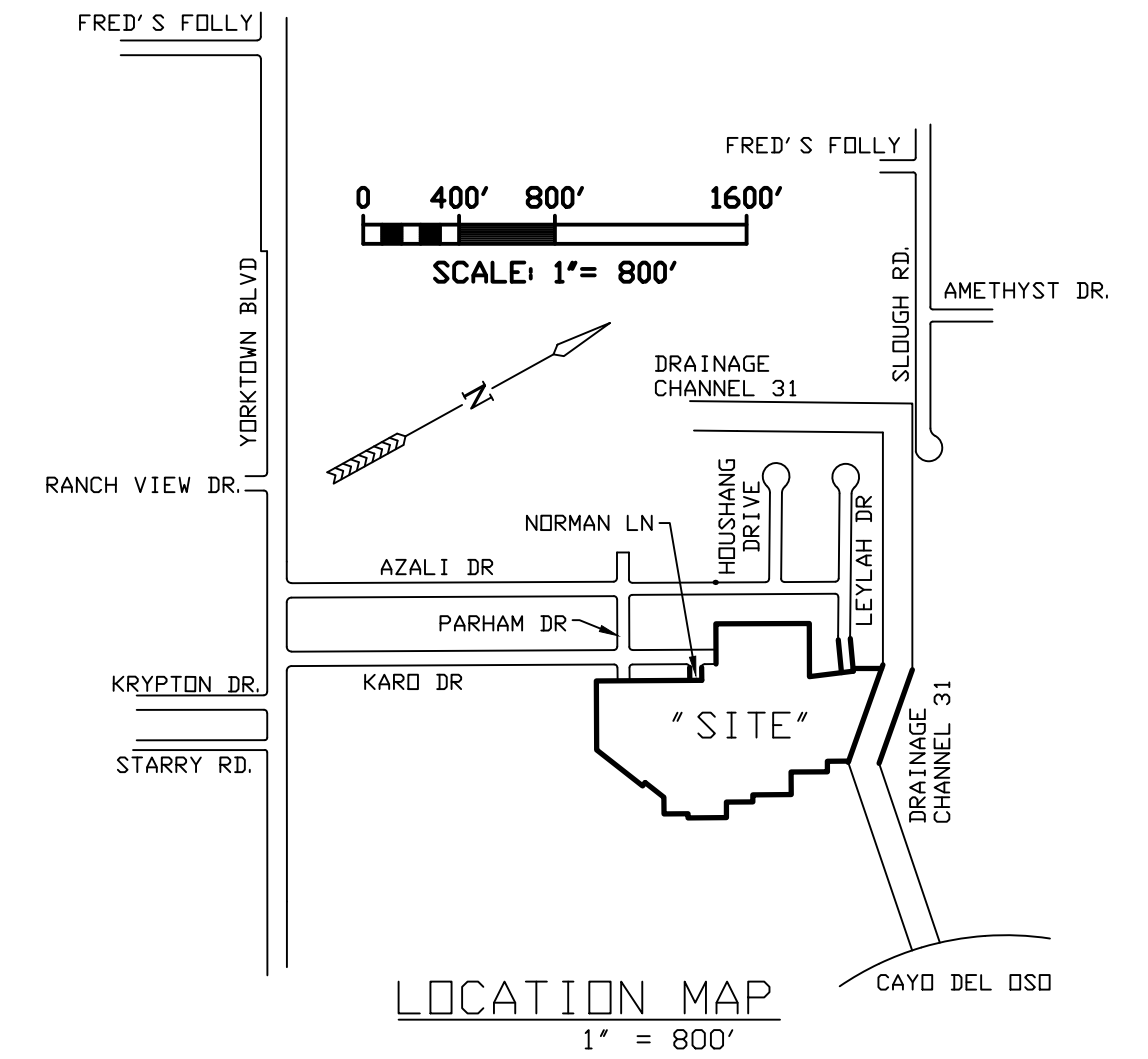
EXHIBIT 1

PLAT OF
AZALI ESTATES UNIT 3

A 13.876 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF LOTS 8 AND 9, SECTION 25, AND LOTS 1 & 6, SECTION 34, FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACTS, A MAP OF WHICH IS RECORDED IN VOLUME 'A', PAGE 41 - 43, MAP RECORDS, NUECES CO., TX
CORPUS CHRISTI, NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
FIRM NO. F-52, 3054 S. ALAMEDA ST.
CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 11/17/23
COMP. NO.: PLAT-SH1
JOB NO.: 21060
SCALE: 1" = 60'
PLOT SCALE: SAME
SHEET 1 OF 2



STATE OF TEXAS §
COUNTY OF NUECES §

WE, DORSAL DEVELOPMENT, LLC, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING PLAT, SUBJECT TO A LIEN IN FAVOR OF _____ THAT WE HAVE HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN, THAT STREETS AND EASEMENTS AS SHOWN HAVE BEEN HERETOFORE DEDICATED, OR IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE FOREVER AND THAT THIS PLAT WAS MADE FOR THE PURPOSES OF DESCRIPTION AND DEDICATION.

THIS THE _____ DAY OF _____, 20____.

ATA O. AZALI, PRESIDENT

STATE OF TEXAS §
COUNTY OF NUECES §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY ATA O. AZALI, PRESIDENT OF, DORSAL DEVELOPMENT, LLC.

THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS §
COUNTY OF NUECES §

WE, _____ (NAME), HEREBY CERTIFY THAT WE ARE THE HOLDERS OF A LIEN ON THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING MAP AND THAT WE APPROVE THE SUBDIVISION AND DEDICATION FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

BY: _____

TITLE: _____

STATE OF TEXAS §
COUNTY OF NUECES §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____ (NAME),

(TITLE), OF _____

THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS §
COUNTY OF NUECES §

I, NIXON M. WELSH, REGISTERED PROFESSIONAL LAND SURVEYOR OF BASS & WELSH ENGINEERING, HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND THAT WE HAVE BEEN ENGAGED TO SET LOT CORNER MONUMENTATION UPON COMPLETION OF SUBDIVISION CONSTRUCTION IMPROVEMENTS.

THIS THE _____ DAY OF _____, 20____.

NIXON M. WELSH, R. P. L. S.

STATE OF TEXAS §
COUNTY OF NUECES §

THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE DEPARTMENT OF DEVELOPMENT SERVICES OF THE CITY OF CORPUS CHRISTI, TEXAS

BRIA A. WHITMIRE, P.E., CFM, CPM
DEVELOPMENT SERVICES ENGINEER

DATE

STATE OF TEXAS §
COUNTY OF NUECES §

THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS, BY THE PLANNING COMMISSION.

THIS THE _____ DAY OF _____, 20____.

CHAIRMAN
MICHAEL MILLER

SECRETARY
AL RAYMOND III, AIA

STATE OF TEXAS §
COUNTY OF NUECES §

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR SAID COUNTY, DO

HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE _____ DAY OF _____, 20____ WITH ITS CERTIFICATE OF AUTHENTICATION,

WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____, 20____

AT _____ O'CLOCK _____M., AND

DULY RECORDED THE _____ DAY OF _____, 20____ AT _____

O'CLOCK _____M. IN THE MAP RECORDS OF SAID COUNTY IN VOLUME _____

_____, PAGE _____, INSTRUMENT NUMBER _____, WITNESS MY

HAND AND SEAL OF THE COUNTY COURT IN AND FOR SAID COUNTY AT OFFICE IN

CORPUS CHRISTI, NUECES COUNTY, TEXAS, THE DAY AND YEAR LAST WRITTEN.

BY: _____

DEPUTY

KARA SANDS, CLERK
COUNTY COURT
NUECES COUNTY, TEXAS

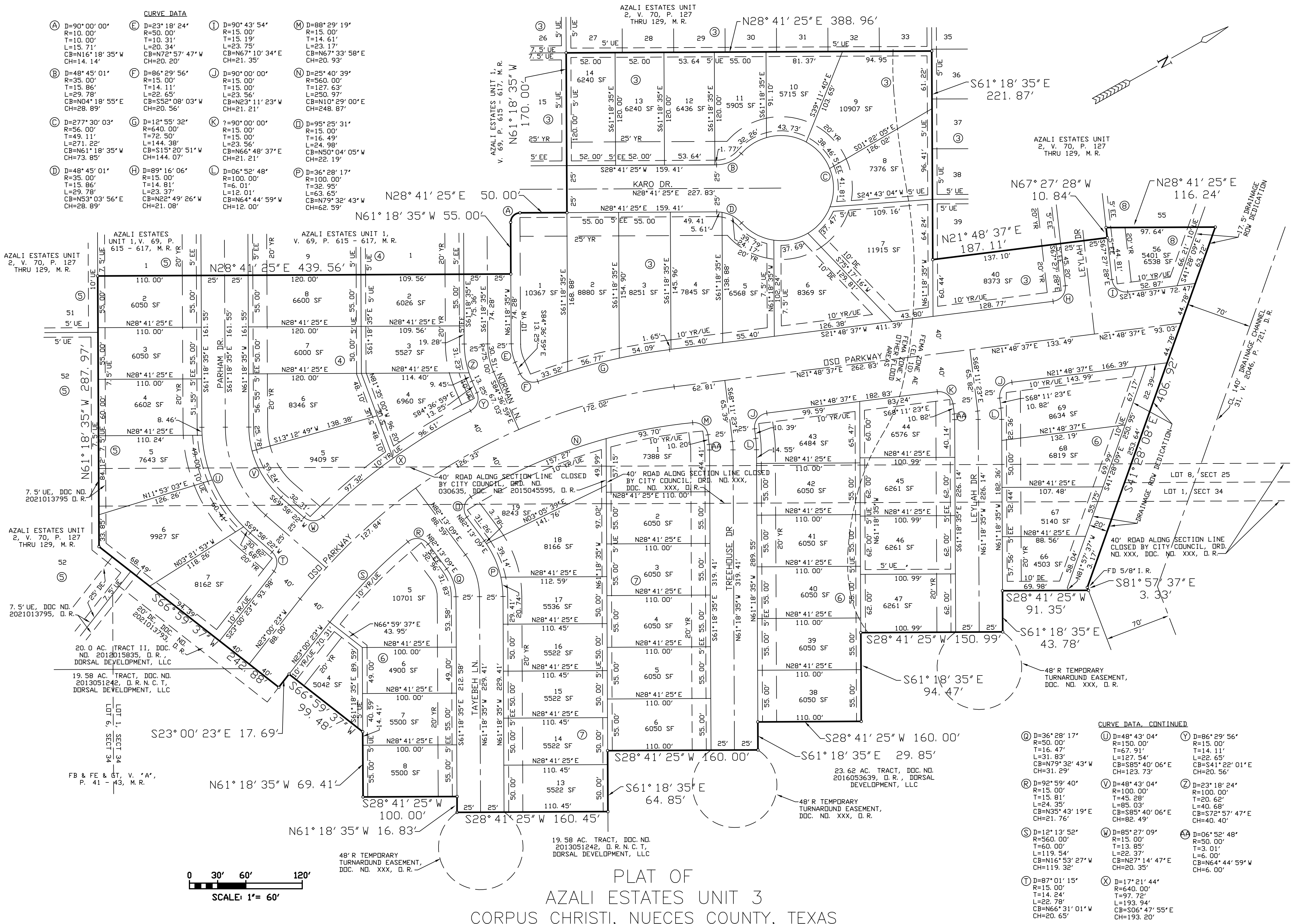
LEGEND:

- DE DRAINAGE EASEMENT
- D.R. DEED RECORDS, NUECES CO., TX
- M.R. MAP RECORDS, NUECES CO., TX
- O.R. OFFICIAL RECORDS, NUECES CO., TX
- UE UTILITY EASEMENT

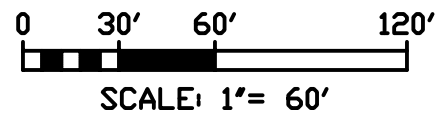
NOTES

1. THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
2. MONUMENTATION FOR LOT CORNERS IS 5/8" IRON RODS WHERE REASONABLY POSSIBLE, OTHERWISE, NAILS OR CHISEL MARKS WHERE REASONABLY POSSIBLE. ALL IRON RODS SET CONTAIN PLASTIC CAPS LABELED BASS AND WELSH ENGINEERING.
3. THE BASIS OF BEARINGS IS THE STATE OF TEXAS LAMBERT GRID, SOUTH ZONE, NAD 1983.
4. ALL OF THE SUBJECT SITE LIES IN ZONE X (OTHER FLOOD AREAS) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48355C0540G, NUECES COUNTY, TEXAS AND UNINCORPORATED AREAS, MAP STAMPED "REVISED PRELIMINARY, MAY 30, 2018", EXCEPT FOR AREAS IN ZONE AE (EL10) IN THE NORTH PORTION OF THE SITE AS SHOWN.
5. LEGAL DESCRIPTION: A 13.876 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF LOTS 8 AND 9, SECTION 25, AND LOTS 1 & 6, SECTION 34 FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACTS, A MAP OF WHICH IS RECORDED IN VOLUME "A", PAGE 41-43, MAP RECORDS, NUECES CO., TX.
6. THE TOTAL PLATTED AREA CONTAINS 13.876 ACRES OF LAND INCLUDING STREET DEDICATIONS.
7. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE
8. NO PRIVATE DRIVEWAY ACCESS ONTO OSO PARKWAY EXCEPT LOT 4, BLOCK 6, SHALL HAVE DRIVEWAY ACCESS TO OSO PARKWAY.

- CURVE DATA**
- (A) D=90°00'00" R=10.00' T=10.00' L=15.71' CB=N16°18'35"W CH=14.14'
 - (B) D=48°45'01" R=35.00' T=15.86' L=29.78' CB=N04°18'55"E CH=28.89'
 - (C) D=277°30'03" R=56.00' T=49.11' L=271.22' CB=N61°18'35"W CH=73.85'
 - (D) D=48°45'01" R=35.00' T=15.86' L=29.78' CB=N5°03'56"E CH=28.89'
 - (E) D=23°18'24" R=50.00' T=10.31' L=20.34' CB=N72°57'47"W CH=20.20'
 - (F) D=86°29'56" R=15.00' T=14.11' L=22.65' CB=N52°08'03"W CH=20.56'
 - (G) D=12°55'32" R=640.00' T=72.50' L=144.38' CB=S15°20'51"W CH=144.07'
 - (H) D=89°16'06" R=15.00' T=14.81' L=23.37' CB=N22°49'26"W CH=21.08'
 - (I) D=90°43'54" R=15.00' T=14.61' L=23.75' CB=N67°10'34"E CH=21.35'
 - (J) D=90°00'00" R=15.00' T=15.00' L=23.56' CB=N23°11'23"W CH=21.21'
 - (K) D=90°00'00" R=15.00' T=15.00' L=23.56' CB=N66°48'37"E CH=21.21'
 - (L) D=06°52'48" R=100.00' T=6.01' L=12.01' CB=N64°44'59"W CH=12.00'
 - (M) D=88°29'19" R=15.00' T=14.61' L=23.75' CB=N57°33'58"E CH=20.93'
 - (N) D=25°40'39" R=560.00' T=127.63' L=250.97' CB=N10°29'00"E CH=248.87'
 - (O) D=95°25'31" R=15.00' T=16.49' L=24.98' CB=N50°04'05"W CH=22.19'
 - (P) D=36°28'17" R=100.00' T=32.95' L=63.65' CB=N79°32'43"W CH=62.59'



- CURVE DATA, CONTINUED**
- (Q) D=36°28'17" R=50.00' T=16.47' L=31.83' CB=N79°32'43"W CH=31.29'
 - (R) D=92°59'40" R=15.00' T=15.81' L=24.35' CB=N35°43'19"E CH=21.76'
 - (S) D=12°13'52" R=560.00' T=72.50' L=144.38' CB=N16°53'27"W CH=119.32'
 - (T) D=87°01'15" R=15.00' T=14.24' L=22.78' CB=N66°31'01"W CH=20.65'
 - (U) D=48°43'04" R=150.00' T=57.91' L=127.14' CB=S85°40'06"E CH=123.73'
 - (V) D=48°43'04" R=100.00' T=45.28' L=85.03' CB=N35°43'19"E CH=21.76'
 - (W) D=85°27'09" R=15.00' T=13.85' L=22.37' CB=N27°14'47"E CH=20.35'
 - (X) D=17°21'44" R=640.00' T=97.72' L=193.94' CB=S06°47'55"E CH=193.20'
 - (Y) D=86°29'56" R=15.00' T=14.11' L=22.65' CB=S41°22'01"E CH=20.56'
 - (Z) D=23°18'24" R=100.00' T=10.31' L=20.34' CB=S72°57'47"E CH=40.40'
 - (AA) D=06°52'48" R=50.00' T=3.01' L=6.00' CB=N64°44'59"W CH=6.00'



PLAT OF
AZALI ESTATES UNIT 3
CORPUS CHRISTI, NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
FIRM NO. F-52, 3054 S. ALAMEDA ST.
CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 11/17/23
COMP. NO.: PLAT-SH2
JOB NO.: 21060
SCALE: 1" = 60'
PLOT SCALE: SAME
SHEET 2 OF 2

EXHIBIT 2



Reimbursement Agreement Application

Date of Application: 1/19/2024

Type of Agreement Requested: Deferment [] Reimbursement [x] Participation []

Approved Plat Name: Azali Estates Unit 3

Public Improvement Type:

Approved Public Improvement Plans: Y [] N []

Cost Estimate for Public Improvements:

Ownership and authorized signatories to enter into the agreement:

Contact Information

Name: Mona Serna

E-mail address: office@ataliving.com

Phone Number: 361-994-2850

Preferred Method of Contact: Email [x] Phone [] Other []

If other, provide detail:

Company Name entering into the agreement: LSK Development

Company Address: P.O. Box 8155 Corpus Christi, TX. 78468

A handwritten signature in black ink, appearing to read "Mona Serna", written over a horizontal line.

