

Resolution authorizing a 12-month extension of a Participation Agreement with MPM Development, LP to reimburse developer up to \$1,570,206.65 toward construction of Iron Throne Drive and Drogon Street with reinforced concrete for Kings Landing Subdivision.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORPUS CHRISTI, TEXAS:

SECTION 1. The City Manager or designee is authorized to execute 12-month performance date extension to the Participation with MPM Development, LP. (“Developer”) to construct Iron Throne Drive and Drogon Street for development of Kings Landing Subdivision, Corpus Christi, Nueces County, Texas.

PASSED AND APPROVED on the _____ day of _____, 2022:

Paulette Guajardo _____

Roland Barrera _____

Gil Hernandez _____

Michael Hunter _____

Billy Lerma _____

John Martinez _____

Ben Molina _____

Mike Pusley _____

Greg Smith _____

ATTEST:

CITY OF CORPUS CHRISTI

Rebecca Huerta
City Secretary

Paulette Guajardo
Mayor

**EXTENSION OF PARTICIPATION AGREEMENT
For Oversizing Streets and Drainage Crossing
Per UDC § 8.4**

This is an amendment to the Participation Agreement for Oversizing Streets and Drainage Crossing, Document number 2020020941, originally dated May 20, 2020, and amended on October 6, 2020, attached hereto as Exhibit A by and between: MPM Development, L.P., and the City of Corpus Christi.

NOW, THEREFORE, in consideration of the mutual covenants herein, the Parties agree to amend the Participation Agreement, Section 11, Subsection 3 and Section 27 as follows:

Section 11. DEFAULT. The following events shall constitute default:

3. Owner fails to complete construction of the Roadway Extension, under the approved plans and specifications, on or before **May 20, 2023**.

Section 27. TERM. This Agreement becomes effective, is binding upon, and inures to the benefit of the City and the Developer from and after the date of the last signatory to this Agreement. This Agreement expires on **May 20, 2023**, unless terminated earlier in accordance with the provisions of the Agreement.

All other terms and conditions of the original agreement remain effective and in full force.

EXECUTED IN ONE ORIGINAL and made effective this ___ day of _____, 2022.

CITY OF CORPUS CHRISTI

Albert J Raymond III
Director of Development Services

APPROVED AS TO FORM:

Assistant City Attorney
Buck Brice

DEVELOPER: MPM Development, LP



Moses Mostagashi
General Partner

5-3-22
Date

EXHIBIT A

PARTICIPATION AGREEMENT For Oversizing Streets and Drainage Crossing Per UDC §8.4

STATE OF TEXAS §
 §
COUNTY OF NUECES §

This PARTICIPATION AGREEMENT ("Agreement") is entered into between the City of Corpus Christi ("City"), a Texas home-rule municipal corporation, acting by and through its City Manager, or designee, and MPM Development LP, ("Developer"), a Texas Limited Partnership.

WHEREAS, the Owner owns certain real property located in Corpus Christi, Nueces County, Texas, being a 446.408 acre portion out of Abstract 577, Abstract 579, and Abstract 581, Cuadrilla Irrigation Company (the "Property"), and the Owner desires to develop and plat the Property designated on **Exhibit 1** of this Agreement, which exhibit is attached to and incorporated in this Agreement by reference, to be known as Kings Landing ("Plat");

WHEREAS, as a condition of the Plat, the Developer/Owner is required to expand, extend, and construct Iron Throne Drive and Drogon Drive and associated appendas depicted on and in accordance with the improvement requirements (the "Roadway Extension") set forth in **Exhibit 2**, which exhibit is attached to and incorporated in this Agreement by reference;

WHEREAS, it is in the best interests of the City to have the public street infrastructure installed by the Developer in conjunction with the Owner's final Plat;

WHEREAS, Section 212.071 of the Texas Local Government Code authorizes a municipality to make a contract with a developer of a subdivision or land in the municipality to construct public improvements related to the subdivision or land; and

WHEREAS, this Agreement is made pursuant to Section 212.071 & 212.072 of the Texas Local Government Code and Article 8, Section 8.4.1, of the Unified Development Code of the City of Corpus Christi

NOW, THEREFORE, in order to provide a coordinated public street construction and improvement project, the City and the Developer agree as follows:

Section 1. RECITALS. The parties agree that the language contained in the preamble of this Agreement is substantive in nature, is incorporated into this Agreement by reference, and has been relied on by both parties in entering into and executing this Agreement.

Section 2. DEVELOPER PARTICIPATION. Subject to the terms of this Agreement, the Developer will construct Iron Throne Drive and Drogon Street as C-3 collector streets with 8" thick Portland Cement Concrete Pavement per Exhibit 1 and Exhibit 2 for and on behalf of the City in accordance with the plans and specifications approved in advance of construction

by the City Engineer on behalf of the City. The parties acknowledge and confirm the total cost estimate for construction of the Roadway Extension, which estimate is attached to and incorporated in this Agreement as **Exhibit 3** (the "Cost Estimate"). Subject to the limitations set forth below, the Developer shall pay a portion of the costs of construction of the Roadway Extension. Further, subject to the limitations set forth below, the City shall pay the remaining portion of the costs of construction of the Roadway Extension, designated as the total amount reimbursable by the City on the Cost Estimate. The Developer will also contract all streets in Exhibit 1 and 2 with Portland Cement Concrete Pavement City in accordance with City Standards.

Section 3. CITY PARTICIPATION. Notwithstanding any other provision of this Agreement, the total amount that the City shall pay for the City's agreed share of the actual costs of the Roadway Extension shall not exceed **\$1,539,418.28**

Section 4. REIMBURSEMENT. The City shall reimburse the Developer a pro rata portion of the City's agreed costs of the Roadway Extension monthly, based on the percentage of construction completed less the Developer's pro rata portion and contingent upon submission to the City of an invoice for the work performed. The invoices must be paid by the City no later than thirty (30) days following receipt of each monthly invoice. Such reimbursement will be made payable to the Developer at the address shown in section N of this Agreement.

Section 5. PERFORMANCE BOND. In accordance with the Texas Local Government Code, the Developer shall execute a performance bond for the construction of the Roadway Extension to ensure completion of the project. The bond must be executed by a corporate surety in accordance with Chapter 2253 of the Texas Government Code. The Developer shall submit proof of the required performance bonds to the City.

Section 6. INSURANCE. Insurance requirements are as stated in **Exhibit 4**, the content of which is incorporated by reference into this Agreement as if fully set out here in its entirety. Before performance can begin under this Agreement, the Contractor must deliver a certificate of insurance ("COI"), as proof of the required insurance coverages, to the City's Risk Manager and Development Services Department. Additionally, the COI must state that the City will be given at least 30 days' advance written notice of cancellation, material change in coverage, or intent not to renew any of the policies. The City must be named as an additional insured. The City Attorney must be given copies of all insurance policies within 10 days of the City Manager's written request.

