

PLANNING COMMISSION FINAL REPORT

Case No. 0218-02
 INFOR No. 18ZN1003

Planning Commission Hearing Date: February 7, 2018

Applicant & Legal Description	<p>Owner: Puerto Los Caballeros, LLC. Applicant: Urban Engineering Location Address: 15641 Northwest Boulevard (FM 624) Legal Description: Being 39.750 Acre Tract, situated in the Mariano Lopez de Herrera Grant, Abstract No. 606, Nueces County, Texas, Located on the south side of Northwest Boulevard, east of County Road 73, and west of County Road 1889.</p>			
Zoning Request	<p>From: "FR" Farm Rural District To: "CG-2" General Commercial District Area: 39.75 acres Purpose of Request: To allow for the construction of a restaurant.</p>			
Existing Zoning and Land Uses		Existing Zoning District	Existing Land Use	Future Land Use
	<i>Site</i>	"CG-1" General Commercial and "RS-6" Single-Family	Vacant	Medium Density Residential
	<i>North</i>	"OCL" Outside City Limits	Vacant, Low Density Residential, and Commercial	Medium, Low Density Residential, and Commercial
	<i>South</i>	"RE" Residential Estate	Vacant and Estate Residential	Medium Density Residential
	<i>East</i>	"RE" Residential Estate	Estate Residential	Medium and Low Density Residential
	<i>West</i>	"FR" Farm Rural	Vacant, Low Density Residential, and Public/Semi-Public	Low Density Residential and Transportation
ADP, Map & Violations	<p>Area Development Plan: The subject property is located within the boundaries of the Northwest Area Development Plan and is planned for medium density residential uses. The proposed rezoning to the "CG-2" General Commercial District is consistent with the adopted Comprehensive Plan (Plan CC) except for the Future Land Use Map (Element 7). Additionally, the proposed rezoning is consistent with the Northwest Area Development Plan (ADP) and the surrounding zoning district. Map No.: 070051 Zoning Violations: None</p>			
Transportation	<p>Transportation and Circulation: The subject property has approximately 1,740 feet of street frontage along Northwest Boulevard (FM 624) which is designated as an "A3" Primary Arterial Street and has approximately 830 feet of street frontage along County Road 73 which is designated as an "A2" Secondary Arterial Street.</p>			

Street R.O.W.	Street	Urban Transportation Plan Type	Proposed Section	Existing Section	Traffic Volume
	Northwest Boulevard (FM 624)	"A3" Primary Arterial Street	130' ROW 79' paved	130' ROW 83' paved	17,961 ADT (2014)
	County Road 73	"A2" Secondary Arterial Street	100' ROW 54' paved	84' ROW 26' paved	N/A

Staff Summary:

Requested Zoning: The applicant is requesting a rezoning from the "FR" Farm Rural District to the "CG-2" General Commercial District for the construction of a restaurant.

Development Plan: The subject property is comprised of 39.75 acres. The owner is requesting to rezone to the "CG-2" General Commercial District. The applicant plans to develop the subject property for a barbecue restaurant.

Existing Land Uses & Zoning: The subject property is currently zoned "FR" Farm Rural District, is vacant/agricultural land, and was part of an annexation in 1995. To the north are properties with commercial uses, however are located outside of the city limits. To the south and west are vacant/agricultural tracts also zoned "FR" Farm Rural District. To the east are vacant/agricultural properties and a lone single-family residence both zoned "FR" Farm Rural District.

AICUZ: The subject property is not located in one of the Navy's Air Installation Compatibility Use Zones (AICUZ).

Plat Status: The property is not platted.

PlanCC & Area Development Plan Consistency: The subject property is located within the boundaries of the Northwest Area Development Plan (ADP). The proposed rezoning to the "CG-2" General Commercial District is consistent with the adopted Comprehensive Plan (Plan CC) except for the Future Land Use Map (Element 7). Additionally, the proposed rezoning is consistent with the Northwest Area Development Plan (ADP), the surrounding zoning district, and with the following policies of the Northwest Area Development Plan (ADP) and Plan CC:

- Encourage the protection and enhancement of residential neighborhoods. (Future Land Use, Zoning, and Urban Design Policy Statement 1).
- Encourage orderly growth of new residential, commercial, and industrial areas (Future Land Use, Zoning, and Urban Design Policy Statement 1).
- Promote a balanced mix of land uses to accommodate continuous growth and promote the proper location of land uses based on compatibility, locational needs, and characteristics of each use (Future Land Use, Zoning, and Urban Design Policy Statement 1).

- Support the separation of high-volume traffic from residential areas or other noise-sensitive land uses. (Future Land Use, Zoning, and Urban Design Policy Statement 3).
- Encourage compact as opposed to linear form commercial centers to provide for a grouping of activities. Such grouping of activities generally permits more effective traffic management, i.e., left turn conflicts can be minimized, entryways/exits can be designed to serve several businesses and right turns onto major streets can be encouraged. (Future Land Use, Zoning, and Urban Design Policy Statement 3).
- Encourage the design of commercial centers in a manner that minimizes the impacts of automobile intrusion, noise and visual blight on surrounding areas. (Future Land Use, Zoning, and Urban Design Policy Statement 3).
- Commercial development of a small scale for convenience shopping needs is necessary and desirable to serve the outlying portions of the Plan area. (NW ADP Policy Statement B.1)

Department Comments:

- The proposed rezoning to the “CG-2” General Commercial District is consistent with the adopted Comprehensive Plan (Plan CC) except for the Future Land Use Map (Element 7). Additionally, the proposed rezoning is consistent with the Northwest Area Development Plan (ADP) and the surrounding zoning district.
- The proposed rezoning is also compatible with neighboring properties and with the general character of the surrounding area. This rezoning does not have a negative impact upon the surrounding neighborhood.
- The property is currently vacant/agricultural and surrounded by properties also zoned “FR” Farm Rural District. The property has remained undeveloped since annexation in 1995.
- Any future development will require platting and observation of all requirements of the Unified Development Code (UDC).