President

Applicant's Signature & Title

Submit Application Electronically to:
contractsandagreements@cctexas.com

Mail to:

Development Services

Attn: Business Manager

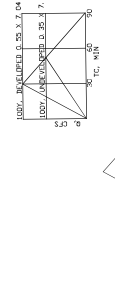
2406 Leopard St. Suite 100

Corpus Christi, Texas 78408

EXHIBIT 3

PLAN

SECTION 5 OF THE SUBDIVISION IS TO BE CONSIDERED AS A UNIT FOR THE PURPOSE OF THE SUBDIVISION. THE AREA OF THIS UNIT IS 13.9 AC = 30.025.



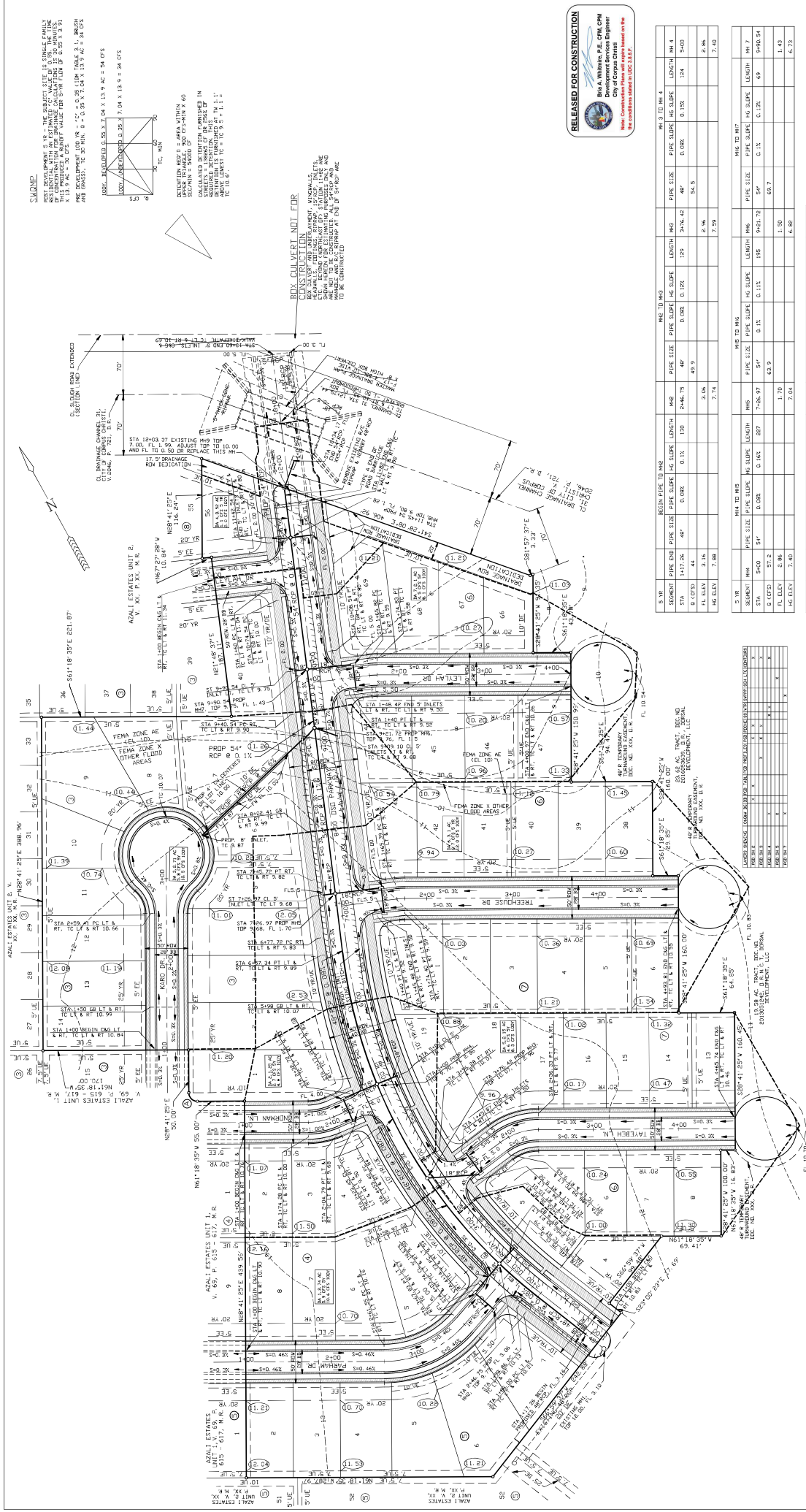
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REPAIRS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER. THE ENGINEER SHALL BE CONSULTED FOR ANY REPAIRS OR MAINTENANCE WORK THAT MAY BE REQUIRED. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONDITION OF THE STRUCTURE AFTER IT HAS BEEN ABANDONED OR DESTROYED BY FIRE, FLOOD, OR OTHER CAUSES.

BOX-CULVERT NOT FOR CONSTRUCTION

CONSTRUCTION NOTES
REPAIRS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER. THE ENGINEER SHALL BE CONSULTED FOR ANY REPAIRS OR MAINTENANCE WORK THAT MAY BE REQUIRED. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONDITION OF THE STRUCTURE AFTER IT HAS BEEN ABANDONED OR DESTROYED BY FIRE, FLOOD, OR OTHER CAUSES.



BASS & WELSH ENGINEERING, P.C.
7800 N. LOOP WEST, SUITE 200
CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO
AZALI ESTATES UNIT 3
PAVING, GRADING AND DRAINAGE PLAN
SHOWING DRAINAGE BASINS AND TABLES

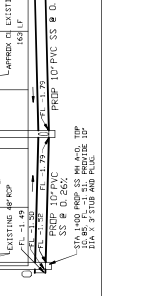
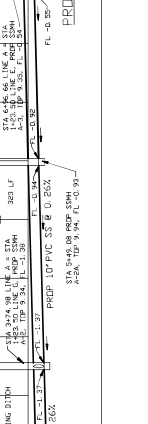
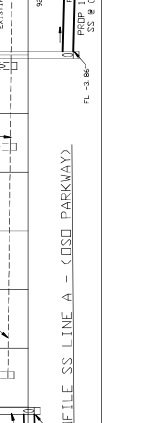
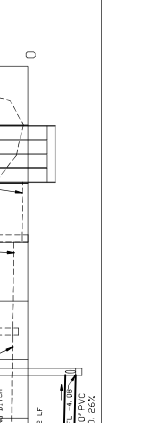
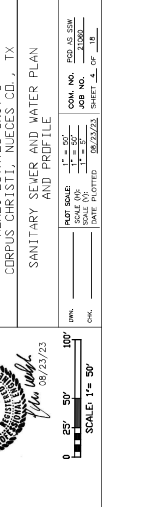
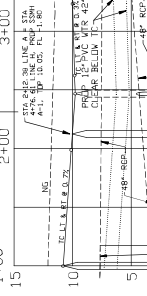
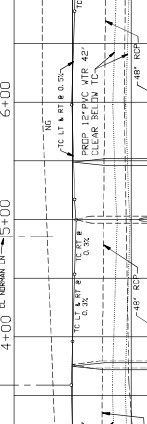
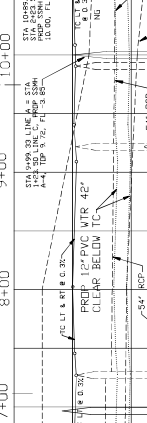
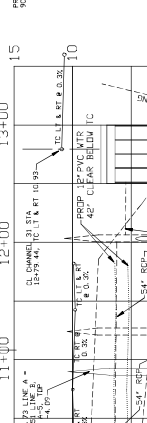
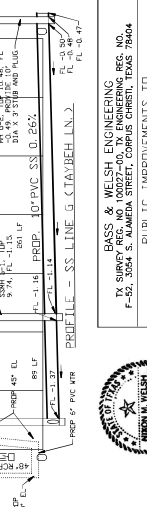
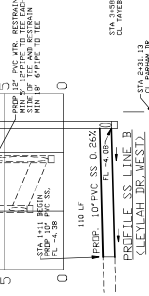
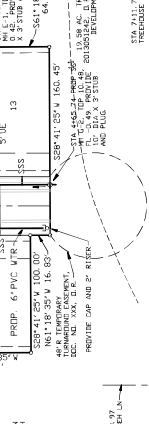
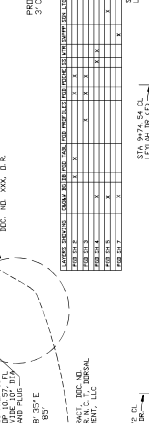
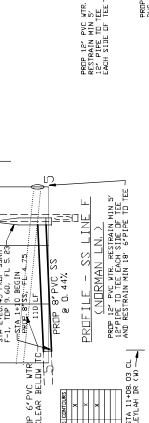
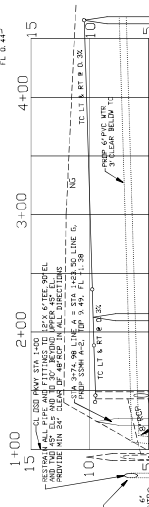
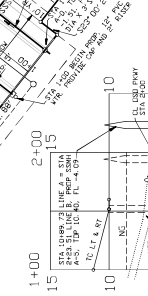
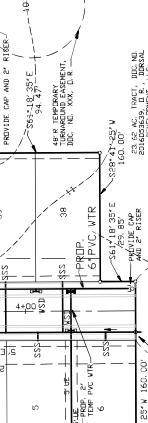
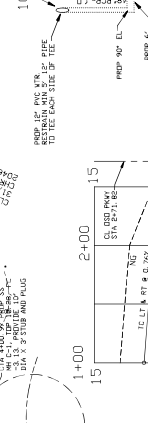
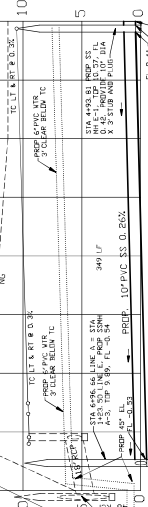
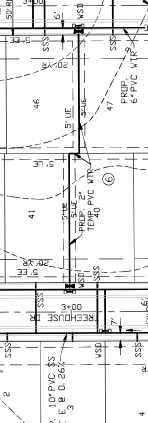
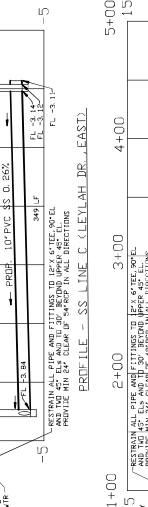
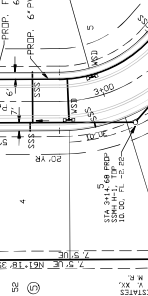
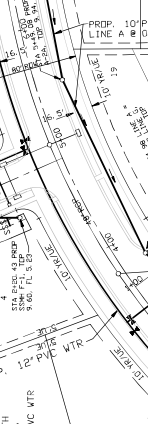
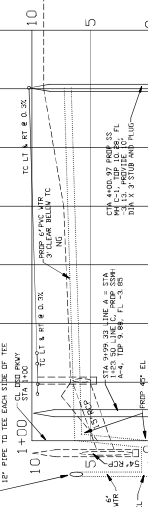
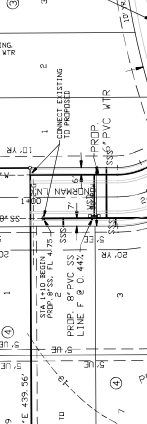
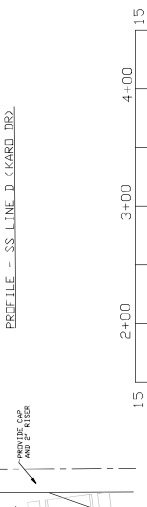
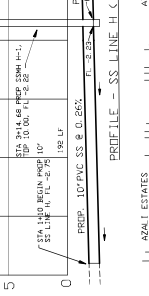
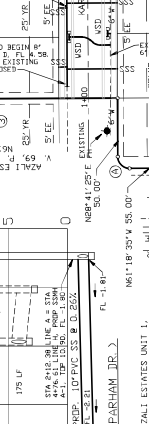
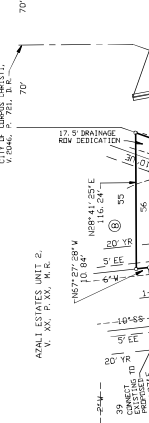
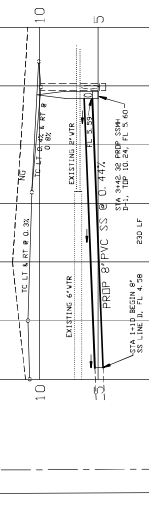
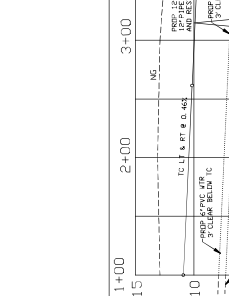
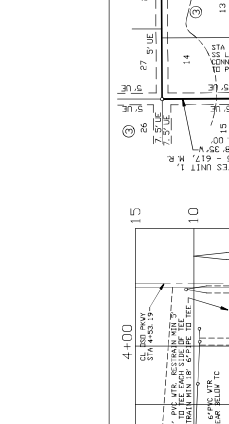
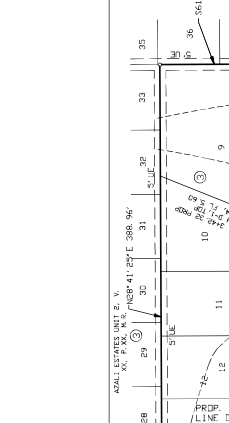
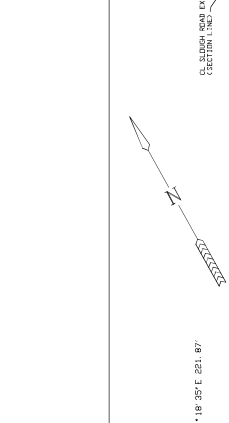
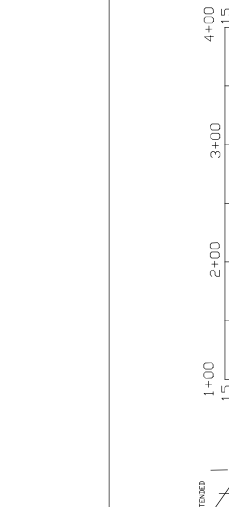
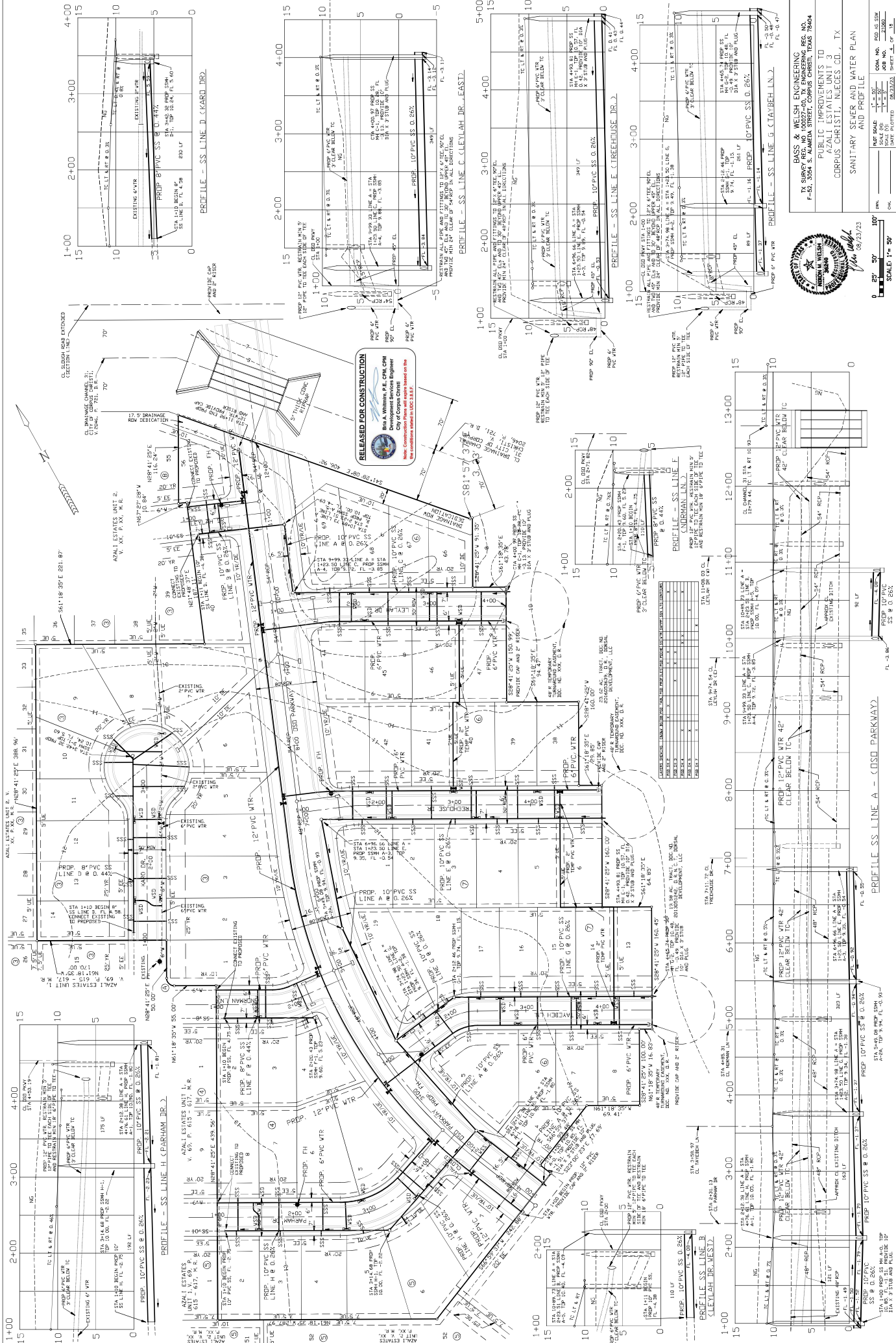