Section 7. CONSTRUCTION CONTRACT DOCUMENTS. Developer shall submit standard construction contract documents to the Executive Director of Public Works for review and approval in advance of beginning any construction of the Roadway Extension.

Section 8. INSPECTIONS. Throughout construction, the City shall conduct periodic inspections and either approve the progress of the Roadway Extension or promptly notify the Developer of any defect, deficiency, or other non-approved condition in the progress of the Roadway Extension.

Section 9. WARRANTY. The Developer shall fully warranty the workmanship and construction of the Roadway Extension for a period of two years from and after the date of acceptance of the improve-ments by the Executive Director of Public Works.

Section 10. INDEMNIFICATION.

DEVELOPER COVENANTS TO FULLY INDEMNIFY, SAVE AND HOLD HARMLESS THE CITY OF CORPUS CHRISTI, ITS OFFICERS, EMPLOYEES, AND AGENTS, ("INDEMNITEES") AGAINST ANY AND ALL LIABILITY, DAMAGE, LOSS, CLAIMS, DEMANDS, SUITS, AND CAUSES OF ACTION OF ANY NATURE WHATSOEVER ASSERTED AGAINST OR RECOVERED FROM INDEMNITEES ON ACCOUNT OF INJURY OR DAMAGE TO PERSON INCLUDING, WITHOUT LIMITATION ON THE FOREGOING, WORKERS' COMPENSATION AND DEATH CLAIMS, OR PROPERTY LOSS OR DAMAGE OF ANY OTHER KIND WHATSOEVER, TO THE EXTENT ANY INJURY, DAMAGE, OR LOSS MAY BE INCIDENT TO, ARISE OUT OF, BE CAUSED BY, OR BE IN ANY WAY CONNECTED WITH, EITHER PROXIMATELY OR REMOTELY, WHOLLY OR IN PART, THE CONSTRUCTION, INSTALLATION, EXISTENCE, OPERATION, USE, MAINTENANCE, REPAIR, RESTORATION, OR REMOVAL OF THE PUBLIC IMPROVEMENTS ASSOCIATED WITH THE PLATTING AND CONSTRUCTION OF THE ROADWAY EXTENSION OF ROYAL CREEK ESTATES UNIT 8 SUBDIVISION DURING THE PERIOD OF CONSTRUCTION, INCLUDING THE INJURY, LOSS, OR DAMAGE CAUSED BY THE CONTRIBUTORY NEGLIGENCE OF THE INDEMNITEES OR ANY OF THEM, REGARDLESS OF WHETHER THE INJURY, DAMAGE, LOSS, VIOLATION, EXERCISE OF RIGHTS, ACT, OR OMISSION IS CAUSED OR IS CLAIMED TO BE CAUSED BY THE CONTRIBUTING OR CONCURRENT NEGLIGENCE OF INDEMNITEES, OR ANY OF THEM, BUT NOT IF CAUSED BY THE SOLE NEGLIGENCE OF INDEMNITEES, OR ANY OF THEM, UNMIXED WITH THE FAULT OF ANY OTHER PERSON OR ENTITY, AND INCLUDING ALL EXPENSES OF LITIGATION, COURT COSTS, AND ATTORNEYS FEES WHICH ARISE, OR ARE CLAIMED TO ARISE, OUT OF OR IN CONNECTION WITH THE ASSERTED OR RECOVERED INCIDENT. THIS INDEMNITY SURVIVES TERMINATION OF THIS AGREEMENT.

Section 11. DEFAULT. The following events shall constitute default:

1. Developer fails to submit plans and specifications for the Roadway Extension to the Executive Director of Public Works in advance of construction.
2. Developer does not reasonably pursue construction of the Roadway Extension under the approved plans and specifications.

3. Developer fails to complete construction of the Roadway Extension, under the approved plans and specifications, on or before the expiration of 24 calendar months measured from the date this document is executed by the City.

4. Either the City or the Developer otherwise fails to comply with its duties or obligations under this Agreement.

Section 12 NOTICE AND CURE.

1. In the event of a default by either party under this Agreement, the non-defaulting party shall deliver notice of the default, in writing, to the defaulting party stating, in sufficient detail, the nature of the default and the requirements to cure such default.

2. After delivery of the default notice, the defaulting party has 15 days from the delivery of the default notice ("Cure Period") to cure the default.

3. In the event the default is not cured by the defaulting party within the Cure Period, then the non-defaulting party may pursue its remedies in this section.

4. Should the Developer fail to perform any obligation or duty of this Agreement, the City shall give notice to the Developer, at the address stated in section N, of the need to perform the obligation or duty and, should the Developer fail to perform the required obligation or duty within 15 days of receipt of the notice, the City may perform the obligation or duty, charging the cost of such performance to the Developer.

5. In the event of an uncured default by the Developer, after the appropriate notice and Cure Period, the City has all its common law remedies and the City may:

a. Terminate this Agreement after the required notice and opportunity to cure the default;

b. Refuse to record a related plat or issue any certificate of occupancy for any structure to be served by the project; and/or

c. Perform any obligation or duty of the Developer under this Agreement and charge the cost of such performance to the Developer. The Developer shall pay to the City the reasonable and necessary cost of the performance within 30 days from the date the Developer receives notice of the cost of performance. In the event the Developer pays the City under the preceding sentence and is not otherwise in default under this Agreement, then the Agreement shall be considered in effect and no longer in default.

6. In the event of an uncured default by the City after the appropriate notice and Cure Period, the Developer has all its remedies at law or in equity for such default.

Section 13. FORCE MAJEURE.

1. The term "force majeure" as employed in this Agreement means and refers to acts of God; strikes, lockouts, or other industrial disturbances; acts of a public enemy; insurrections; riots; epidemics; landslides; lightning; earthquakes; fires; hurricanes; storms; floods; washouts; droughts; arrests; civil disturbances; explosions; or other causes not reasonably within the control of the party claiming the inability.

2. If, by reason of force majeure, either party is rendered wholly or partially unable to carry out its obligations under this Agreement, then the party claiming force majeure shall give written notice of the full particulars of the force majeure to the other party within 10 days after the occurrence or waive the right to claim it as a justifiable reason for delay. The obligations of the party giving the required notice, to the extent affected by the force majeure, are suspended during the continuance of the inability claimed but for no longer period, and the party shall endeavor to remove or overcome such inability with all reasonable dispatch.

Section 14. NOTICES.