Planning Commission and Staff Recommendation (February 7, 2018):

Approval of the change of zoning from the “FR” Farm Rural District to the “CG-2” General Commercial District.

Vote Results:

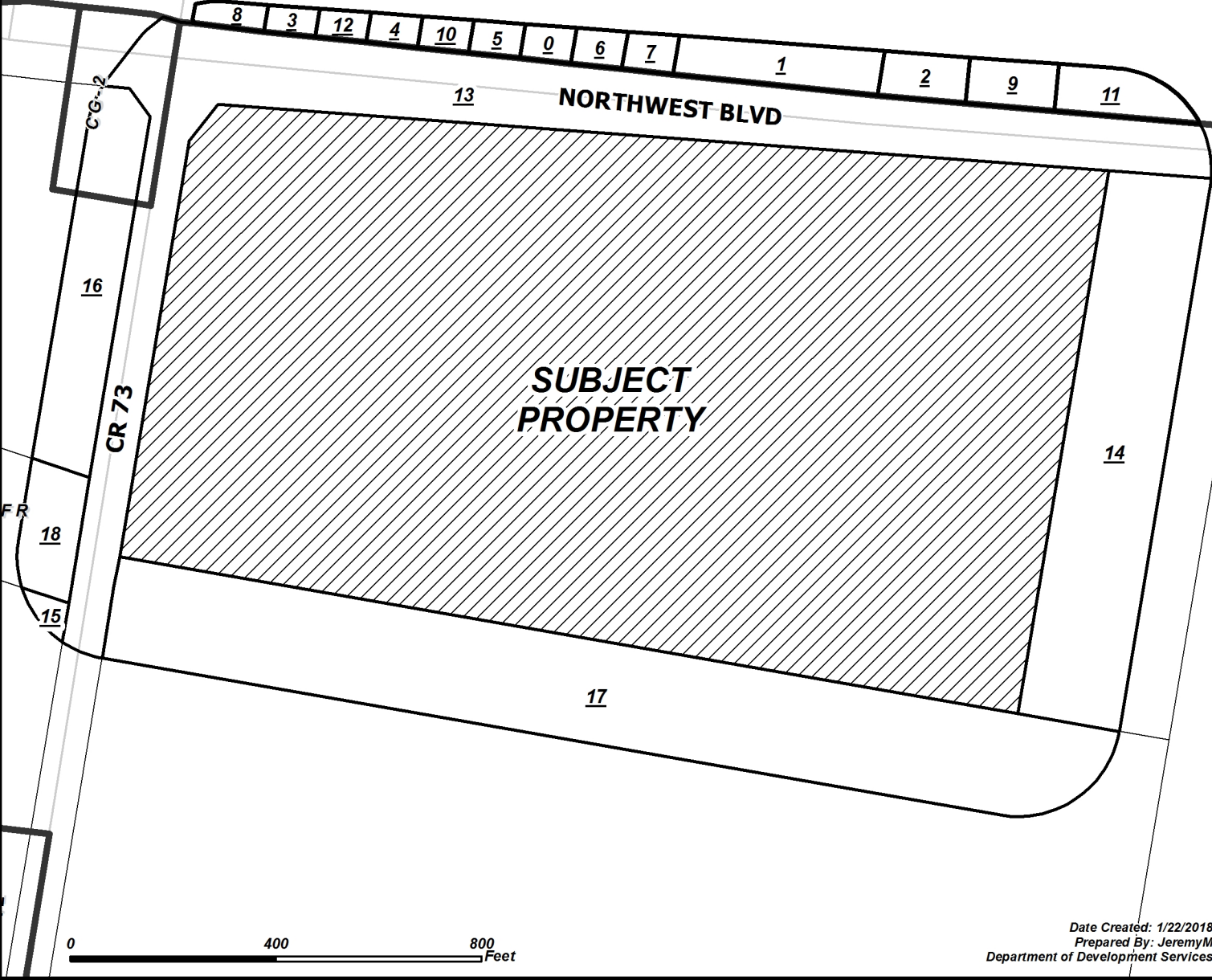
For:	8
Opposed:	0
Absent:	1
Abstained:	0

Public Notification	Number of Notices Mailed – 18 within 200-foot notification area 7 outside notification area
	<u>As of February 2, 2018:</u>
	In Favor – 0 inside notification area – 0 outside notification area
	In Opposition – 0 inside notification area – 0 outside notification area
	Totaling 0.00% of the land within the 200-foot notification area in opposition.

Attachments:

- A. Location Map (Existing Zoning & Notice Area)
- B. Public Comments Received (if any)

WAGON TRL



Date Created: 1/22/2018
 Prepared By: Jeremy M
 Department of Development Services

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FUTURE LAND USE

- | | |
|------------------------------|--|
| Mixed Use | Low Density Single Family Residential |
| Water | Medium Density Single Family Residential |
| Planned Development | High Density Residential |
| Agriculture/Rural Enterprise | Transition Aviation Special District |
| Commercial | Transition Special District |
| Government | Transportation |
| Institutional | Permanent Open Space |
| Heavy Industrial | Flood Plain Conservation |
| Light Industrial | |

- Transportation Plan**
- | | |
|-----------------|-----------------|
| Existing | Proposed |
| Expressways | Expressways |
| Arterials | Arterials |
| Collectors | Collectors |
| Parkway | Parkway |
| Railroad | Railroad |

Map Scale: 1:3,600