NO.	DESCRIPTION	DATE	STATUS
1	EXISTING DRAINAGE BASINS		AS SHOWN
2	NEW DRAINAGE BASINS		AS SHOWN
3	EXISTING DRAINAGE BASINS		AS SHOWN
4	NEW DRAINAGE BASINS		AS SHOWN

NO. 1 TO NO. 4				NO. 5 TO NO. 7				NO. 8 TO NO. 10									
STATION	PIPE DIA	PIPE SIZE	PIPE SLOPE	HS. SLOPE	LENGTH	NO.	PIPE DIA	PIPE SIZE	PIPE SLOPE	HS. SLOPE	LENGTH	NO.	PIPE DIA	PIPE SIZE	PIPE SLOPE	HS. SLOPE	LENGTH
10+00.00	48"	48"	0.015	0.020	200.00	10+00.00	48"	48"	0.015	0.020	200.00	10+00.00	48"	48"	0.015	0.020	200.00
10+20.00	48"	48"	0.015	0.020	200.00	10+20.00	48"	48"	0.015	0.020	200.00	10+20.00	48"	48"	0.015	0.020	200.00
10+40.00	48"	48"	0.015	0.020	200.00	10+40.00	48"	48"	0.015	0.020	200.00	10+40.00	48"	48"	0.015	0.020	200.00
10+60.00	48"	48"	0.015	0.020	200.00	10+60.00	48"	48"	0.015	0.020	200.00	10+60.00	48"	48"	0.015	0.020	200.00
10+80.00	48"	48"	0.015	0.020	200.00	10+80.00	48"	48"	0.015	0.020	200.00	10+80.00	48"	48"	0.015	0.020	200.00
11+00.00	48"	48"	0.015	0.020	200.00	11+00.00	48"	48"	0.015	0.020	200.00	11+00.00	48"	48"	0.015	0.020	200.00
11+20.00	48"	48"	0.015	0.020	200.00	11+20.00	48"	48"	0.015	0.020	200.00	11+20.00	48"	48"	0.015	0.020	200.00
11+40.00	48"	48"	0.015	0.020	200.00	11+40.00	48"	48"	0.015	0.020	200.00	11+40.00	48"	48"	0.015	0.020	200.00
11+60.00	48"	48"	0.015	0.020	200.00	11+60.00	48"	48"	0.015	0.020	200.00	11+60.00	48"	48"	0.015	0.020	200.00
11+80.00	48"	48"	0.015	0.020	200.00	11+80.00	48"	48"	0.015	0.020	200.00	11+80.00	48"	48"	0.015	0.020	200.00
12+00.00	48"	48"	0.015	0.020	200.00	12+00.00	48"	48"	0.015	0.020	200.00	12+00.00	48"	48"	0.015	0.020	200.00
12+20.00	48"	48"	0.015	0.020	200.00	12+20.00	48"	48"	0.015	0.020	200.00	12+20.00	48"	48"	0.015	0.020	200.00
12+40.00	48"	48"	0.015	0.020	200.00	12+40.00	48"	48"	0.015	0.020	200.00	12+40.00	48"	48"	0.015	0.020	200.00
12+60.00	48"	48"	0.015	0.020	200.00	12+60.00	48"	48"	0.015	0.020	200.00	12+60.00	48"	48"	0.015	0.020	200.00
12+80.00	48"	48"	0.015	0.020	200.00	12+80.00	48"	48"	0.015	0.020	200.00	12+80.00	48"	48"	0.015	0.020	200.00

SCALE: 1" = 50'

SHEET 2 OF 18



RELEASED FOR CONSTRUCTION
 Bria A. Williams, P.E. CPE, CFM
 Development Services Engineer
 Bria Williams Engineering, Inc.
 10000 West Loop South, Suite 1000
 Houston, Texas 77040
 No Construction Permit and sign based on the
 New Construction Permit UOC 18-017

SCALE 1" = 30'
 DATE 08/23/23

DATE 08/23/23

DATE 08/23/23

DATE 08/23/23

DATE 08/23/23

DATE 08/23/23

DATE 08/23/23

DATE 08/23/23

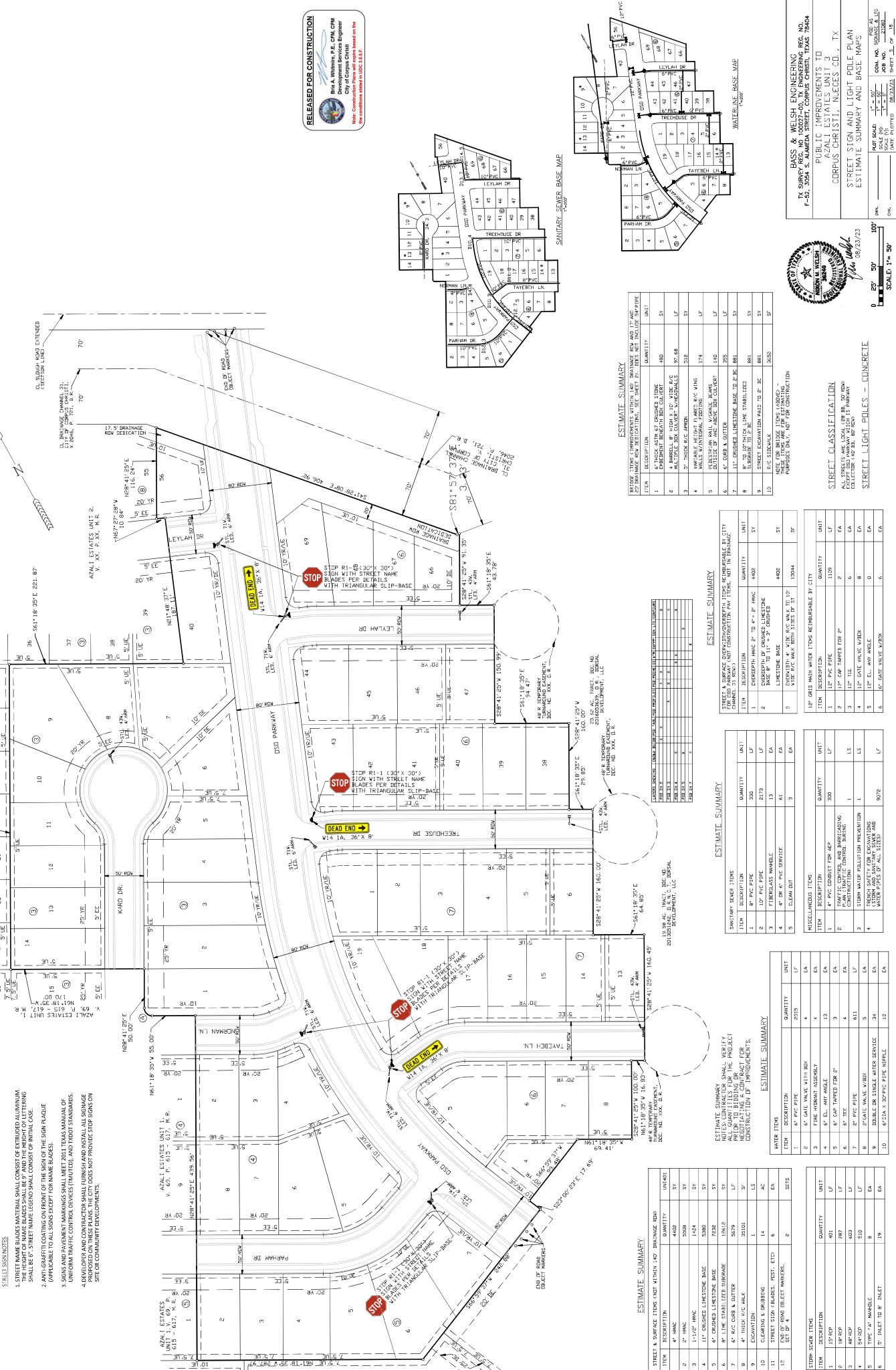
DATE 08/23/23



BAS & WELSH ENGINEERING
 P.E. License No. 11207
 F-52, 2024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO AZALEA ESTATES UNIT 3
 CORPUS CHRISTI, NEDES CD., TX
 STREET SIGN AND LIGHT POLE PLAN
 ESTIMATE SUMMARY AND BASE MAPS
 DATE: 08/23/23
 SHEET NO. 11 OF 12



SCALE: 1" = 30'
 DATE: 08/23/23
 SHEET NO. 11 OF 12



ESTIMATE SUMMARY

ITEM	DESCRIPTION	QUANTITY	UNIT
1	6" THICK ALUM. EXTENDED CHANNEL	480	LF
2	4" MANHOLE WITH 12" V.P.C.	97.68	LF
3	5" THICK 6" JUNCTION	518	LF
4	WALKER W/ VERTICAL FINISH	174	LF
5	4" DIA. & GUTTER	285	LF
6	12" CHANGED LINED BASE TO 2" R.C.	881	LF
7	12" CHANGED LINED BASE TO 2" R.C.	881	LF
8	STREET SIGN AND LIGHT POLES - CONCRETE	3078	EA

ESTIMATE SUMMARY

ITEM	DESCRIPTION	QUANTITY	UNIT
1	12" PVC PIPE	300	LF
2	12" PVC PIPE	2179	LF
3	FIBERGLASS MANHOLE	13	EA
4	6" R.C. P.C. BROILER	43	EA
5	6" R.C. P.C. BROILER	3	EA

ESTIMATE SUMMARY

ITEM	DESCRIPTION	QUANTITY	UNIT
1	4" PVC CONDUIT FOR ASP	300	LF
2	2" PVC CONDUIT FOR ASP	300	LF
3	2" PVC CONDUIT FOR ASP	300	LF
4	2" PVC CONDUIT FOR ASP	300	LF
5	2" PVC CONDUIT FOR ASP	300	LF
6	2" PVC CONDUIT FOR ASP	300	LF

ESTIMATE SUMMARY

ITEM	DESCRIPTION	QUANTITY	UNIT
1	6" PVC PIPE	405	LF
2	6" EL. ANY ANGLE	13	EA
3	6" CAP THROTTLE FOR 2"	287	LF
4	5" PVC PIPE	503	LF
5	5" PVC PIPE	510	LF
6	5" PVC PIPE	510	LF
7	5" PVC PIPE	510	LF
8	5" PVC PIPE	510	LF
9	5" PVC PIPE	510	LF
10	5" PVC PIPE	510	LF
11	5" PVC PIPE	510	LF
12	5" PVC PIPE	510	LF

ESTIMATE SUMMARY

ITEM	DESCRIPTION	QUANTITY	UNIT
1	12" PVC PIPE	405	LF
2	12" PVC PIPE	405	LF
3	12" PVC PIPE	405	LF
4	12" PVC PIPE	405	LF
5	12" PVC PIPE	405	LF
6	12" PVC PIPE	405	LF
7	12" PVC PIPE	405	LF
8	12" PVC PIPE	405	LF
9	12" PVC PIPE	405	LF
10	12" PVC PIPE	405	LF
11	12" PVC PIPE	405	LF
12	12" PVC PIPE	405	LF

STREET SIGN NOTES

- STREET NAME BLADE MATERIAL SHALL CONSIST OF EXTRUDED ALUMINUM. THE HEIGHT OF NAME BLADES SHALL BE 5" AND THE HEIGHT OF LETTERING SHALL BE 6". STREET NAME LOGO SHALL CONSIST OF INITIAL LOGO.
- ADDITIONAL TO ALL SIGNING OF THE SIGN PLACQUE (A) SIGN PLACQUE SHALL BE 24" X 36" (B) SIGN PLACQUE SHALL BE 24" X 36" (C) SIGN PLACQUE SHALL BE 24" X 36"
- 6" SIGN AND SIGNPOST MOUNTINGS SHALL MEET 2014 TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND TDDOT STANDARDS.
- ENGINEER AND CONTRACTOR SHALL FURNISH AND INSTALL ALL SIGNAGE PROPOSED ON THESE PLANS. THE CITY DOES NOT PROVIDE STOP SIGNS ON SITE OR COMMUNITY DEVELOPMENTS.

ESTIMATE SUMMARY

ITEM	DESCRIPTION	QUANTITY	UNIT
1	4" MANHOLE	480	EA
2	4" MANHOLE	508	EA
3	4" MANHOLE	536	EA
4	4" MANHOLE	564	EA
5	4" MANHOLE	592	EA
6	4" MANHOLE	620	EA
7	4" MANHOLE	648	EA
8	4" MANHOLE	676	EA
9	4" MANHOLE	704	EA
10	4" MANHOLE	732	EA
11	4" MANHOLE	760	EA
12	4" MANHOLE	788	EA
13	4" MANHOLE	816	EA
14	4" MANHOLE	844	EA
15	4" MANHOLE	872	EA
16	4" MANHOLE	900	EA
17	4" MANHOLE	928	EA
18	4" MANHOLE	956	EA
19	4" MANHOLE	984	EA
20	4" MANHOLE	1012	EA
21	4" MANHOLE	1040	EA
22	4" MANHOLE	1068	EA
23	4" MANHOLE	1096	EA
24	4" MANHOLE	1124	EA
25	4" MANHOLE	1152	EA
26	4" MANHOLE	1180	EA
27	4" MANHOLE	1208	EA
28	4" MANHOLE	1236	EA
29	4" MANHOLE	1264	EA
30	4" MANHOLE	1292	EA
31	4" MANHOLE	1320	EA
32	4" MANHOLE	1348	EA
33	4" MANHOLE	1376	EA
34	4" MANHOLE	1404	EA
35	4" MANHOLE	1432	EA
36	4" MANHOLE	1460	EA
37	4" MANHOLE	1488	EA
38	4" MANHOLE	1516	EA
39	4" MANHOLE	1544	EA
40	4" MANHOLE	1572	EA
41	4" MANHOLE	1600	EA
42	4" MANHOLE	1628	EA
43	4" MANHOLE	1656	EA
44	4" MANHOLE	1684	EA
45	4" MANHOLE	1712	EA
46	4" MANHOLE	1740	EA
47	4" MANHOLE	1768	EA
48	4" MANHOLE	1796	EA
49	4" MANHOLE	1824	EA
50	4" MANHOLE	1852	EA
51	4" MANHOLE	1880	EA
52	4" MANHOLE	1908	EA
53	4" MANHOLE	1936	EA
54	4" MANHOLE	1964	EA
55	4" MANHOLE	1992	EA
56	4" MANHOLE	2020	EA
57	4" MANHOLE	2048	EA
58	4" MANHOLE	2076	EA
59	4" MANHOLE	2104	EA
60	4" MANHOLE	2132	EA
61	4" MANHOLE	2160	EA
62	4" MANHOLE	2188	EA
63	4" MANHOLE	2216	EA
64	4" MANHOLE	2244	EA
65	4" MANHOLE	2272	EA
66	4" MANHOLE	2300	EA
67	4" MANHOLE	2328	EA
68	4" MANHOLE	2356	EA
69	4" MANHOLE	2384	EA
70	4" MANHOLE	2412	EA
71	4" MANHOLE	2440	EA
72	4" MANHOLE	2468	EA
73	4" MANHOLE	2496	EA
74	4" MANHOLE	2524	EA
75	4" MANHOLE	2552	EA
76	4" MANHOLE	2580	EA
77	4" MANHOLE	2608	EA
78	4" MANHOLE	2636	EA
79	4" MANHOLE	2664	EA
80	4" MANHOLE	2692	EA
81	4" MANHOLE	2720	EA
82	4" MANHOLE	2748	EA
83	4" MANHOLE	2776	EA
84	4" MANHOLE	2804	EA
85	4" MANHOLE	2832	EA
86	4" MANHOLE	2860	EA
87	4" MANHOLE	2888	EA
88	4" MANHOLE	2916	EA
89	4" MANHOLE	2944	EA
90	4" MANHOLE	2972	EA
91	4" MANHOLE	3000	EA
92	4" MANHOLE	3028	EA
93	4" MANHOLE	3056	EA
94	4" MANHOLE	3084	EA
95	4" MANHOLE	3112	EA
96	4" MANHOLE	3140	EA
97	4" MANHOLE	3168	EA
98	4" MANHOLE	3196	EA
99	4" MANHOLE	3224	EA
100	4" MANHOLE	3252	EA

SITE DESCRIPTION

NOT TO SCALE

PROJECT LIMITS: AZALI ESTATES UNIT 3

PROJECT DESCRIPTION: CONSTRUCTION OF SINGLE-FAMILY RESIDENTIAL SUBDIVISION, THE PRIMARY ACTIVITIES WILL BE CONSTRUCTION OF CONCRETE FOUNDATIONS, CONCRETE SLABS, CONCRETE DRIVEWAYS, STORM SEWER, AND UTILITY CONSTRUCTION AND LOT GRADING AND CLEARING AND GRUBBING

MAJOR SOIL DISTURBING ACTIVITIES: PAVEMENT AND EARTHWORK CONSTRUCTION, LOT GRADING & STORM SEWER AND UTILITY CONSTRUCTION

TOTAL PROJECT AREA: 13,876 ACRES

TOTAL AREA TO BE DISTURBED: 13,876 ACRES

WEIGHTED RUNOFF COEFFICIENT (AFTER CONSTRUCTION): 56%

EXISTING COVERAGE OF SOIL & VEGETATIVE COVER AND % OF EXISTING VEGETATIVE COVER:

SOIL CLASSIFICATION (USDA) - SOILS AT THE SUBJECT SITE ARE BR. ERODY. CLAY. 0 TO 1% SLOPES, CCA (CANTON) AND D. (DALLAS) SANDY CLAY. 0 TO 1% SLOPES, AND G. (GALVESTON) SANDY CLAY. 0 TO 1% SLOPES. 60% EXISTING VEGETATIVE COVER.