1. Any notice or other communication required or permitted to be given under this Agreement must be given to the other party in writing at the following address:

If to the City:

City of Corpus Christi
Attn: Director, Development Services
2406 Leopard Street / 78401
P.O. Box 9277/78469-9277
Corpus Christi, Texas

If to the Developer:

MPM Development, L.P.
Attn: Moses Mostaghasi
PO Box 331308
Corpus Christi, Tx 78401

with a copy to:

City of Corpus Christi
Attn: Asst. City Manager, Business Support Services
1201 Leopard Street / 78401
P. O. Box 9277 / 78469-9277
Corpus Christi, Texas

2. Notice must be made by United States Postal Service, First Class mail, certified, return receipt requested, postage prepaid; by a commercial delivery service that provides proof of delivery, delivery prepaid; or by personal delivery.

3. Either party may change the address for notices by giving notice of the change, in accordance with the provisions of this section, within five business days of the change.

Section 15. PROJECT CONTRACTS. Developer's contracts with the professional engineer for the preparation of the plans and specifications for the construction of the Roadway Extension, contracts for testing services, and contracts with the contractor for the

construction of the Roadway Extension must provide that the City is a third party beneficiary of each contract.

Section 16. DISCLOSURE OF INTEREST. In compliance with City of Corpus Christi Ordinance No. 17112, the Developer agrees to complete the Disclosure of Interests form attached to this Agreement and incorporated by reference as **Exhibit 5**.

Section 17. CERTIFICATE OF INTERESTED PARTIES. Developer agrees to comply with Texas Government Code section 2252.908 and complete Form 1295 Certificate of Interested Parties as part of this agreement.

Form 1295 requires disclosure of "interested parties" with respect to entities that enter contracts with cities. These interested parties include:

- (1) persons with a "controlling interest" in the entity, which includes:
 - a. an ownership interest or participating interest in a business entity by virtue of units, percentage, shares, stock or otherwise that exceeds 10 percent;
 - b. membership on the board of directors or other governing body of a business entity of which the board or other governing body is composed of not more than 10 members; or
 - c. service as an officer of a business entity that has four or fewer officers, or service as one of the four officers most highly compensated by a business entity that has more than four officers.
- (2) a person who actively participates in facilitating a contract or negotiating the terms of a contract with a governmental entity or state agency, including a broker, intermediary, adviser or attorney for the business entity.

Form 1295 must be electronically filed with the Texas Ethics Commission at https://www.ethics.state.tx.us/whatsnew/elf_info_form1295.htm. The form must then be printed, signed, notarized and filed with the City. For more information, please review the Texas Ethics Commission Rules at <https://www.ethics.state.tx.us/legal/ch46.html>.

Section 18. CONFLICT OF INTEREST. Developer agrees to comply with Chapter 176 of the Texas Local Government Code and file Form CIQ with the City Secretary's Office, if required. For more information and to determine if you need to file a Form CIQ, please review the information on the City Secretary's website at <http://www.cctexas.com/government/city-secretary/conflict-disclosure/index>

Section 19. SEVERABILITY. The provisions of this Agreement are severable and, if any provision of this Agreement is held to be invalid for any reason by a court or agency of competent jurisdiction, the remainder of this Agreement shall not be affected and this Agreement shall be construed as if the invalid portion had never been contained herein.

Section 20. COOPERATION. The Parties agree to cooperate at all times in good faith to effectuate the purposes and intent of this Agreement.

Section 21. ENTIRE AGREEMENT. Except as otherwise expressly provided herein, this Agreement contains the entire agreement of the Parties regarding the sharing of costs for the Project and supersedes all prior or contemporaneous understandings or representations, whether oral or written, regarding the subject matter hereof.

Section 22. AMENDMENTS. Any amendment of this Agreement must be in writing and shall be effective if signed by the authorized representatives of both Parties.

Section 23. APPLICABLE LAW; VENUE. This Agreement shall be construed in accordance with Texas law. Venue for any action arising hereunder shall be in Nueces County, Texas.

Section 24. AUTHORITY. Each Party represents and warrants that it has the full right, power and authority to execute this Agreement.

Section 25. INDEPENDENT CONTRACTOR. Developer covenants and agrees that it is an independent contractor, and not an officer, agent, servant or employee of City; that Developer shall have exclusive control of and exclusive right to control the details of the work performed hereunder and all persons performing same, and shall be liable for the acts and omissions of its officers, agents, employees, contractors, subcontractors and consultants; that the doctrine of respondeat superior shall not apply as between City and Developer, its officers, agents, employees, contractors, subcontractors and consultants, and nothing herein shall be construed as creating a partnership or joint enterprise between City and Developer.

Section 26. NON-APPROPRIATION. The continuation of this Agreement after the close of any fiscal year of the City, which fiscal year ends on September 30th annually, is subject to appropriations and budget approval specifically covering this Agreement as an expenditure in said budget, and it is within the sole discretion of the City's City Council to determine whether or not to fund this Agreement. The City does not represent that this budget item will be adopted, as said determination is within the City Council's sole discretion when adopting each budget.

Section 27. TERM. This Agreement becomes effective, is binding upon, and inures to the benefit of the City and the Developer from and after the date of the last signatory to this Agreement. This Agreement expires 24 calendar months from the date this document is executed by the City, unless terminated earlier in accordance with the provisions of this Agreement. Such expiration date of this Agreement is presently anticipated, but not currently known, to be May 19, 2022.

EXECUTED in one original this 20th day of May, 2020.

ATTEST:

CITY OF CORPUS CHRISTI

Rebecca Huerta
Rebecca Huerta
City Secretary

Al Raymond III
Al Raymond III
Director of Development Services

R.032120

5-19-20
COUNCIL

SECRETARY
THE STATE OF TEXAS §
COUNTY OF NUECES §

This instrument was signed by Rebecca Huerta, City Secretary, for the City of Corpus Christi, Texas, and acknowledged before me on the 21 day of May, 2020.

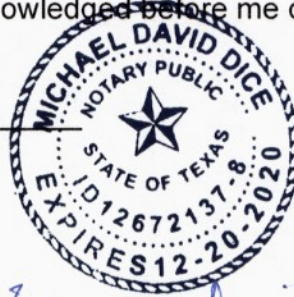
[Signature]
Notary Public, State of Texas



THE STATE OF TEXAS §
COUNTY OF NUECES §

This instrument was signed by Al Raymond III, Director of Development Services, for the City of Corpus Christi, Texas, and acknowledged before me on the 20 day of May, 2020.

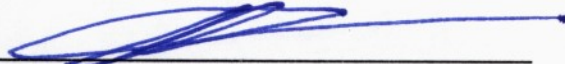
[Signature]
Notary Public, State of Texas



APPROVED AS TO FORM: This 30 day of April, 2020.