NAME OF RECEIVING WATERS: OSD DRECK

NARRATIVE - SEQUENCE OF CONSTRUCTION (STORM WATER MANAGEMENT) ACTIVITIES:

- THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:
- STORM WATER MANAGEMENT SHALL UTILIZE WASTE WATER TREATMENT PLANT EFFLUENT TO MAINTAIN EXISTING VEGETATIVE COVER AND TO MAINTAIN EXISTING VEGETATIVE COVER AND TO MAINTAIN EXISTING VEGETATIVE COVER.
 - GRADE PROPOSED PAVEMENT TO SUBGRADE ELEVATION, COMPACT SUBGRADE, CONSTRUCT PAVEMENT.
 - UPON COMPLETION OF CONSTRUCTION, TEMPORARY CONTROL STRUCTURES WILL REMAIN IN PLACE UNTIL LANDSCAPING OR GRASSES ARE IN PLACE.

EROSION AND SEDIMENT CONTROLS

STORM WATER MANAGEMENT STORM WATER DRAINAGE WILL BE PROVIDED BY THE STREET SECTION, INLETS AND PIPES, CURB & GUTTER WILL CARRY THE RUNOFF TO THE COLLECTION POINTS (INLETS).

SOIL STABILIZATION PRACTICES:

- TEMPORARY SEEDING PLANTING, SODDING, OR SEEDING
 - MULCHING
 - SOIL RETENTION BLANKET
 - BUFFER ZONES
 - PRESERVATION OF NATURAL RESOURCES
- OTHER: DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED TEMPORARILY OR PERMANENTLY SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME AND SO WITHIN 21 DAYS.

STRUCTURAL PRACTICES:

- HAY BALE DAM
- ROCK BERMS
- DIVERSION, INTERCEPTOR, OR PERIMETER DIKES
- DIVERSION, DIKE AND SWALE COMBINATION
- PAVED FLUMES
- TURBIDITY BARRIERS AT CONSTRUCTION EXIT
- TURBIDITY BARRIERS AT CONSTRUCTION EXIT
- CHANNEL LINERS
- SEDIMENT TRAPS
- STONE AND SEDIMENT TRAP
- STONE OUTLET STRUCTURES
- CURBS AND GUTTERS
- VELOCITY CONTROL DEVICES

MAINTENANCE - ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE DONE AT THE EARLIEST DATE POSSIBLE, BUT NO LATER THAN 7 CALENDAR DAYS AFTER THE SURROUNDING EXPOSED GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. MAINTENANCE SHALL HAVE PRIORITY FOLLOWED BY REPAIRS TO PROTECTING STORM SEWER INLETS.

INSPECTION - ALL INSPECTION WILL BE PERFORMED BY AN INSPECTOR EVERY WEEK, AS WELL AS AFTER EVERY HALF INCH OR MORE OF RAIN (AS RECORDED ON A NON-FREEZING RAIN GAUGE). INSPECTIONS SHALL BE CONDUCTED DURING THE EARLIEST DATE POSSIBLE, BUT NO LATER THAN 7 CALENDAR DAYS AFTER THE SURROUNDING EXPOSED GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. MAINTENANCE SHALL HAVE PRIORITY FOLLOWED BY REPAIRS TO PROTECTING STORM SEWER INLETS.

REPORTS - AN INSPECTION AND MAINTENANCE REPORT WILL BE SUBMITTED FOR EACH INSPECTION. THE REPORTS SHALL BE SUBMITTED TO THE CONTRACTOR AND THE CITY ENGINEER. THE REPORTS SHALL BE SUBMITTED TO THE CONTRACTOR AND THE CITY ENGINEER. THE REPORTS SHALL BE SUBMITTED TO THE CONTRACTOR AND THE CITY ENGINEER.

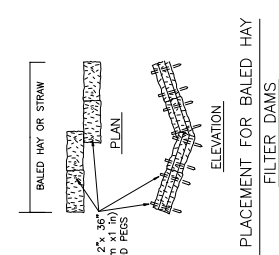
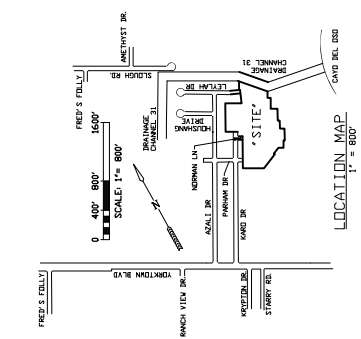
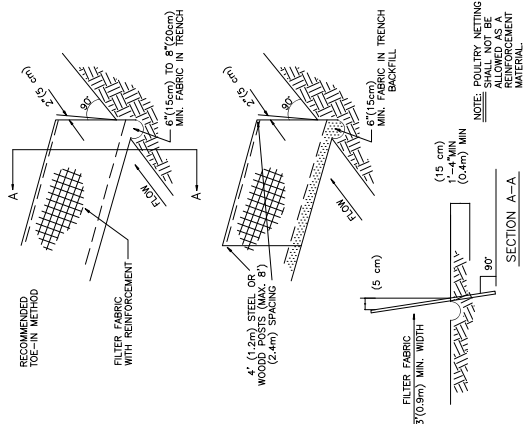
SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY.

OFFSITE VEHICLE TRACKING:

- LOADED HAUL TRUCKS TO BE COVERED WITH TARP/AULIN
- EXCESS DIRT ON ROAD REMOVED DAILY
- STABILIZED CONSTRUCTION ENTRANCE

REMARKS: DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATER BODY, OR OTHER SENSITIVE AREAS. DISPOSAL AREAS SHALL BE CONSTRUCTED IN A MANNER TO MINIMIZE THE RISK OF POLLUTANTS. ALL WATERWAYS SHALL BE CLEARED AS SOON AS POSSIBLE OF TEMPORARY EMBANKMENT, TEMPORARY BRIDGES, MATING, FALSEWORK, PILING, DEBRIS OR OTHER OBSTRUCTIONS PLACED DURING CONSTRUCTION OPERATIONS THAT ARE NOT A PART OF THE FINISHED WORK.

CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS AS MAY BE REQUIRED BY TECO AND EPA. CONTRACTOR SHALL PROVIDE NOT AND NOT.



Basius and Welch Engineering
 PUBLIC IMPROVEMENTS TO
 AZALI ESTATES UNIT 3
 CORPUS CHRISTI, NUECES CO., TX

DATE PLOTTED: 08/23/23

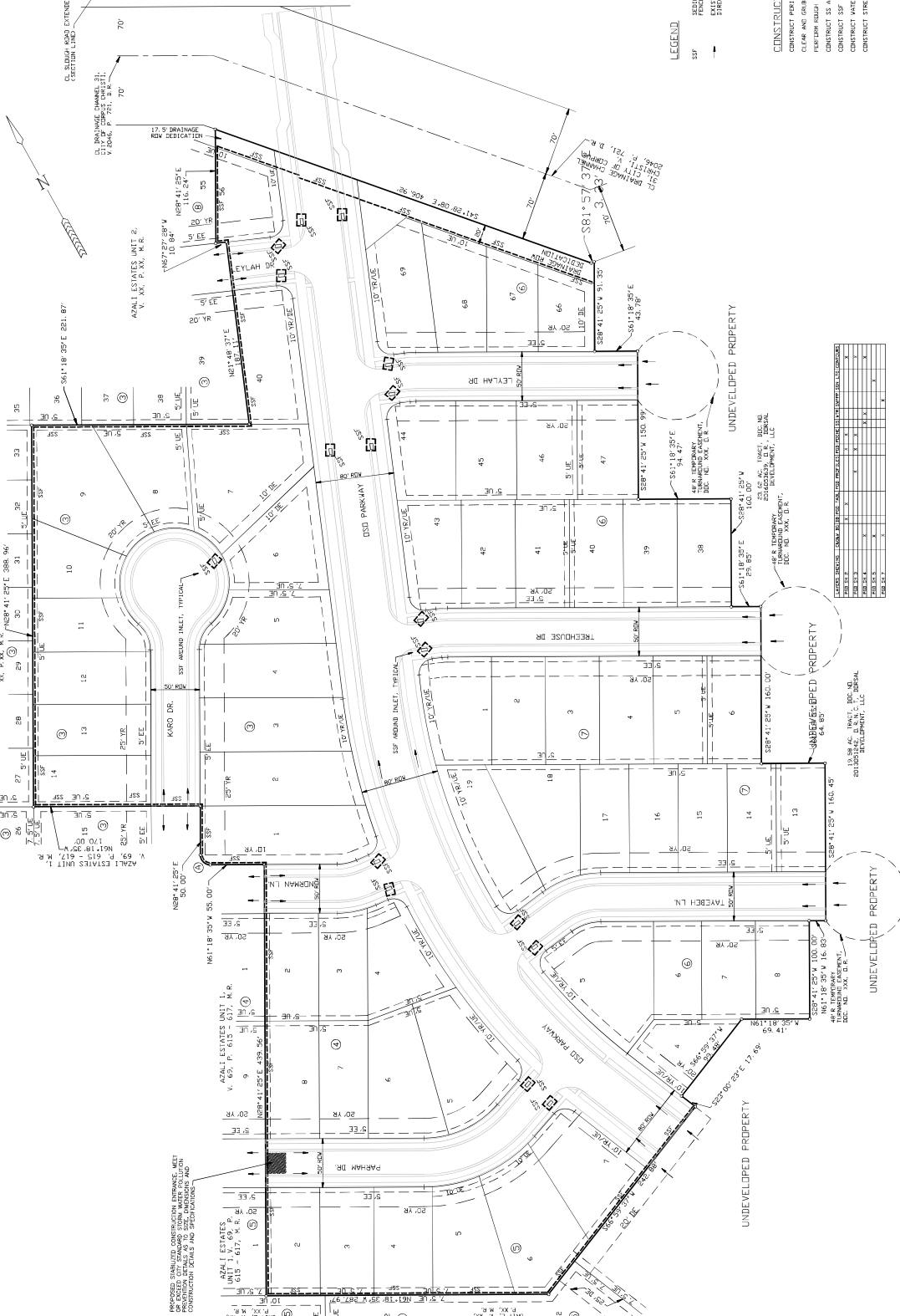
DATE PLOTTED: 08/23/23

SHEET: 2 OF 18



POLLUTION PREVENTION MEASURES

- CONSTRUCT A PERMEABLE CURB OR CONSTRUCTION ENTRANCE CONSISTING OF AN AREA OF 10' WIDE AND 18" DEEP TO BE LOCATED AT THE END OF THE DRIVEWAY. THE ENTRANCE SHALL BE CONSTRUCTED WITH A PERMEABLE CURB AND SHALL BE MAINTAINED OPEN AND UNOCCUPIED PERMANENTLY DURING THE PROJECT.
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TEMPORARY CONTROLS

- CONCRETE TRUCKS SHALL BE WASHED AT THE WASHING STATION LOCATED AT THE END OF THE DRIVEWAY.
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SOIL CLASSIFICATION (ASTM)

AREA OF DISTURBANCE

CONSTRUCTION SCHEDULE/SEQUENCE

- CLEAR AND GRUB ENTIRE SITE AND INSTALL DIRT MESH AND BERTS.
- CONSTRUCT SIF AND STORM SEWER.
- CONSTRUCT SIF AND STORM INLETS.
- CONSTRUCT STREETS AND FINAL LOT GRADING.

LEGEND

- SIF SEDIMENTATION BASIN
- SIF SEDIMENTATION BASIN
- SIF SEDIMENTATION BASIN

CONSTRUCTION SCHEDULE/SEQUENCE

- CLEAR AND GRUB ENTIRE SITE AND INSTALL DIRT MESH AND BERTS.
- CONSTRUCT SIF AND STORM SEWER.
- CONSTRUCT SIF AND STORM INLETS.
- CONSTRUCT STREETS AND FINAL LOT GRADING.

RELEASED FOR CONSTRUCTION

0 25' 50' 100'

SCALE 1" = 50'

DATE: 08/23/2011

PROJECT: AZALI ESTATES UNIT 3

SHEET 2 OF 2

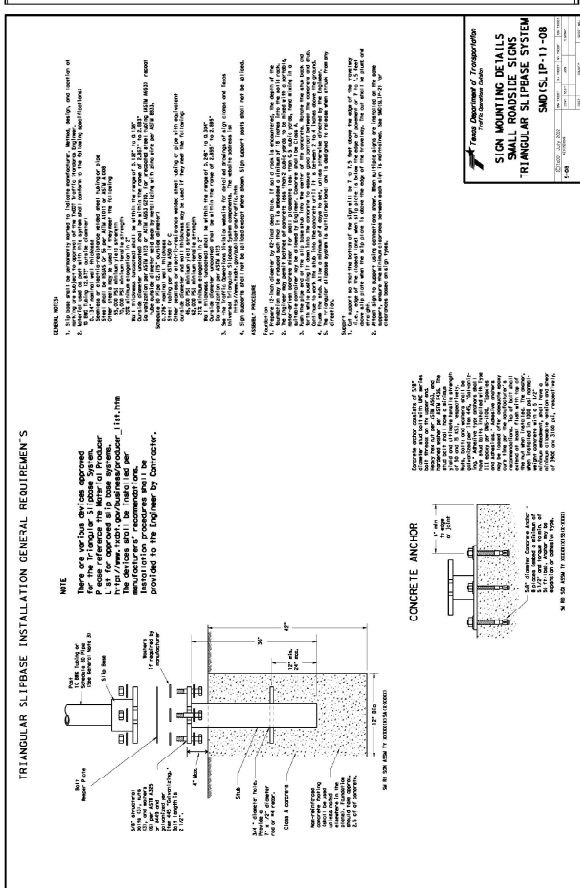
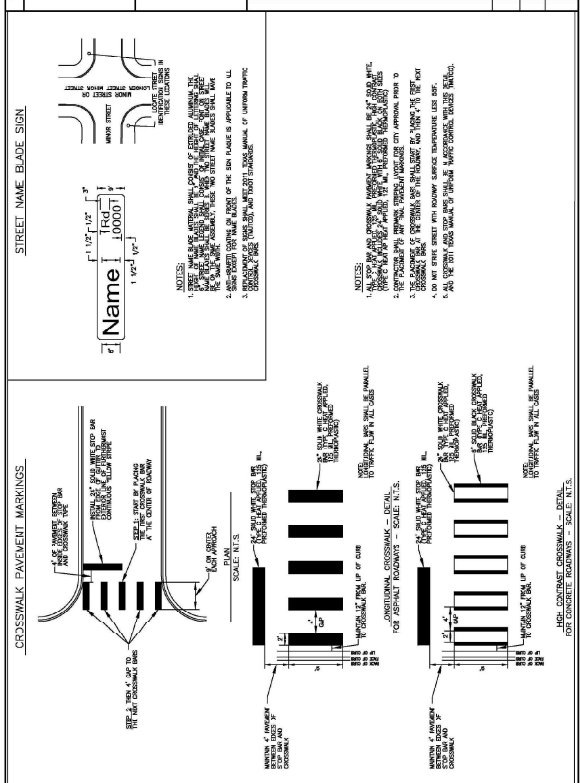


BASS & WELSH ENGINEERING, INC.
 PUBLIC IMPROVEMENTS TO
 AZALI ESTATES UNIT 3
 CORPUS CHRISTI, NUECES CO., TX
 STORM WATER POLLUTION PREVENTION PLAN
 SHEET 2 OF 2

TX SURVEYORS: BASS & WELSH ENGINEERING, INC.
 F-52, 3024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