Buck Brice
Assistant City Attorney
Buck Brice

DEVELOPER: MPM Development, LP



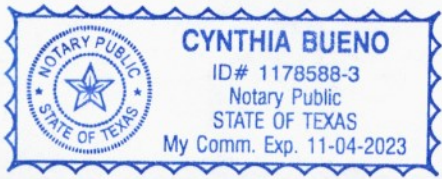
Moses Mostaghasi
General Partner

04.27.2020

Date

STATE OF TEXAS §
 §
COUNTY OF NUECES §

This instrument was acknowledged before me on April 27th, 2020, by Moses Mostaghasi, MPM Development, LP, General Partner, on behalf of said corporation.



Cynthia Bueno

Notary Public's Signature

STATE OF TEXAS §
 COUNTY OF NUECES §

WE, MPM DEVELOPMENT, LP, HEREBY CERTIFY THAT WE ARE THE OWNERS OF A PORTION OF THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING PLAT, SUBJECT TO A LIEN IN FAVOR OF _____ THAT WE HAVE HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN, THAT STREETS AND EASEMENTS AS SHOWN HAVE BEEN HERETOFORE DEDICATED, OR IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE FOREVER AND THAT THIS PLAT WAS MADE FOR THE PURPOSES OF DESCRIPTION AND DEDICATION.

THIS THE ____ DAY OF _____, 20__

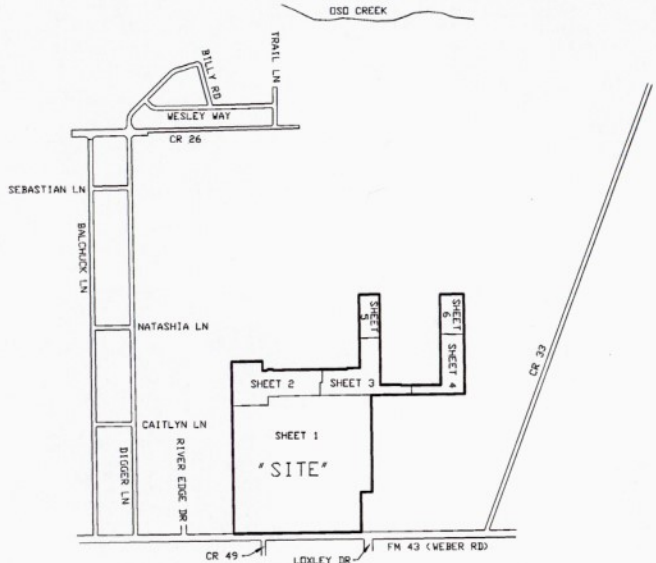
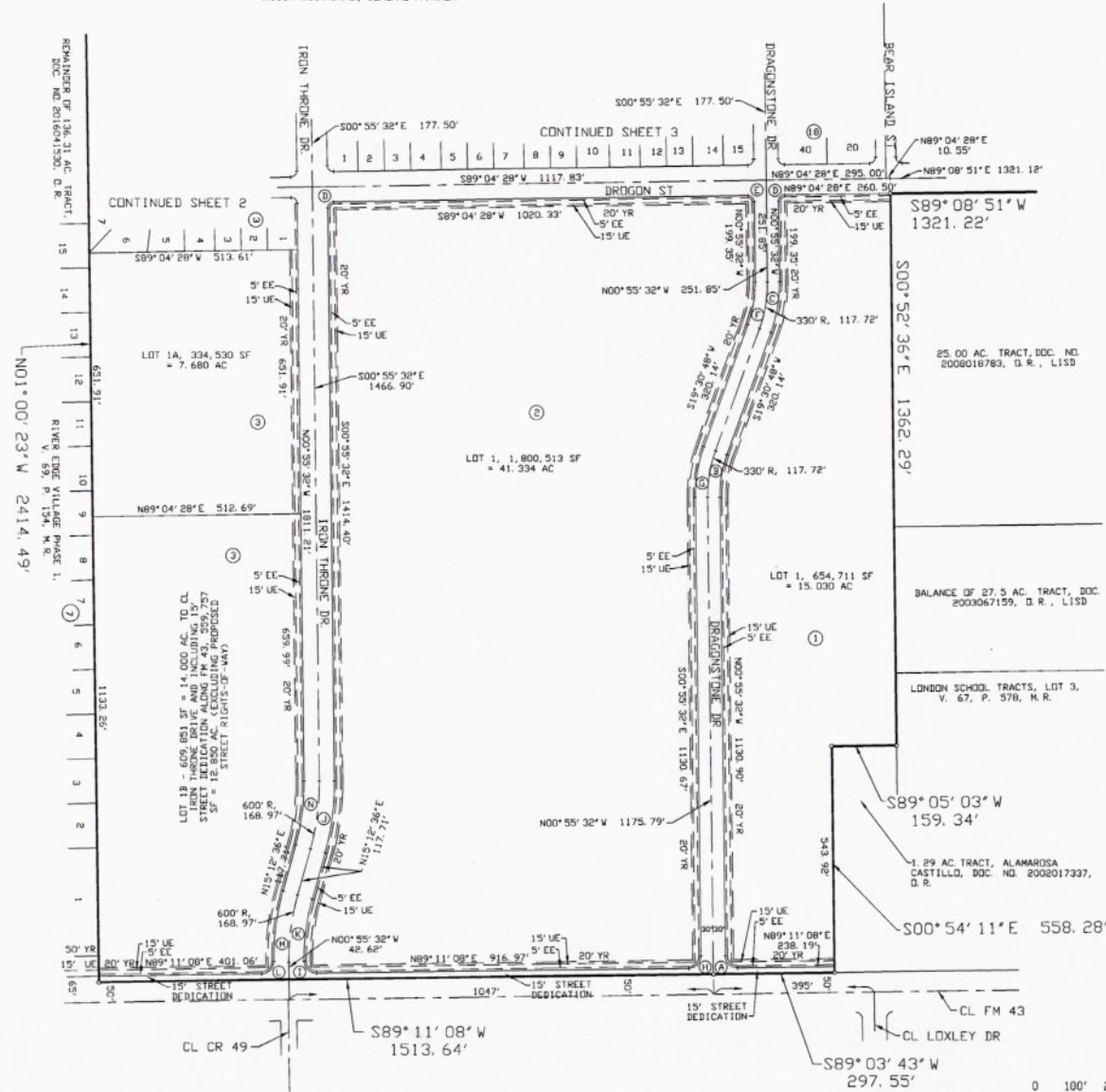
MOSSA MOSTAGHASI, GENERAL PARTNER

STATE OF TEXAS §
 COUNTY OF NUECES §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MOSSA MOSTAGHASI, GENERAL PARTNER OF MPM DEVELOPMENT, LP.