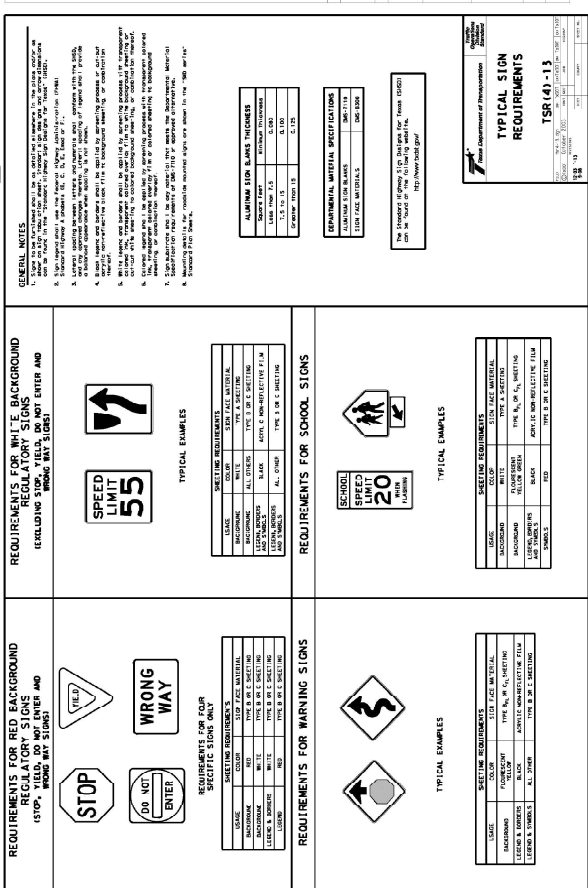
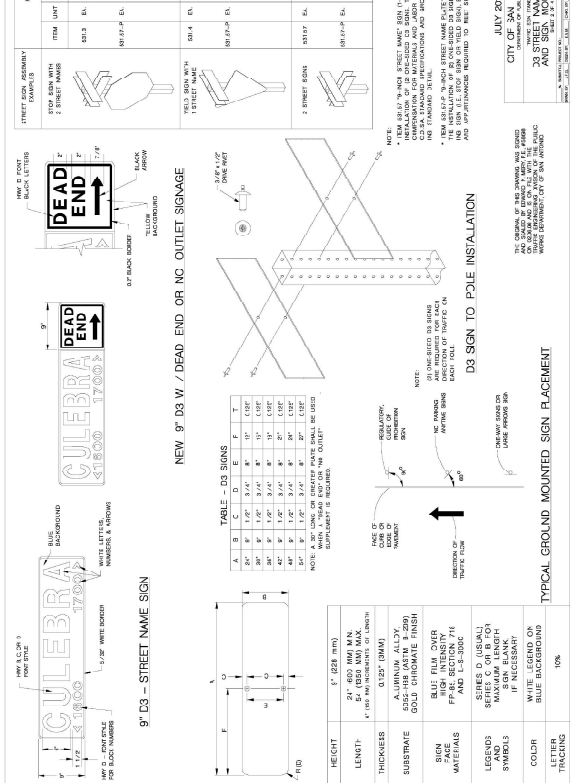
STANDARD SHEET
CITY OF CORPUS CHRISTI
CROSSMARK MARKET MARKINGS AND TRAFFIC ENGINEERING DIVISION

DATE: 07/23/2010
BY: [Signature]
CITY PROJECT #



STREET SIGN MOUNTING AND SIGN ACQUISITION
CITY OF SAN ANTONIO
324 STREET NAME SIGN AND SIGN MOUNTING

DATE: 07/23/2010
BY: [Signature]



RELEASED FOR CONSTRUCTION
City of Corpus Christi
Development Services Engineer
City of Corpus Christi

DATE: 07/23/2010
BY: [Signature]

GENERAL NOTES:

1. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.
2. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.
3. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.
4. DO NOT SIGN WITH ROADWAY SURFACE MARKINGS TO BE USED.
5. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.
6. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.

REQUIREMENTS FOR RED BACKGROUND (STOP, YIELD, DO NOT ENTER AND WRONG WAY SIGNS):

REQUIREMENTS FOR RED BACKGROUND (STOP, YIELD, DO NOT ENTER AND WRONG WAY SIGNS)	REQUIREMENTS FOR WHITE BACKGROUND (SPEED LIMIT, SCHOOL SIGNS)
<ul style="list-style-type: none"> 1. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 2. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 3. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 4. DO NOT SIGN WITH ROADWAY SURFACE MARKINGS TO BE USED. 5. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 6. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 	<ul style="list-style-type: none"> 1. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 2. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 3. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 4. DO NOT SIGN WITH ROADWAY SURFACE MARKINGS TO BE USED. 5. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 6. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.

REQUIREMENTS FOR SCHOOL SIGNS:

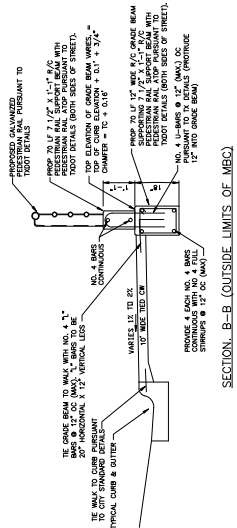
REQUIREMENTS FOR SCHOOL SIGNS	REQUIREMENTS FOR WARNING SIGNS
<ul style="list-style-type: none"> 1. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 2. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 3. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 4. DO NOT SIGN WITH ROADWAY SURFACE MARKINGS TO BE USED. 5. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 6. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 	<ul style="list-style-type: none"> 1. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 2. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 3. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 4. DO NOT SIGN WITH ROADWAY SURFACE MARKINGS TO BE USED. 5. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 6. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.

REQUIREMENTS FOR WARNING SIGNS:

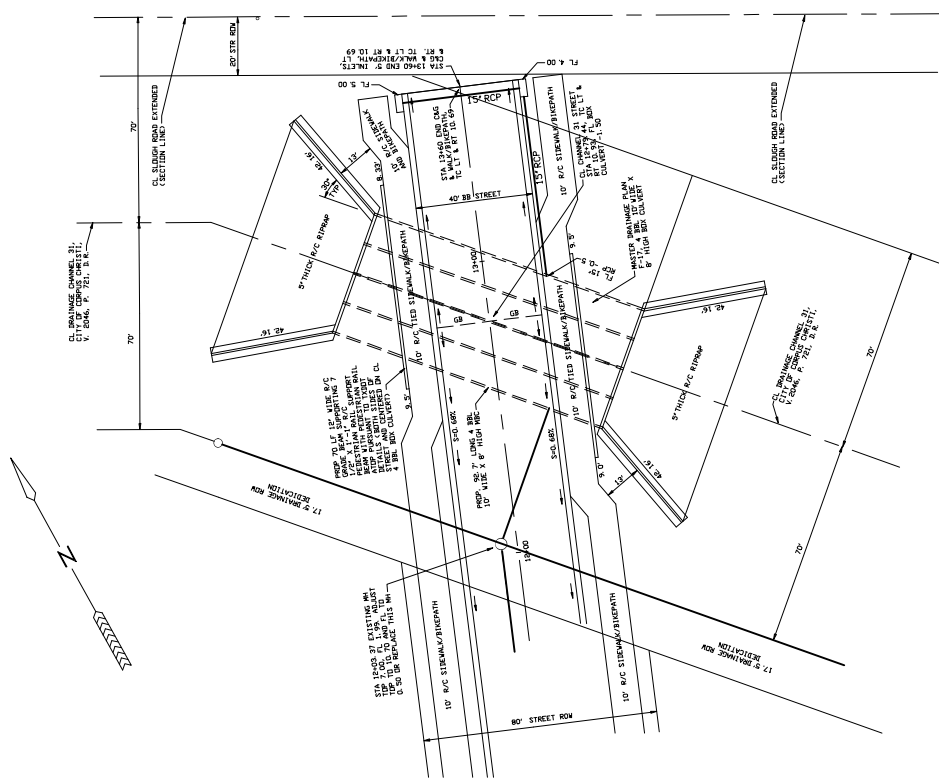
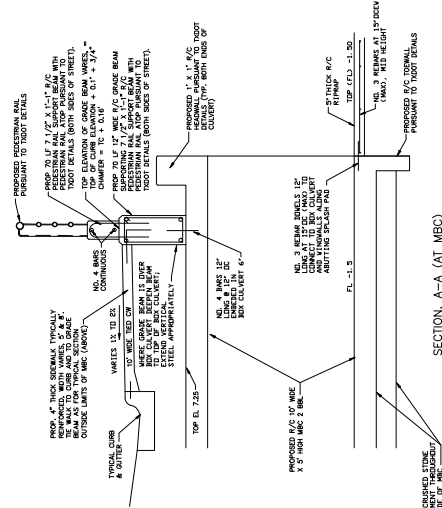
REQUIREMENTS FOR WARNING SIGNS	REQUIREMENTS FOR SCHOOL SIGNS
<ul style="list-style-type: none"> 1. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 2. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 3. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 4. DO NOT SIGN WITH ROADWAY SURFACE MARKINGS TO BE USED. 5. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 6. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 	<ul style="list-style-type: none"> 1. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 2. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 3. SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 4. DO NOT SIGN WITH ROADWAY SURFACE MARKINGS TO BE USED. 5. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET. 6. THE SIGN SHALL BE MOUNTED TO THE SIDE OF THE STREET.

MULTIPLE BOX CULVERT NOTES:

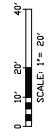
1. THE GRADE BEAM TO WHICH THE BOX CULVERT IS SUPPORTED SHALL BE CONSTRUCTED TO A MINIMUM OF 20" HORIZONTAL X 12" VERTICAL LOGS TO ANY STRONG DETAIL TYPICAL CURB & GUTTER.
2. THE TOP OF THE GRADE BEAM SHALL BE CONSTRUCTED TO A MINIMUM OF 12" HORIZONTAL X 12" VERTICAL LOGS TO ANY STRONG DETAIL TYPICAL CURB & GUTTER.
3. THE TOP OF THE GRADE BEAM SHALL BE CONSTRUCTED TO A MINIMUM OF 12" HORIZONTAL X 12" VERTICAL LOGS TO ANY STRONG DETAIL TYPICAL CURB & GUTTER.
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SECTION B-B (OUTSIDE LIMITS OF MEC)



RAS AND WELSH ENGINEERING 17400 WEST LOOP SOUTH, SUITE 100 CORPUS CHRISTI, TEXAS 78404	
PUBLIC IMPROVEMENTS TO AZALI ESTATES UNIT 3 CORPUS CHRISTI, NUECES CO., TX	
MBC (MULTIPLE BOX CULVERT) DETAILS	
DRAWN BY: J. WELSH	CHECKED BY: R. W. WELSH
DATE PLOTTED: 08/23/23	SHEET NO. OF 18





RAS AND WELSH ENGINEERING, INC.
 17400 WESTERN BLVD., SUITE 200
 CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
 AZALI ESTATES UNIT 3
 CORPUS CHRISTI, TEXAS

TWOOT MULTIPLE BOX CULVERTS, CAST-IN-PLACE,
 10'-0" SPAN, 2' TO 10' FILL, MC-10-10

DATE: 08/23/23
 SHEET 11 OF 18

- 1. Min to 5'-0" Max. Estimated curb heights are shown elsewhere in the plans. For concrete curb heights, refer to the Notes. For extended curb heights, refer to the Mounting Details for 1631 & 1631LS Reils (1631-CM standard sheet, refer to the Rail Anchorage Curb (RAC) standard sheet for structures with bridge rail other than 1631 or 1631LS.
- 2. For vehicle safety, the following requirements must be met:
 - Finished grade.
 - For structures with bridge rail, construct curbs no more than 3' above grade. For structures with bridge rail, construct curbs flush with finished grade. Reduce curb heights, if necessary, to meet the above requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.
 - For curbs less than 1'-0" high, tilt Bars K or reduce bar height as necessary to maintain cover. For curbs less than 3' high, Bars K may be omitted.
 - 1'-0" Critical. 2'-3" when the Rail Anchorage Curb (RAC) standard sheet is referred to elsewhere in the plans.

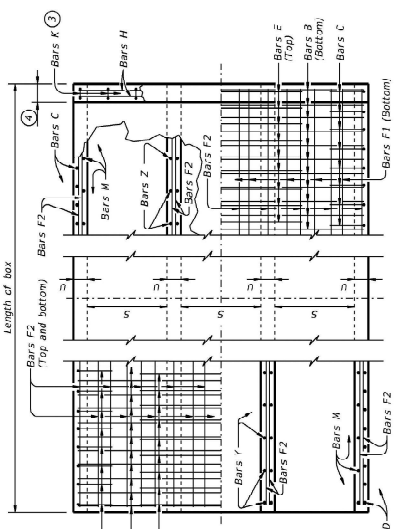
The Contractor may reduce Bars B, C, D, E, F1, F2, M, Y, and/or Z with deformed finished ends. The area of required reinforcement may be reduced by the ratio of 50 ksi / 70 ksi. Spacing of WRR is limited to 4' Min and 18" Max. When required, provide lap splices between WRR. The lap length shall be not less than 48" for lap splices and not less than the lap length required for uncoated #4 bars. The lap length required for WRR is never less than the lap length required for uncoated #4 bars.

Example: concrete: Replacing No. 6 Gr 60 at 6" Spacing with WRR
 Required WRR = $(0.44 \text{ sq. in. per } 0.5 \text{ ft.} \times 60 \text{ ksi} / 70 \text{ ksi}) = 0.755 \text{ sq. in. per ft.}$
 If D308 wire is used to meet the 0.755 sq. in. per ft. requirement in this example, the spacing of the wire would be $(0.755 \text{ sq. in. per ft.} / 0.0043 \text{ sq. in. per ft.}) = 175.6$
 Max spacing. Required lap length for the provided D306 wire is 2'-1" (the same minimum lap length required for uncoated #5 bars, as listed under MATERIAL NOTES).

CONSTRUCTION NOTES:
 Check for the bottom edge of the top slab 3" at the entrance.
 Optionally, raise construction joints shown at the floor line by a maximum of 6". If Bars Y or Z are omitted, Bars M may be cut 3/4" or raised. Bars C and D may be reversed, and Bars Y and Z may be reversed.

MATERIAL NOTES:
 • Reinforcing steel.
 • Provide galvanized reinforcing steel, if required elsewhere in the plans.
 • Provide Class C concrete (f_c = 3,600 psi) for culvert barrel and curb.
 • Use 100% air entrainment for concrete.
 • Uncoated or galvanized #4 = 2'-1" Min
 • Uncoated or galvanized #5 = 2'-0" Min
 • Uncoated or galvanized #6 = 2'-8" Min

GENERAL NOTES:
 Designed according to ASHTC LRFD Bridge Design Specifications for the range of fill heights shown. See the Multiple Box Culverts Cast-in-Place Miscellaneous Detail (MC-MD) standard sheet for details pertaining to skewed inlets, angle sections, and lightening. Cover dimensions are clear dimensions, unless noted otherwise. Reinforcing bar dimensions shown are out-to-nut of bar.

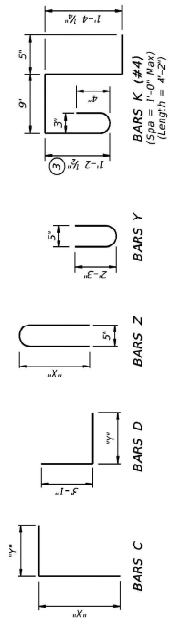


TOP SLAB
 BOTTOM SLAB

PART PLANS

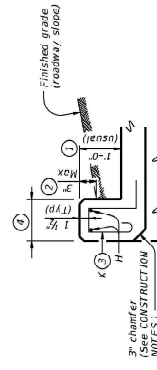
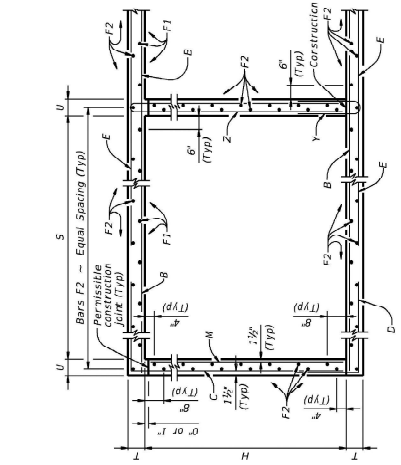
TABLE OF BAR DIMENSIONS

H	X*	Y*	Z*
4'-0"	4'-7 1/2"	5'-10"	5'-10"
5'-0"	5'-7 1/2"	5'-10"	5'-10"
6'-0"	6'-7 1/2"	5'-10"	5'-10"
7'-0"	7'-7 1/2"	5'-10"	5'-10"
8'-0"	8'-7 1/2"	5'-10"	5'-10"
9'-0"	9'-7 1/2"	5'-10"	5'-10"
10'-0"	10'-7 1/2"	5'-10"	5'-10"



SECTION THRU CURB

TYPICAL SECTION



DISCLAIMER:
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DATE:
 FILE:

3" sheets for
 (See CONSTRUCTION NOTES.)



RELEASED FOR CONSTRUCTION

City of Corpus Christi
 Department of Public Works Engineering

Project: Multiple Box Culverts, Cast-in-Place, 10'-0" Span, 2' to 10' Fill, MC-10-10

Sheet No. 11 of 18



RAIS AND WELSH ENGINEERING
 11111 W. LOOP W. SUITE 100
 CORPUS CHRISTI, TEXAS 78404

PROJECT NO. 12-0000
 SHEET NO. 27000
 DATE PLOTTED 08/23/23

RELEASED FOR CONSTRUCTION
 The undersigned hereby certifies that the plans and specifications herein were prepared by the undersigned or under the direct supervision and control of the undersigned and that the undersigned is a duly Licensed Professional Engineer in the State of Texas.