THIS THE ____ DAY OF _____, 20__

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS



CURVE DATA

A D=89°53'20" R=30.00' T=29.94' L=47.07' CB=N45°52'12"W CH=42.39'	B D=20°26'20" R=300.00' T=34.08' L=107.02' CB=N09°17'38"E CH=106.45'	C D=90°00'00" R=15.00' T=15.00' L=23.56' CB=N44°04'28"E CH=21.21'	D D=90°00'00" R=15.00' T=15.00' L=23.56' CB=N44°04'28"E CH=21.21'	E D=90°00'00" R=15.00' T=15.00' L=23.56' CB=N44°04'28"E CH=21.21'	F D=20°26'20" R=300.00' T=34.08' L=107.02' CB=N09°17'38"E CH=106.45'	G D=20°26'20" R=300.00' T=34.08' L=107.02' CB=N09°17'38"E CH=106.45'	H D=90°06'40" R=30.00' T=30.06' L=47.18' CB=N44°07'48"E CH=42.47'	I D=90°07'53" R=30.00' T=30.07' L=47.19' CB=N45°44'56"W CH=42.48'	J D=16°08'07" R=637.50' T=90.36' L=179.53' CB=S07°08'32"W CH=178.94'	K D=17°27'59" R=562.50' T=85.41' L=171.48' CB=S06°28'36"W CH=170.81'	L D=89°53'43" R=30.00' T=29.95' L=47.07' CB=N44°14'17"E CH=42.39'	M D=17°14'04" R=637.50' T=96.61' L=191.76' CB=N06°35'34"E CH=191.04'	N D=16°08'07" R=562.50' T=79.73' L=158.41' CB=N07°08'32"E CH=157.89'	O D=20°26'20" R=300.00' T=34.08' L=107.02' CB=N09°17'38"W CH=127.74'	P D=20°26'20" R=300.00' T=34.08' L=107.02' CB=N09°17'38"W CH=127.74'
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STATE OF TEXAS §
 COUNTY OF NUECES §
 WE, _____ (NAME), HEREBY CERTIFY THAT WE ARE THE HOLDERS OF A LIEN ON A PORTION OF THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING MAP AND THAT WE APPROVE THE SUBDIVISION AND DEDICATION FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

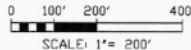
BY: _____
 TITLE: _____
 STATE OF TEXAS §
 COUNTY OF NUECES §
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____ (NAME), _____ (TITLE), OF _____
 THIS THE ____ DAY OF _____, 20__

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

PLAT OF KING'S LANDING UNIT 1

A 124,485 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF A 293,041 ACRE TRACT, D.C. NO. 201905726, D.R., A PORTION OF A 10.08 ACRE TRACT, D.C. NO. 201904095, D.R. AND A PORTION OF A 130.570 ACRE TRACT, D.C. NO. 2019051482, D.R., SAID 124,485 ACRE TRACT BEING A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29 AND SURVEY 139, ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX

CORPUS CHRISTI, NUECES COUNTY, TEXAS



BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING
 REG. NO. F-52, 3054 S. ALAMEDA STREET,
 CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED 1/09/20
 CMP. NO. PLAT-SHL.DWG
 JOB NO. 19068
 SCALE AS SHOWN
 PLOT SCALE: 1" = 200'
 SHEET 1 OF 6

STATE OF TEXAS §
COUNTY OF NUECES §

WE, CORPUS CHRISTI COMMUNITY CHURCH, HEREBY CERTIFY THAT WE ARE THE OWNERS OF A PORTION OF THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE SUBJECT PLAT, SUBJECT TO A LIEN IN FAVOR OF _____ THAT WE HAVE HAD SAID LAND SURVEYED AND SUBDIVIDED AS SHOWN, THAT STREETS AND EASEMENTS AS SHOWN HAVE BEEN HERETOFORE DEDICATED, OR IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE FOREVER AND THAT THIS PLAT WAS MADE FOR THE PURPOSES OF DESCRIPTION AND DEDICATION.

THIS THE ____ DAY OF _____, 20____

DANIEL SCOTT McDONALD, PASTOR

STATE OF TEXAS §
COUNTY OF NUECES §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY DANIEL SCOTT McDONALD, PASTOR OF CORPUS CHRISTI COMMUNITY CHURCH.

THIS THE ____ DAY OF _____, 20____

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

CURVE DATA

B	E	D	P	Q
D=90°00'03" R=15.00' T=15.00' L=23.56' CB=344°04'29"W CH=21.21'	D=90°00'00" R=15.00' T=15.00' L=23.56' CB=345°55'32"W CH=21.21'	D=277°30'03" R=36.00' T=49.11' L=271.22' CB=N00°55'32"W CH=73.85'	D=48°45'01" R=35.00' T=15.86' L=29.78' CB=N66°33'01"W CH=28.89'	D=48°45'01" R=35.00' T=15.86' L=29.78' CB=N64°41'57"E CH=28.89'

STATE OF TEXAS §
COUNTY OF NUECES §

WE, _____ (NAME), HEREBY CERTIFY THAT WE ARE THE HOLDERS OF A LIEN ON A PORTION OF THE LAND EMBRACED WITHIN THE BOUNDARIES OF THE FOREGOING MAP AND THAT WE APPROVE THE SUBDIVISION AND DEDICATION FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