DATE: _____ TIME: _____
 DRAWN BY: _____
 CHECKED BY: _____
 IN CHARGE: _____

SECTION DIMENSIONS

QUANTITIES

NUMBER OF SPANS	SECTION DIMENSIONS		Bars C & D		Bars E		Bars F1 ~ #4		Bars F2 ~ #4		Bars M ~ #4		Bars Y & Z ~ #4		Bars K		Per Foot of Barrel		Total											
	S	H	T	U	No.	Length	Wt	Vol	No.	Length	Wt	Vol	No.	Length	Wt	Vol	Conc (CY)	Reinf (CY)	Conc (CY)	Reinf (CY)										
2	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	5,292	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	62.4	12,708
3	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	7,888	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	50.8	20,177
4	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	10,483	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	60.2	26,433
5	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	13,079	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	70.6	32,690
6	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	15,675	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	81.0	38,947
7	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	18,271	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	91.4	45,204
8	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	20,867	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	101.8	51,461
9	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	23,463	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	112.2	57,718
10	10'-0"	4'-0"	9'-0"	9'-0"	162	46' 6"	32'-5"	26,059	108	46' 6"	10'-6"	1,703	9'-0"	1,460	162	46' 6"	19'-7"	2,332	14	18'-36"	9'	58	46	128	1,519	398.5	2.4	276	122.6	63,975

HL93 LOADING SHEET 2 OF 2

Bridge Division Standard

Multiple Box Culverts

CAST-IN-PLACE 10'-0" SPAN 2' TO 10' FILL

MC-10-10

DATE: _____ TIME: _____

DRAWN BY: _____

CHECKED BY: _____

IN CHARGE: _____

PROJECT NO. 12-0000

SHEET NO. 27000

DATE PLOTTED 08/23/23

RAIS AND WELSH ENGINEERING
 11111 W. LOOP W. SUITE 100
 CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO AZALI ESTATES UNIT 3 CORPUS CHRISTI, TEXAS

TWOOT MULTIPLE BOX CULVERTS, CAST-IN-PLACE, 10'-0" SPAN, 2' TO 10' FILL, MC-10-10

DATE: _____ TIME: _____

DRAWN BY: _____

CHECKED BY: _____

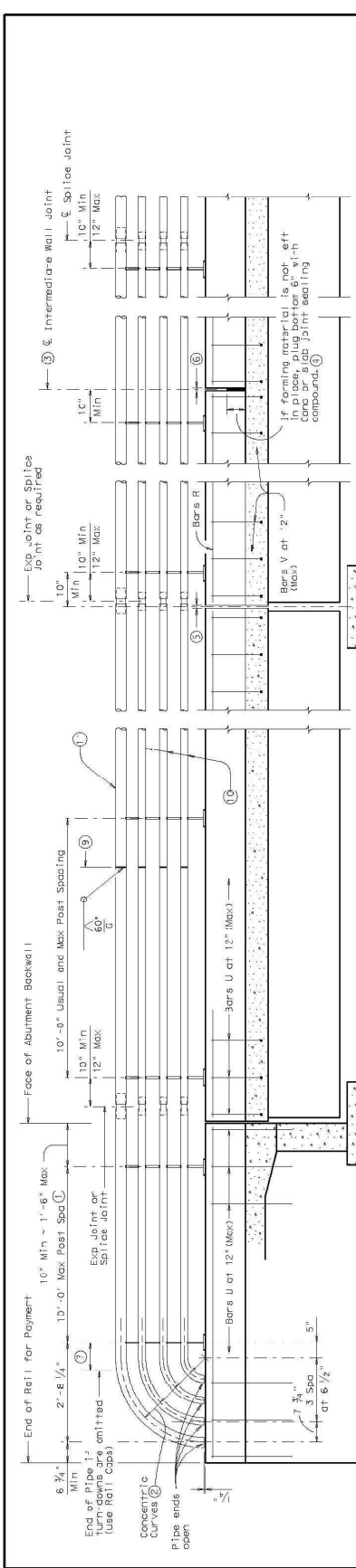
IN CHARGE: _____

PROJECT NO. 12-0000

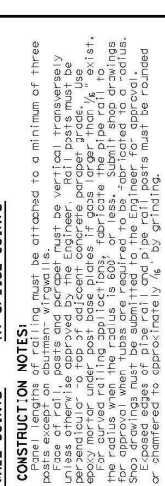
SHEET NO. 27000

DATE PLOTTED 08/23/23

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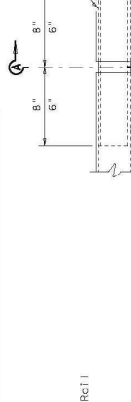
AT INTERMEDIATE WALL JOINTS



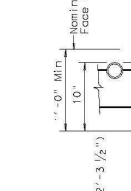
AT SLAB EXP. JTS



ROADWAY ELEVATION OF RAIL



AT ABUTMENT BENTS

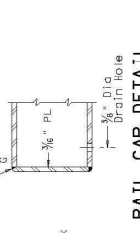
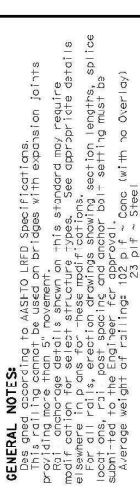


CONSTRUCTION NOTES:
 Panel lengths of railing must be attached to a minimum of three posts. Face of rail, posts and parapet must be vertical, transversely unless otherwise approved by the Engineer. Rail posts must be epoxy mortar under post base plates if posts larger than 1/2" exist. For curved railing applications, fabricate the pipe rail to conform to the curve. Epoxy mortar under post base plates must be approved when tubs are required to be attached to concrete. Epoxy mortar under post base plates must be approved when tubs are attached to concrete.
MATERIAL NOTES:
 Posts and plates must conform to ASTM A36 or B or A500 3R B. All steel components to be galvanized unless otherwise shown on plan. Anchor bolts must be 3/4" Dia ASTM A307 Grade A bolts for A36 threaded rods with one lock-welded hex nut each with one hex nut. Threaded rods may be 3/5" minimum diameter with rolled threads. Nuts must conform to A563 requirements. Use Class C (HP) if required elsewhere.
 Epoxy mortar reinforcing if slab bars are epoxy coated.
 All reinforcing must be Grade 60.

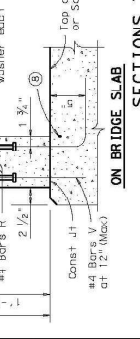
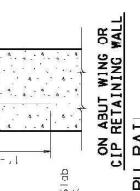
GENERAL NOTES:
 This railing must be ASHTO LEFD Spec. 11.1.1.1. This railing cannot be used on bridges with expansion joints providing more than 5" movement. This railing may require modification for other structural types. See appropriate detail elsewhere in plans for these modified conditions.
 For rail, see section drawings showing section lengths, splice locations, and reinforcement details. All railing must be submitted to the Engineer for approval.
 Average weight of railing: 105 lb/ft - Conc. (with no overlay)
 25 lb/ft - Steel

PIPE SPLICE OR EXP. JTS
 1 1/4" at Splice Jts
 2" at Exp. Jts

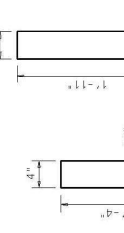
SECTION A-A



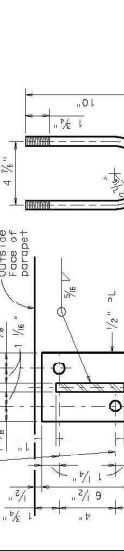
- Min of 2 posts required on wingwall.
- Location of railing with turn-downs to be used or omitted as indicated on Bridge Layout.
- Provide intermediate wall joints over all slab expansion joints over inter supports on continuous spans of equal intervals in between as necessary to maintain a 33" max length of unbroken wall.
- Material used in forming joint may be left in place if it is compressible and light in color such as the following: sheet, etc.
- Same as slab opening
- 1/4" Min ~ 3/4" Max
- 10" Min ~ 1'-6" Max If turn-downs are omitted.
- Top parapet face of slab bar may be attached laterally 3" plus or minus to the rail reinforcing.
- Provide pipe splice detail as permitted with minimum 95% lap over and provide a groove or groove in groove or groove in groove. Grind smooth.
- 3" Std Pipe (2.375" O.D., 0.154" wall thickness)
- 3" Std Pipe (3.500" O.D., 0.216" wall thickness)
- 1 1/2" Std Pipe (1.900" O.D., 0.145" wall thickness)
- 3/2" Std Pipe (2.875" O.D., 0.203" wall thickness)



RAIL CAP DETAIL



- ON ABUT WING OR CIP RETAINING WALL**
- SECTIONS THRU RAIL**
- BASE PLATE DETAIL**
- OPTIONAL U BOLT**



FILED	DATE	BY	CHKD	DATE	BY
FILED	11/11/2009	RF	RF	11/11/2009	RF
DATE	11/11/2009	BY	CHKD	DATE	BY
11/11/2009	RF	11/11/2009	RF	11/11/2009	RF

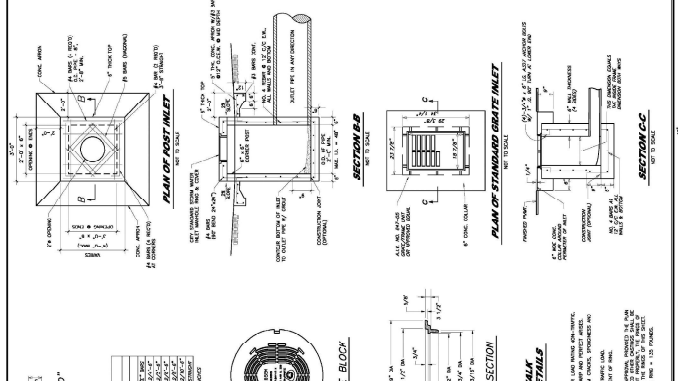
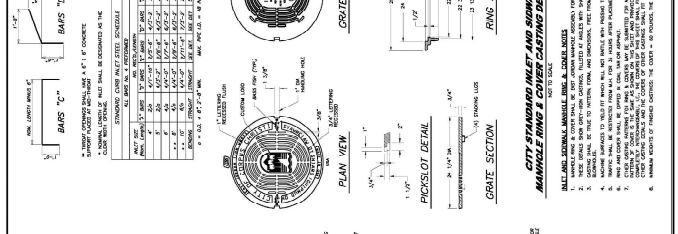
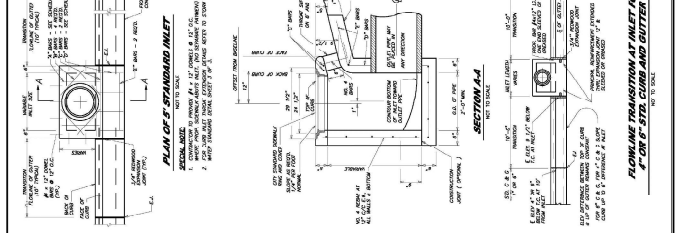
TYPE PR2

BARS V (#4) BARS R (#4)

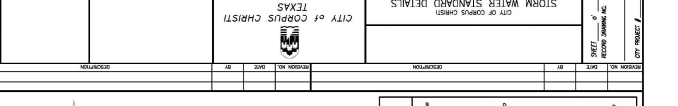
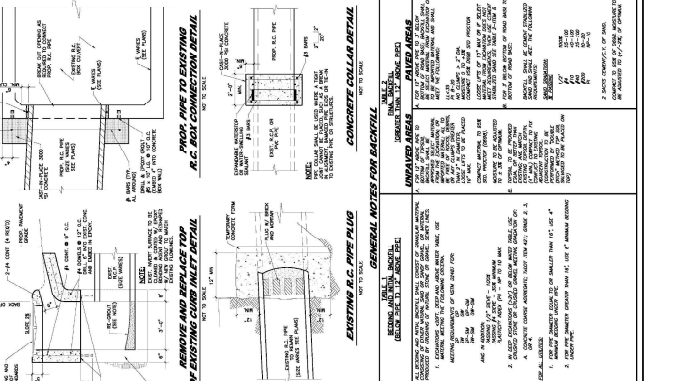
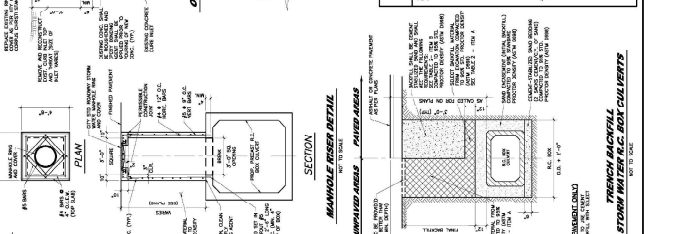
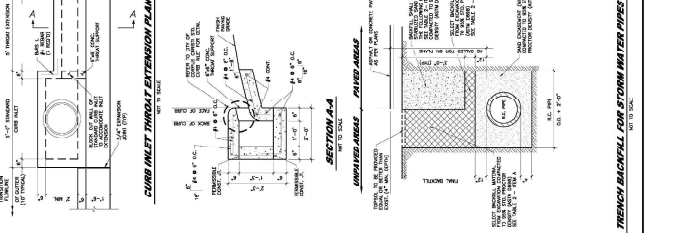


RELEASED FOR CONSTRUCTION
 City of Corpus Christi
 Department of Engineering
 500 West 10th Street
 Corpus Christi, TX 78401
 Phone: 361-833-1234
 Fax: 361-833-1235
 Website: www.corpuschristi.com

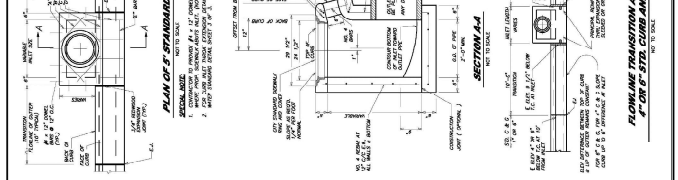
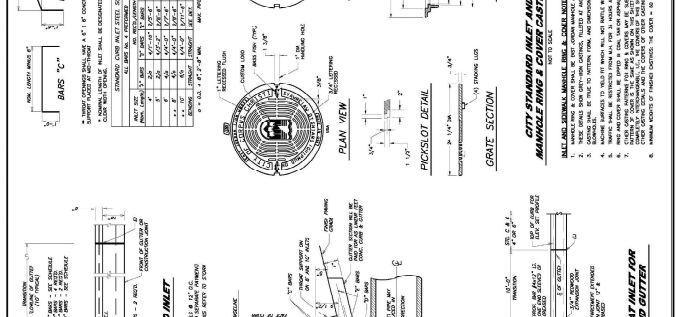
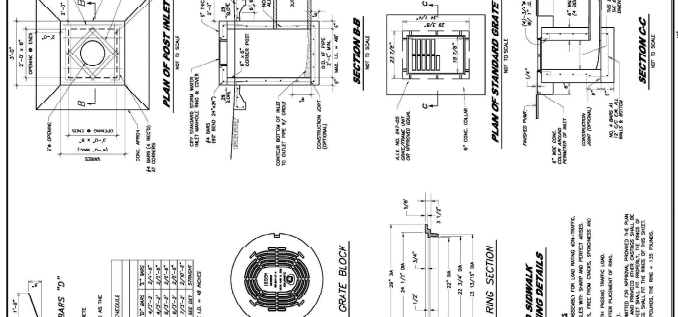
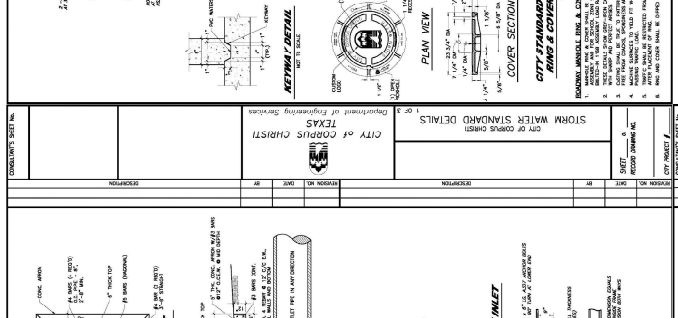
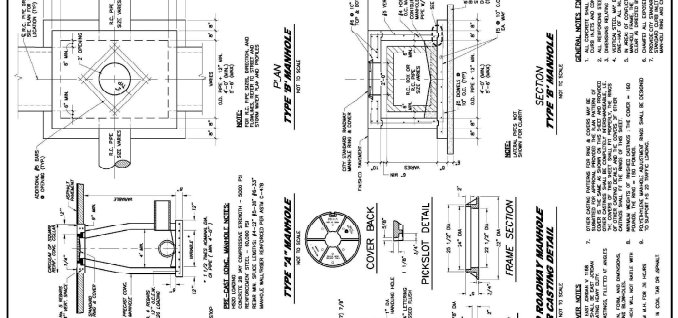
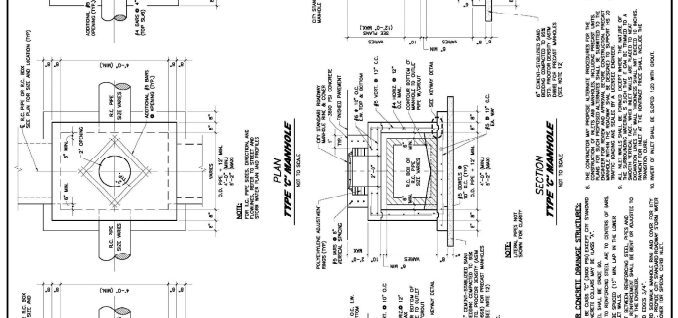
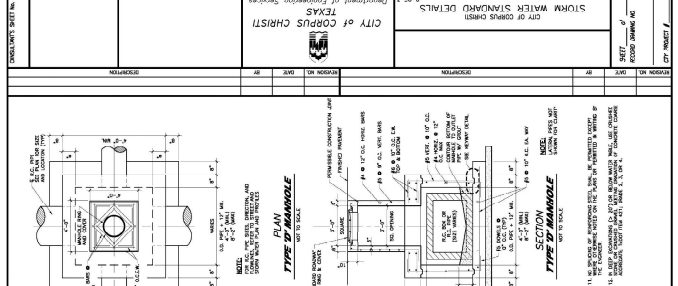
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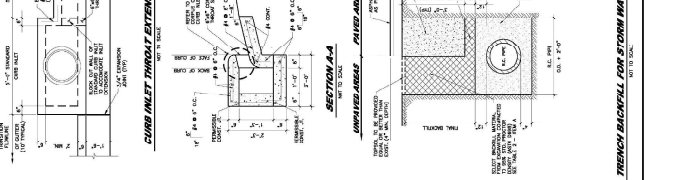
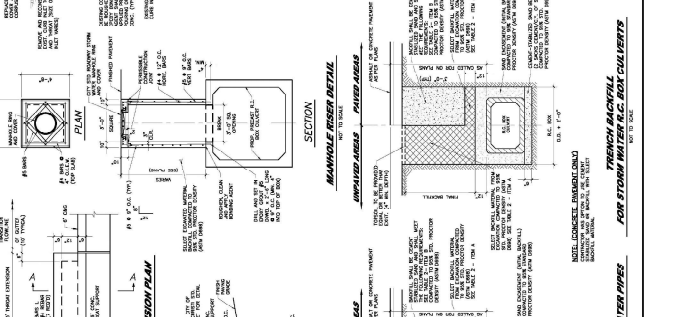
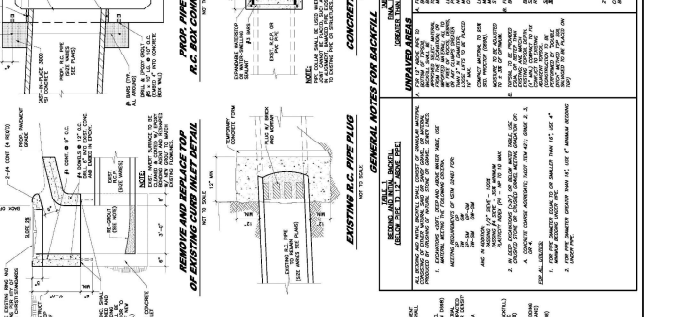
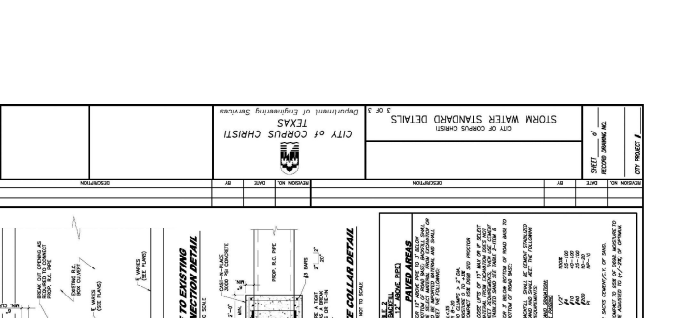
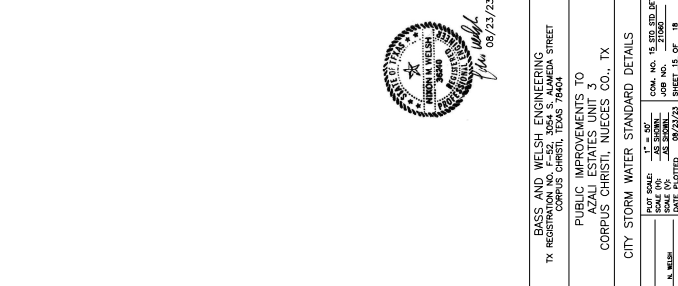
CITY OF CORPUS CHRISTI
STORM WATER STANDARD DETAILS
TEXAS
Department of Engineering Services