BY: _____

TITLE: _____

STATE OF TEXAS §
COUNTY OF NUECES §

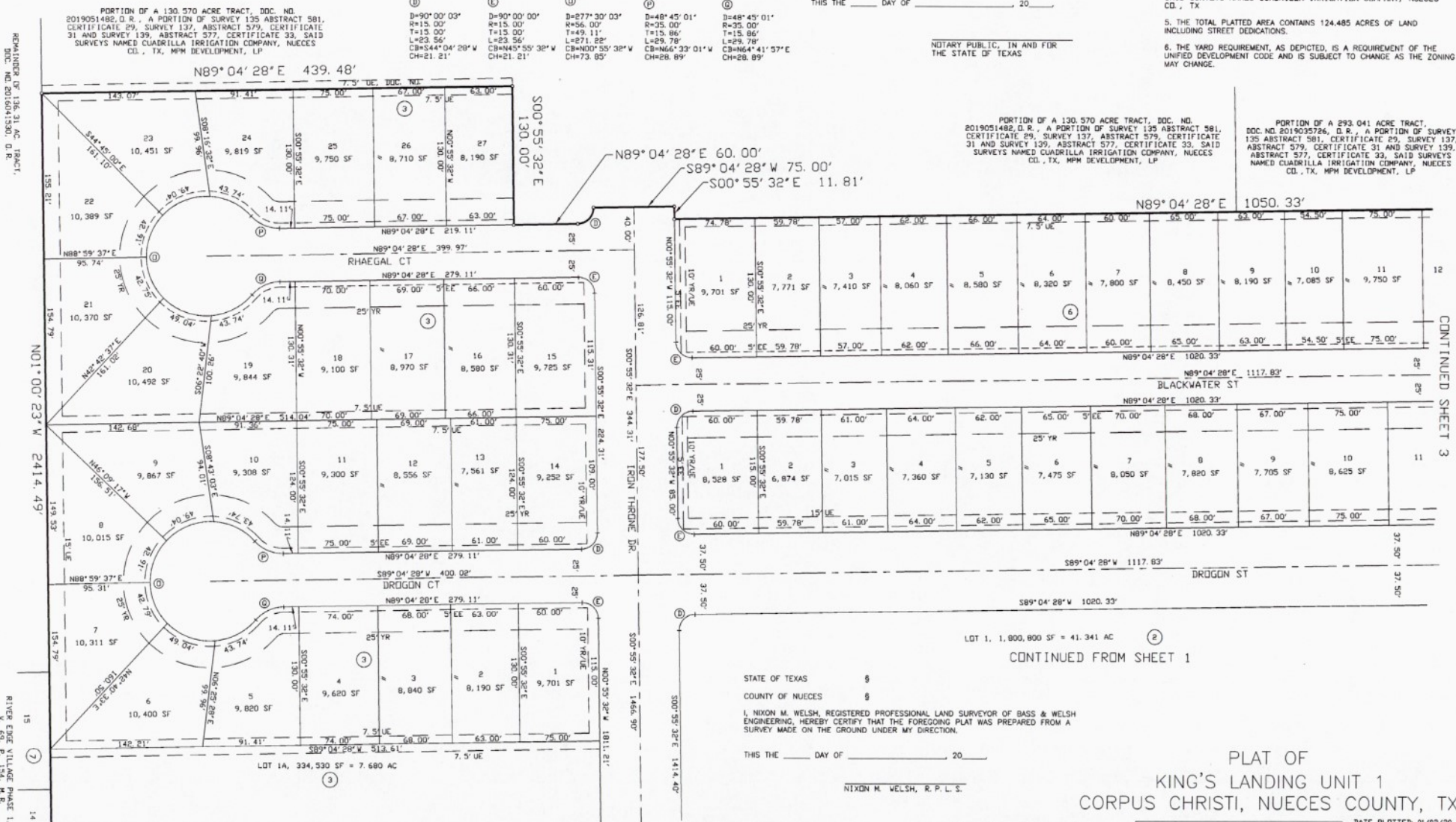
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY _____ (NAME), _____ (TITLE), OF _____

THIS THE ____ DAY OF _____, 20____

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

NOTES

1. THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE OSO CREEK. THE TCEQ HAS NOT CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO CREEK, BUT IT IS RECOGNIZED AS AN ENVIRONMENTALLY SENSITIVE AREA. THE OSO CREEK FLOWS DIRECTLY INTO THE OSO BAY. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE OSO BAY AS "EXCEPTIONAL" AND "OYSTER WATERS" AND CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
2. THE BASIS OF BEARINGS IS THE STATE OF TEXAS LAMBERT GRID, SOUTH ZONE, NAD 1983.
3. THE ENTIRE SUBJECT SITE IS IN FEMA ZONE X, PANEL 48350C0506 (10/23/15).
4. LEGAL DESCRIPTION: A 124.485 ACRE TRACT OF LAND, MORE OR LESS, A PORTION OF A 293.041 ACRE TRACT, DOC. NO. XXX, D.R., AND A PORTION OF A 144.570 ACRE TRACT, DOCUMENT NO. XXX, D.R., AND BEING A PORTION OF SURVEY 135 ABSTRACT 981, CERTIFICATE 29, SURVEY 137, ABSTRACT 579, CERTIFICATE 31, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX.
5. THE TOTAL PLATTED AREA CONTAINS 124.485 ACRES OF LAND INCLUDING STREET DEDICATIONS.
6. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.



CONTINUED FROM SHEET 1

CONTINUED SHEET 3

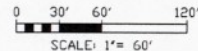
STATE OF TEXAS §
COUNTY OF NUECES §

I, NIXON M. WELSH, REGISTERED PROFESSIONAL LAND SURVEYOR OF BASS & WELSH ENGINEERING, HEREBY CERTIFY THAT THE FOREGOING PLAT WAS PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION.

THIS THE ____ DAY OF _____, 20____

NIXON M. WELSH, R.P.L.S.

PLAT OF
KING'S LANDING UNIT 1
CORPUS CHRISTI, NUECES COUNTY, TX



BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING
REG. NO. F-52, 3054 S. ALAMEDA STREET,
CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 01/02/20
COMP. NO.: PLAT-SHE.DWG
JOB NO.: 18068
SCALE: AS SHOWN
PLOT SCALE: 1" = 60'
SHEET 2 OF 6

PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D.R., A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29, SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139, ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX, MPH DEVELOPMENT, LP

CONTINUED SHEET 5

STATE OF TEXAS §
 COUNTY OF NUECES §
 THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED BY THE DEPARTMENT OF DEVELOPMENT SERVICES OF THE CITY OF CORPUS CHRISTI, TEXAS

WILLIAM J. GREEN, P.E.
 DEVELOPMENT SERVICES ENGINEER

DATE

STATE OF TEXAS §
 COUNTY OF NUECES §
 THE FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS BY THE PLANNING COMMISSION.
 THIS THE ____ DAY OF ____ 20__

ERIC VILLARREAL, P.E.
 CHAIRMAN

NINA NIXON-MÉNDEZ, FAICP
 SECRETARY

STATE OF TEXAS §
 COUNTY OF NUECES §
 I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT DATED THE ____ DAY OF ____ 20__ WITH ITS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE THE ____ DAY OF ____ 20__ AT ____ O'CLOCK ____ M., AND DULY RECORDED THE ____ DAY OF ____ 20__ AT ____ O'CLOCK ____ M. IN THE MAP RECORDS OF SAID COUNTY IN VOLUME ____ PAGE ____ INSTRUMENT NUMBER ____ WITNESS MY HAND AND SEAL OF THE COUNTY COURT IN AND FOR SAID COUNTY AT OFFICE IN CORPUS CHRISTI, NUECES COUNTY, TEXAS, THE DAY AND YEAR LAST WRITTEN.

BY: _____
 DEPUTY
 KARA SANDS, CLERK
 COUNTY COURT
 NUECES COUNTY, TEXAS

PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D.R., A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29, SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139, ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX, MPH DEVELOPMENT, LP

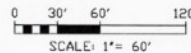
REMAINDER OF A 293.041 ACRE TRACT, DOC. NO. XXX, D.R., MPH DEVELOPMENT, L.P.

PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D.R., A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29, SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139, ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX, MPH DEVELOPMENT, LP

PLAT OF
 KING'S LANDING UNIT 1
 CORPUS CHRISTI, NUECES COUNTY, TX

BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING
 REG. NO. 1-52, 3054 S. ALAMEDA STREET,
 CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 01/02/20
 COMP. NO.: PLAT-SH3.DWG
 JOB NO.: 18068
 SCALE: AS SHOWN
 PLOT SCALE: 1" = 60'
 SHEET 3 OF 6

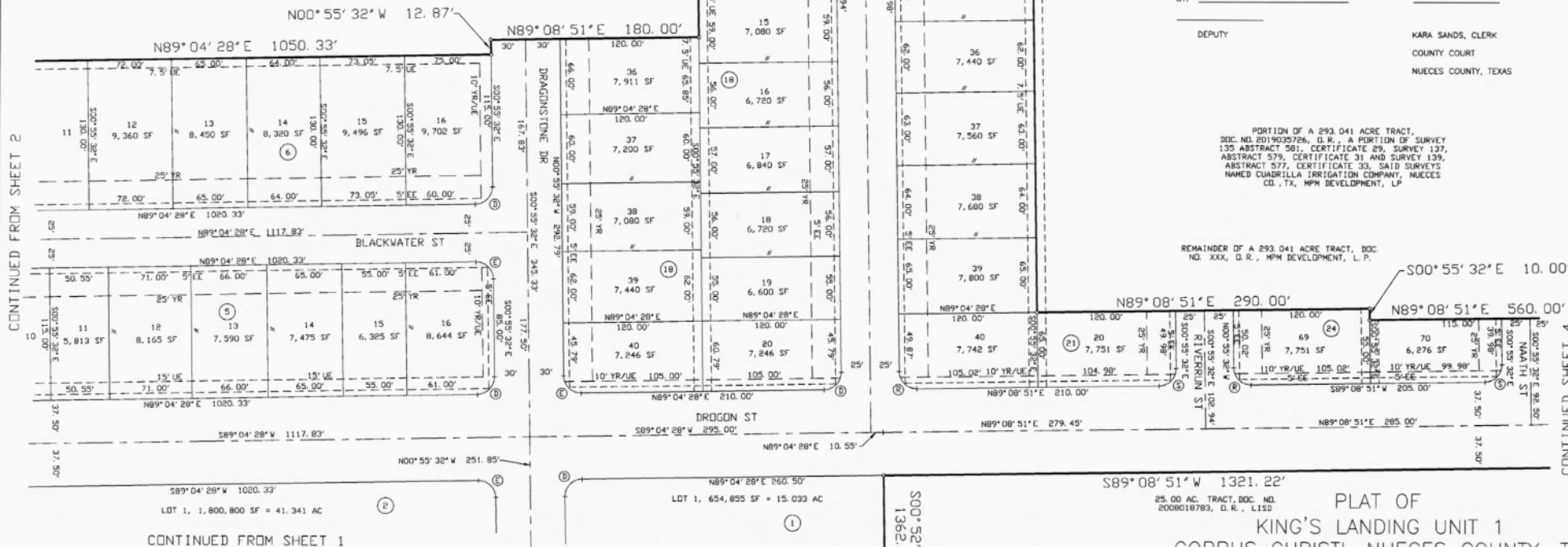


PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D.R., A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29, SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139, ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX, MPH DEVELOPMENT, LP

CURVE DATA

- | | | | |
|----------------|----------------|----------------|----------------|
| ① | ② | ③ | ④ |
| D=90°00'00" | D=90°00'00" | D=89°55'37" | D=90°04'23" |
| R=15.00' | R=15.00' | R=15.00' | R=15.00' |
| T=15.00' | T=15.00' | T=14.99' | T=15.02' |
| L=23.56' | L=23.56' | L=23.54' | L=23.58' |
| CB=N44°04'28"W | CB=N45°55'32"W | CB=N45°53'21"W | CB=N44°06'39"E |
| CH=21.21' | CH=21.21' | CH=21.20' | CH=21.23' |

CONTINUED FROM SHEET 2



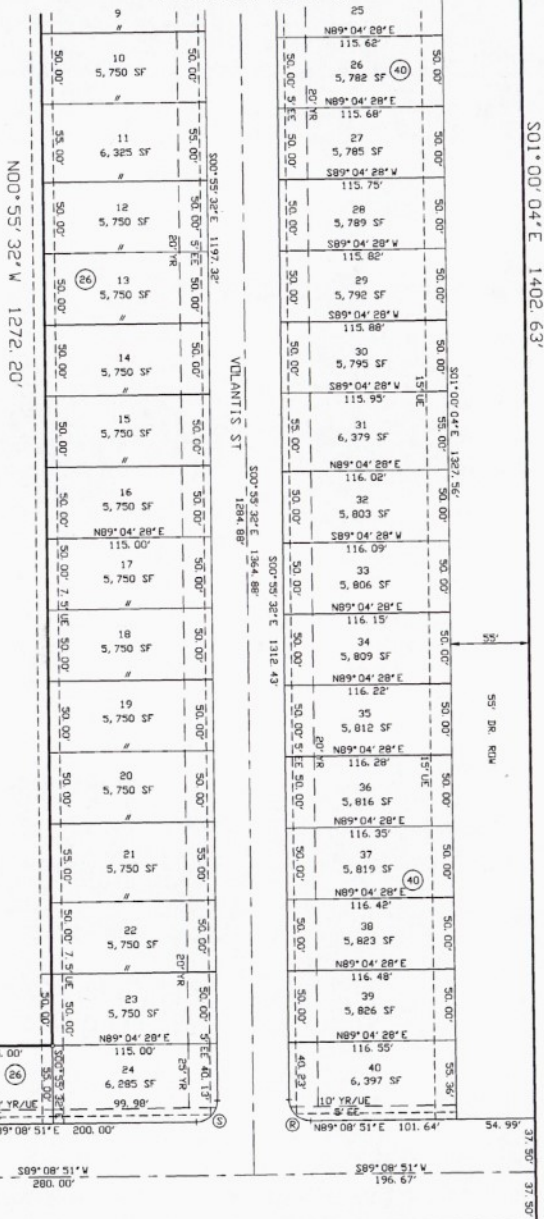
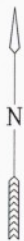
CONTINUED FROM SHEET 1

CONTINUED FROM SHEET 1

CONTINUED SHEET 4

PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D. R., A PORTION OF SURVEY 139 ABSTRACT 581, CERTIFICATE 29, SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139, ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX, MPH DEVELOPMENT, LP

CONTINUED SHEET 6



59' DR. ROW, DOC. NO. XX, D. R.