CITY OF CORPUS CHRISTI
STORM WATER STANDARD DETAILS
TEXAS
Department of Engineering Services



CITY OF CORPUS CHRISTI
STORM WATER STANDARD DETAILS
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CITY OF CORPUS CHRISTI
STORM WATER STANDARD DETAILS
TEXAS
Department of Engineering Services



Basius Welch Engineering
18211 Highway 140, Suite 100
Corpus Christi, Texas 78404
08/23/23

PUBLIC IMPROVEMENTS TO
AZALI ESTATES UNIT 3
CORPUS CHRISTI, NUECES CO., TX
CITY STORM WATER STANDARD DETAILS

DATE PLOTTED: 08/23/23
SHEET: 15 OF 18
JOB NO.: 23-001-001
SCALE: AS SHOWN
DATE PLOTTED: 08/23/23
SHEET: 15 OF 18





TRAVIS AND WELCH ENGINEERING
15584 ALLEN STREET
CORPUS CHRISTI, TEXAS 78404

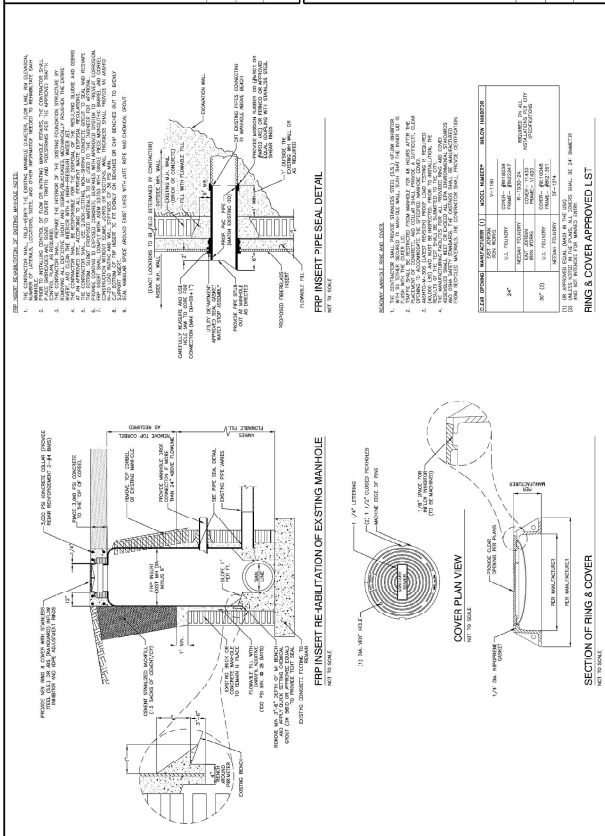
PUBLIC IMPROVEMENTS TO
AZALI ESTATES UNIT 3
CORPUS CHRISTI, NUECES CO., TX

CITY WASTE WATER STANDARD DETAILS

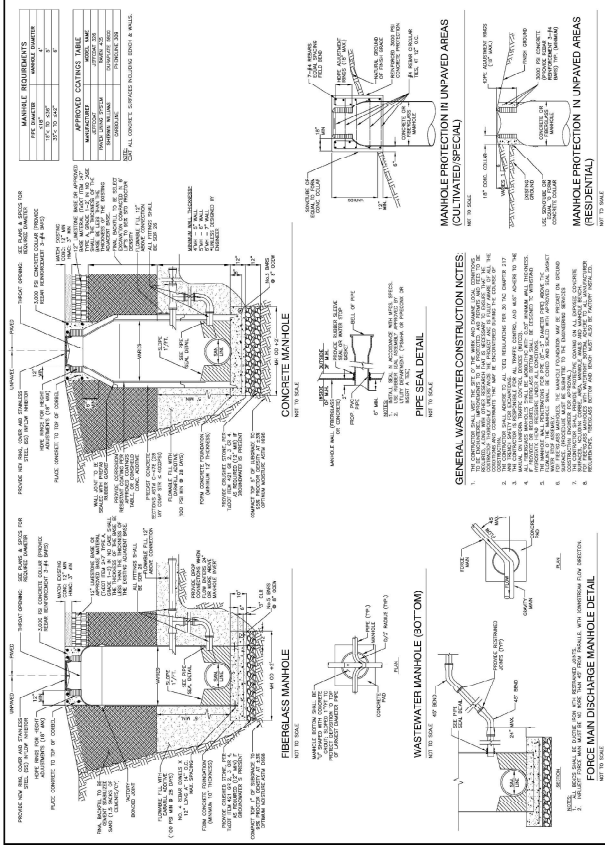
DATE PLOTTED: 08/23/23
SHEET 35 OF 48



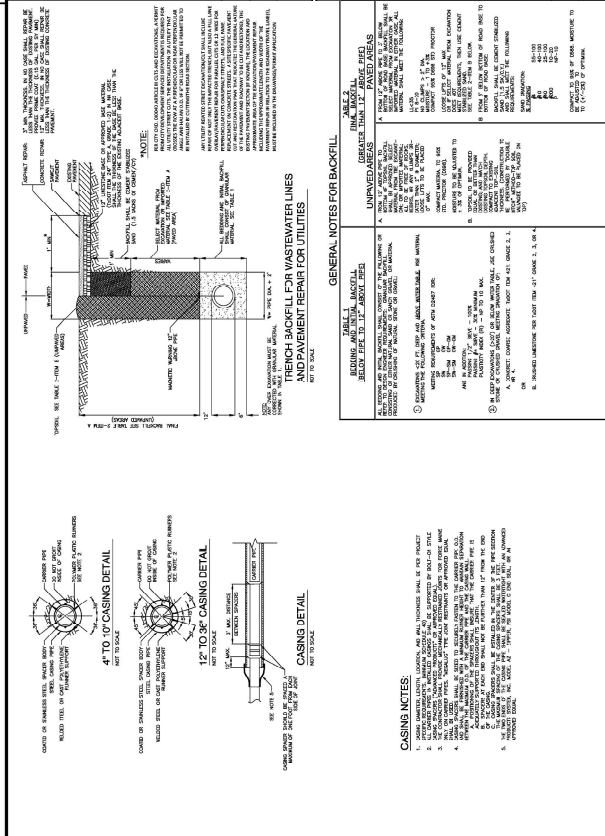
CITY OF CORPUS CHRISTI
Department of Engineering Services
WASTE WATER STANDARD DETAILS



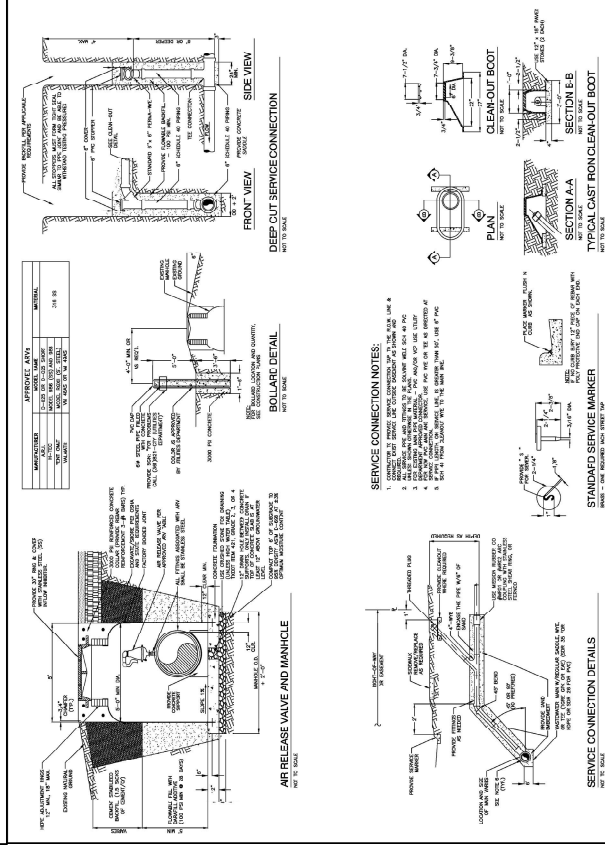
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Department of Engineering Services
WASTE WATER STANDARD DETAILS



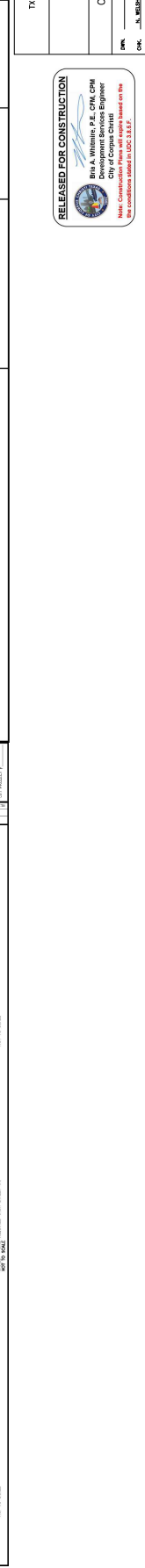
CITY OF CORPUS CHRISTI
Department of Engineering Services
WASTE WATER STANDARD DETAILS

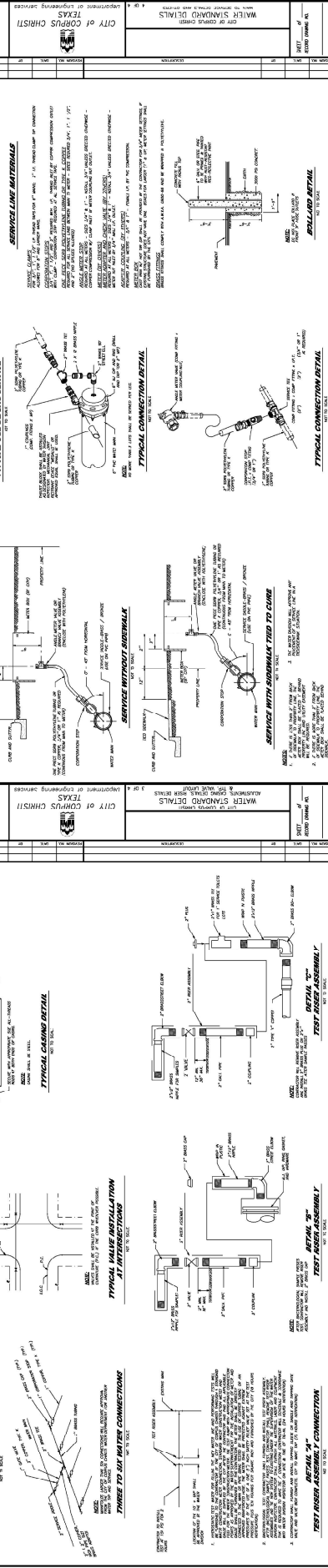
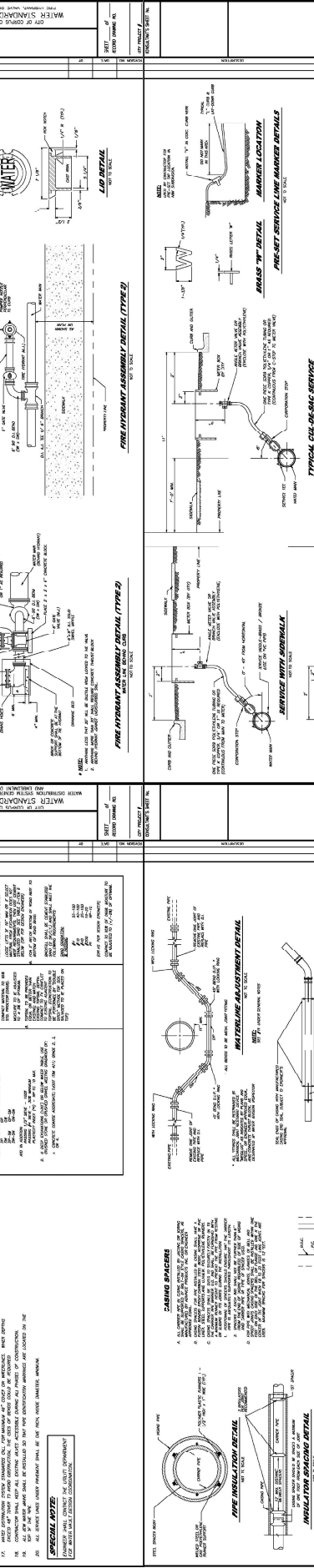
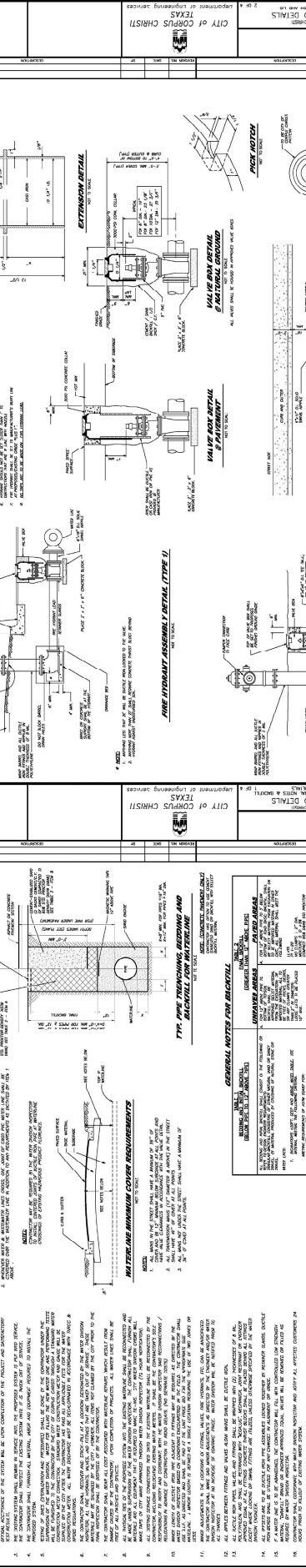


CITY OF CORPUS CHRISTI
Department of Engineering Services
WASTE WATER STANDARD DETAILS



CITY OF CORPUS CHRISTI
Department of Engineering Services
WASTE WATER STANDARD DETAILS





NO. 1	CONNECTION DETAIL	NO. 1	CONNECTION DETAIL
NO. 2	CONNECTION DETAIL	NO. 2	CONNECTION DETAIL
NO. 3	CONNECTION DETAIL	NO. 3	CONNECTION DETAIL
NO. 4	CONNECTION DETAIL	NO. 4	CONNECTION DETAIL
NO. 5	CONNECTION DETAIL	NO. 5	CONNECTION DETAIL
NO. 6	CONNECTION DETAIL	NO. 6	CONNECTION DETAIL
NO. 7	CONNECTION DETAIL	NO. 7	CONNECTION DETAIL
NO. 8	CONNECTION DETAIL	NO. 8	CONNECTION DETAIL
NO. 9	CONNECTION DETAIL	NO. 9	CONNECTION DETAIL
NO. 10	CONNECTION DETAIL	NO. 10	CONNECTION DETAIL
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NO. 18	CONNECTION DETAIL	NO. 18	CONNECTION DETAIL
NO. 19	CONNECTION DETAIL	NO. 19	CONNECTION DETAIL
NO. 20	CONNECTION DETAIL	NO. 20	CONNECTION DETAIL

TITLE: PUBLIC IMPROVEMENTS TO CORPUS CHRISTI STANDARDS PROJECT NUMBER: 1804/23/23						SHEET NO. 1804/23/23 SHEET TOTAL: 18					
DESIGNER: BASS AND WELSH ENGINEERS DATE: 08/23/23						CITY OF CORPUS CHRISTI DEPARTMENT OF ENGINEERING SERVICES					

1. GENERAL: THESE STANDARDS ARE INTENDED TO PROVIDE A FRAMEWORK FOR THE DESIGN OF CURB RAMP SYSTEMS THAT ARE SAFE, FUNCTIONAL, AND ACCESSIBLE TO ALL USERS. THE STANDARDS SHOULD BE USED IN CONJUNCTION WITH THE CITY OF CORPUS CHRISTI STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.

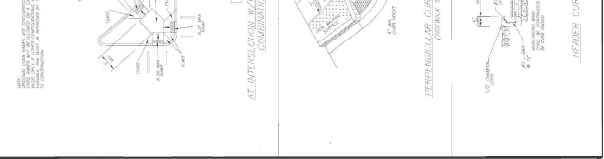
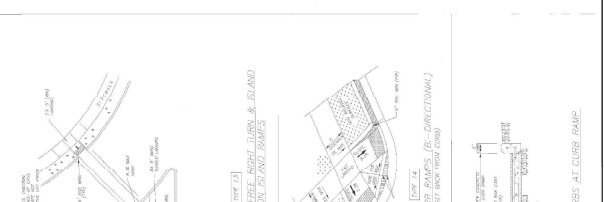
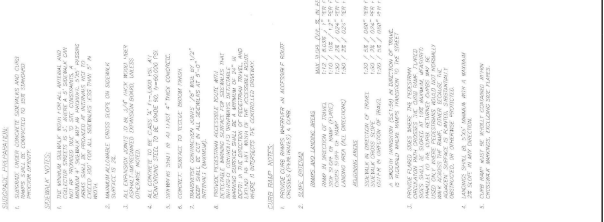
2. SCOPE: THESE STANDARDS APPLY TO ALL CURB RAMP SYSTEMS, INCLUDING BUT NOT LIMITED TO: SIDEWALK CURB RAMP, TRANSVERSE CURB RAMP, PAVED DRIVEWAY CURB RAMP, DRIVEWAY CURB RAMP, AND PAVED DRIVEWAY CURB RAMP.

3. REFERENCES: THE STANDARDS REFER TO THE FOLLOWING DOCUMENTS:

- A. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) - SECTION 309 - CURB RAMP SYSTEMS
- B. INTERNATIONAL ORGANIZATION OF STANDARDS (ISO) - 309
- C. FEDERAL ROAD ADMINISTRATION (FHWA) - MANUAL OF PRACTICES AND SPECIFICATIONS FOR PUBLIC WORKS
- D. TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) - STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS
- E. CITY OF CORPUS CHRISTI STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS

4. DEFINITIONS: THE FOLLOWING DEFINITIONS APPLY TO THESE STANDARDS:

- A. CURB RAMP SYSTEM: A SYSTEM THAT PROVIDES A TRANSITION FROM A PAVED SURFACE TO A SIDEWALK OR OTHER PAVED SURFACE.
- B. SIDEWALK CURB RAMP: A CURB RAMP THAT PROVIDES A TRANSITION FROM A PAVED SURFACE TO A SIDEWALK.
- C. TRANSVERSE CURB RAMP: A CURB RAMP THAT PROVIDES A TRANSITION FROM A PAVED SURFACE TO A SIDEWALK.
- D. PAVED DRIVEWAY CURB RAMP: A CURB RAMP THAT PROVIDES A TRANSITION FROM A PAVED DRIVEWAY TO A SIDEWALK.
- E. DRIVEWAY CURB RAMP: A CURB RAMP THAT PROVIDES A TRANSITION FROM A DRIVEWAY TO A SIDEWALK.
- F. PAVED DRIVEWAY CURB RAMP: A CURB RAMP THAT PROVIDES A TRANSITION FROM A PAVED DRIVEWAY TO A SIDEWALK.



TITLE: PUBLIC IMPROVEMENTS TO CORPUS CHRISTI STANDARDS PROJECT NUMBER: 1804/23/23						SHEET NO. 1804/23/23 SHEET TOTAL: 18					
DESIGNER: BASS AND WELSH ENGINEERS DATE: 08/23/23						CITY OF CORPUS CHRISTI DEPARTMENT OF ENGINEERING SERVICES					

5. DETECTABLE SURFACE: THE DETECTABLE SURFACE SHOULD BE A MINIMUM OF 24 INCHES WIDE AND 24 INCHES LONG. THE DETECTABLE SURFACE SHOULD BE MADE OF A MATERIAL THAT IS COMPATIBLE WITH THE SURFACE IT IS BEING INSTALLED ON. THE DETECTABLE SURFACE SHOULD BE INSTALLED IN A MANNER THAT PROVIDES A TRANSITION FROM THE SURFACE IT IS BEING INSTALLED ON TO THE SURFACE IT IS BEING INSTALLED ON.

6. CROSS SLOPE: THE CROSS SLOPE SHOULD BE A MINIMUM OF 1/4 INCH PER FOOT. THE CROSS SLOPE SHOULD BE A MAXIMUM OF 1/8 INCH PER FOOT. THE CROSS SLOPE SHOULD BE A MINIMUM OF 1/4 INCH PER FOOT. THE CROSS SLOPE SHOULD BE A MAXIMUM OF 1/8 INCH PER FOOT.

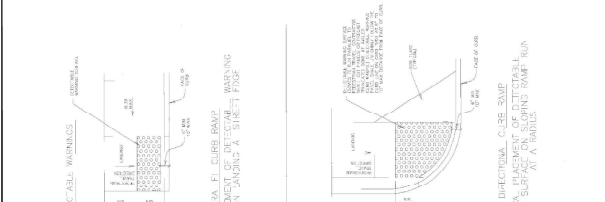
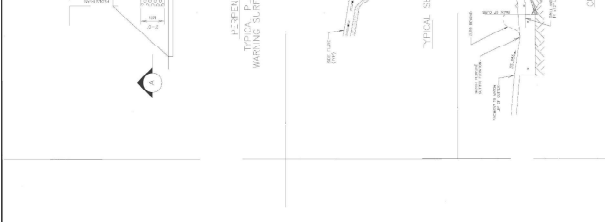
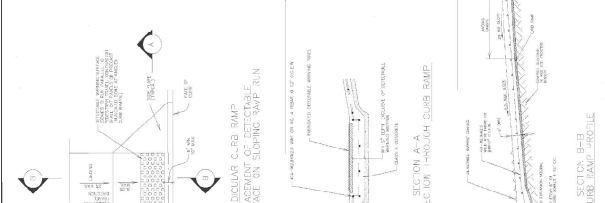
7. SIDEWALK CURB RAMP: THE SIDEWALK CURB RAMP SHOULD BE A MINIMUM OF 24 INCHES WIDE AND 24 INCHES LONG. THE SIDEWALK CURB RAMP SHOULD BE MADE OF A MATERIAL THAT IS COMPATIBLE WITH THE SURFACE IT IS BEING INSTALLED ON. THE SIDEWALK CURB RAMP SHOULD BE INSTALLED IN A MANNER THAT PROVIDES A TRANSITION FROM THE SURFACE IT IS BEING INSTALLED ON TO THE SURFACE IT IS BEING INSTALLED ON.

8. TRANSVERSE CURB RAMP: THE TRANSVERSE CURB RAMP SHOULD BE A MINIMUM OF 24 INCHES WIDE AND 24 INCHES LONG. THE TRANSVERSE CURB RAMP SHOULD BE MADE OF A MATERIAL THAT IS COMPATIBLE WITH THE SURFACE IT IS BEING INSTALLED ON. THE TRANSVERSE CURB RAMP SHOULD BE INSTALLED IN A MANNER THAT PROVIDES A TRANSITION FROM THE SURFACE IT IS BEING INSTALLED ON TO THE SURFACE IT IS BEING INSTALLED ON.

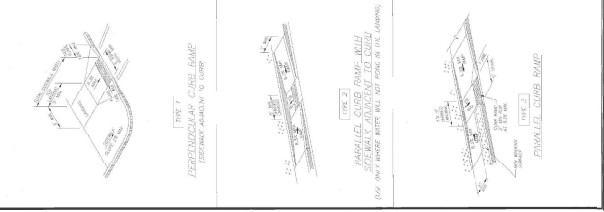
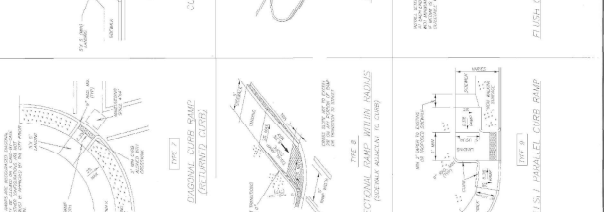
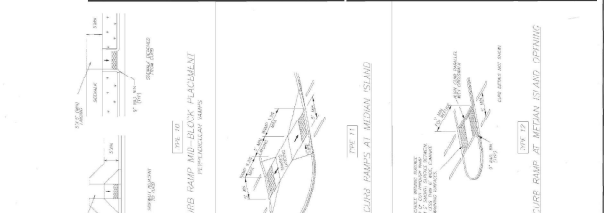
9. PAVED DRIVEWAY CURB RAMP: THE PAVED DRIVEWAY CURB RAMP SHOULD BE A MINIMUM OF 24 INCHES WIDE AND 24 INCHES LONG. THE PAVED DRIVEWAY CURB RAMP SHOULD BE MADE OF A MATERIAL THAT IS COMPATIBLE WITH THE SURFACE IT IS BEING INSTALLED ON. THE PAVED DRIVEWAY CURB RAMP SHOULD BE INSTALLED IN A MANNER THAT PROVIDES A TRANSITION FROM THE SURFACE IT IS BEING INSTALLED ON TO THE SURFACE IT IS BEING INSTALLED ON.

10. DRIVEWAY CURB RAMP: THE DRIVEWAY CURB RAMP SHOULD BE A MINIMUM OF 24 INCHES WIDE AND 24 INCHES LONG. THE DRIVEWAY CURB RAMP SHOULD BE MADE OF A MATERIAL THAT IS COMPATIBLE WITH THE SURFACE IT IS BEING INSTALLED ON. THE DRIVEWAY CURB RAMP SHOULD BE INSTALLED IN A MANNER THAT PROVIDES A TRANSITION FROM THE SURFACE IT IS BEING INSTALLED ON TO THE SURFACE IT IS BEING INSTALLED ON.

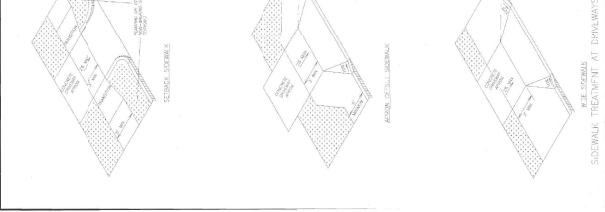
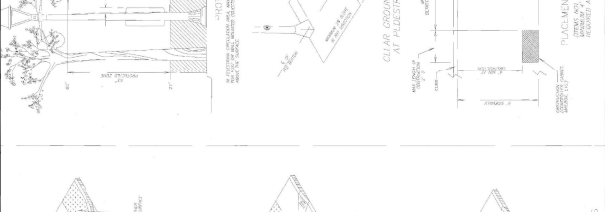
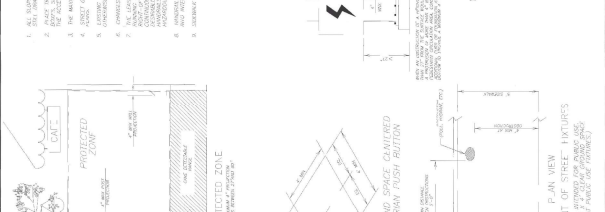
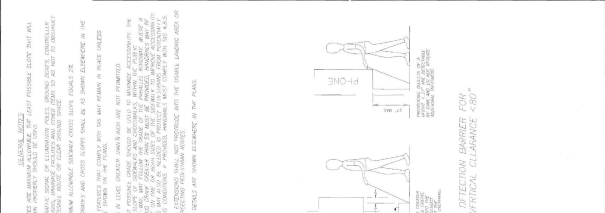
11. PAVED DRIVEWAY CURB RAMP: THE PAVED DRIVEWAY CURB RAMP SHOULD BE A MINIMUM OF 24 INCHES WIDE AND 24 INCHES LONG. THE PAVED DRIVEWAY CURB RAMP SHOULD BE MADE OF A MATERIAL THAT IS COMPATIBLE WITH THE SURFACE IT IS BEING INSTALLED ON. THE PAVED DRIVEWAY CURB RAMP SHOULD BE INSTALLED IN A MANNER THAT PROVIDES A TRANSITION FROM THE SURFACE IT IS BEING INSTALLED ON TO THE SURFACE IT IS BEING INSTALLED ON.



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BASS AND WELSH ENGINEERS
 TEXAS REGISTERED PROFESSIONAL ENGINEERS
 CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO
 AZALI ESTATES UNIT 3
 CORPUS CHRISTI, NUECES CO., TX

CITY CURB RAMP STANDARDS

DATE PLOTTED: 08/23/23
 SHEET NO. 1804/23/23
 SHEET TOTAL: 18



EXHIBIT 4

NIXON M. WELSH, P.E., R.P.L.S.
 Email: NixMW@aol.com

BASS WELSH ENGINEERING
TX Registration No. F-52
Survey Registration No. 100027-00
P.O. Box 6397
Corpus Christi, TX 78466-6397

3054 S. Alameda St.
 361 882-5521~ FAX 361 882-1265

AZALI ESTATES UNIT 3
 GRID MAIN WATER REIMBURSEMENT ESTIMATE
 06/30/23

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
12" GRID MAIN WATER ITEMS REIMBURSABLE BY CITY					
1	12" PVC PIPE	1289	LF	66.00	85,074.00
2	12" CAP TAPPED FOR 2"	2	EA	1,500.00	3,000.00
3	12" TEE	6	EA	2,200.00	13,200.00
4	12" GATE VALVE W/BOX	8	EA	1,500.00	12,000.00
5	12" EL, ANY ANGLE	4	EA	2,000.00	8,000.00
6	6" GATE VALVE W/BOX	6	EA	800.00	4,800.00

SUBTOTAL \$126,074.00

10% CONTINGINCIES \$12,607.40

SUBTOTAL \$138,681.40

7.5% ENGINEERING, SURVEYING, & TESTING \$10,401.11

SUBTOTAL \$149,082.51

LESS WATER LOT FEE -12,212.20

TOTAL AMOUNT REIMBURSABLE \$136,870.31

EXHIBIT 5



Exhibit 5

DISCLOSURE OF INTERESTS

Development Services Department

2406 Leopard St. Corpus Christi, TX 78408 | Phone: 361.826.3240 | platapplication@cctexas.com

City of Corpus Christi Ordinance 17112, as amended, requires all persons or firms seeking to do business with the City to provide the following information. Every question must be answered. If the question is not applicable, answer with "NA".

NAME: LSK Development LLC

STREET: P.O. Box 8155

CITY: Corpus Christi

ZIP: 78468

FIRM is: [] Corporation [] Partnership [] Sole Owner [] Association [] Other LLC

DISCLOSURE QUESTIONS

If additional space is necessary, please use the reverse side of this page or attach separate sheet.

1. State the names of each "employee" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name

Job Title and City Department (if known)

NA

2. State the names of each "official" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name

Title

NA

3. State the names of each "board member" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name

Board, Commission, or Committee

NA

4. State the names of each employee or officer of a "consultant" for the City of Corpus Christi who worked on any matter related to the subject of this contract and has an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name

Consultant

NA

CERTIFICATE (To Be Notarized)

I certify that all information provided is true and correct as of the date of this statement, that I have not knowingly withheld disclosure of any information requested; and that supplemental statements will be promptly submitted to the City of Corpus Christi, Texas as changes occur.

Certifying Person: Alex Azali (Print)

Title: President

Signature of Certifying Person: [Handwritten Signature]

Date: 11/15/23