S01°00'04"E 1402.63'

118.126 ACRE TRACT 11, DOC. NO. 2015011169, D. R., BILL BROWN ET AL.

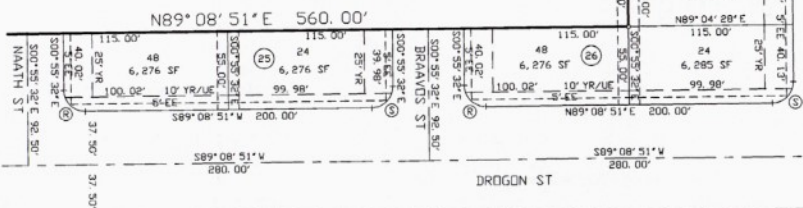
55' DR. ROW

CURVE DATA

- Ⓡ D=89°55'37" R=15.00' T=14.98' L=23.54' CB=145°53'21"W CH=21.20'
- Ⓢ D=90°04'23" R=15.00' T=15.00' L=22.38' CB=144°06'39"E CH=21.23'

PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D. R., A PORTION OF SURVEY 139 ABSTRACT 581, CERTIFICATE 29, SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139, ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA IRRIGATION COMPANY, NUECES CO., TX, MPH DEVELOPMENT, LP

CONTINUED FROM SHEET 3



S89°08'51"W 1321.22'

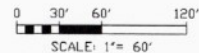
25.00 AC. TRACT, DOC. NO. 2008018783, D. R., L1SD

20.00 AC. TRACT, DOC. NO. 2005027456, D. R., LONDON IND. SCH. DIST.

PLAT OF
KING'S LANDING UNIT 1
CORPUS CHRISTI, NUECES COUNTY, TX

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING
REG. NO. T-52, 3054 S. ALAMEDA STREET,
CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 01/02/20
CIMP. NO. PLAT-SH4.DWG
JOB NO. 19068
SCALE: AS SHOWN
PLOT SCALE: 1" = 60'
SHEET 4 OF 6

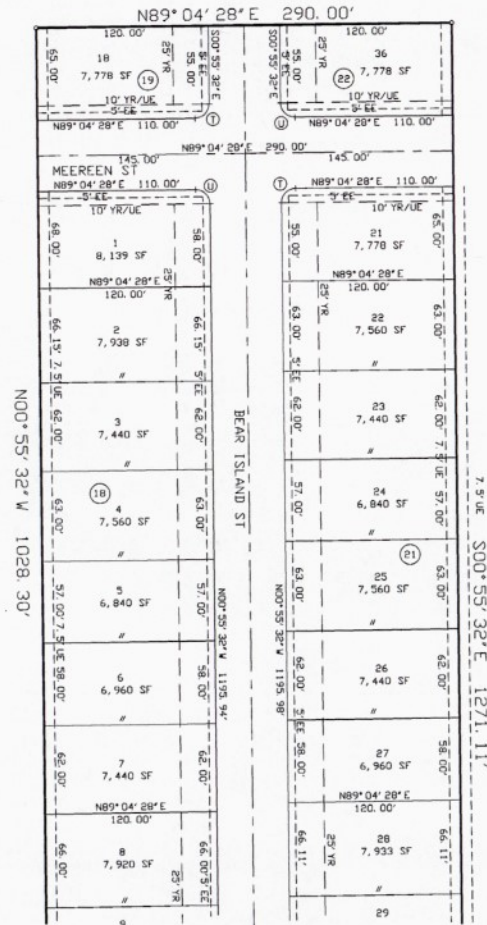


PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D. R.,
 A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29,
 SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA
 IRRIGATION COMPANY, NUECES CO., TX, MPM DEVELOPMENT, LP

CURVE DATA

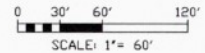
Ⓐ	Ⓑ
S=90° 00' 00"	D=90° 00' 00"
R=10.00'	R=10.00'
T=10.00'	T=10.00'
L=15.71'	L=15.71'
CB=344° 04' 28" V	CB=44° 55' 32" V
CH=14.14'	CH=14.14'

PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D. R.,
 A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29,
 SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA
 IRRIGATION COMPANY, NUECES CO., TX, MPM DEVELOPMENT, LP



CONTINUED FROM SHEET 3

PORTION OF A 293.041 ACRE TRACT, DOC. NO. 2019035726, D. R.,
 A PORTION OF SURVEY 135 ABSTRACT 581, CERTIFICATE 29,
 SURVEY 137, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS NAMED CUADRILLA
 IRRIGATION COMPANY, NUECES CO., TX, MPM DEVELOPMENT, LP



PLAT OF
 KING'S LANDING UNIT 1
 CORPUS CHRISTI, NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING
 REG. NO. F-52, 3054 S. ALAMEDA STREET,
 CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 01/22/20
 COMP. NO.: PLAT-SHS.DWG
 JOB NO.: 18068
 SCALE: AS SHOWN
 PLOT SCALE: 1" = 60'
 SHEET 5 OF 6



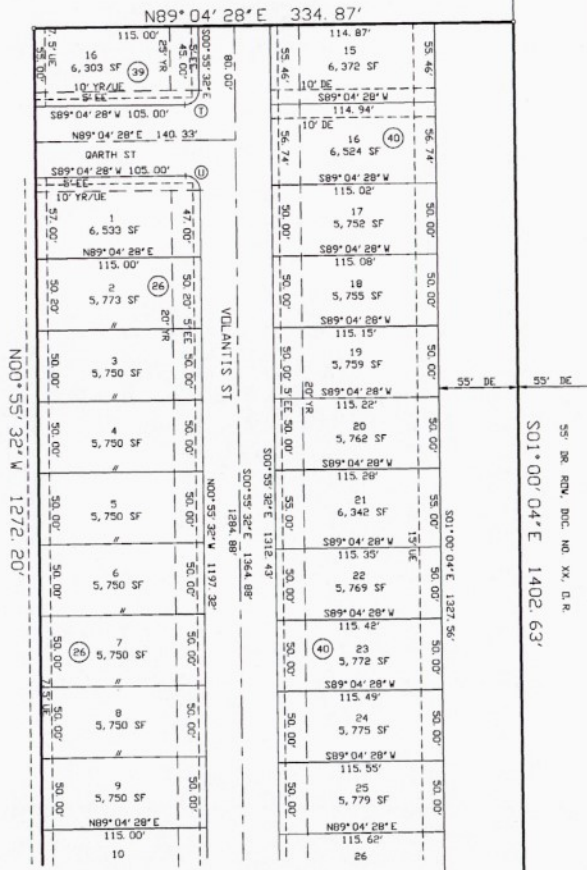
PORTION OF A 293.041 ACRE TRACT,
 DOC. NO. 2019035726, D. R., A PORTION OF SURVEY
 135 ABSTRACT 581, CERTIFICATE 29, SURVEY 137,
 ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS
 NAMED CUADRILLA IRRIGATION COMPANY, NUECES
 CO., TX, MPM DEVELOPMENT, LP

CURVE DATA

① S=90°00'00" D=90°00'00"
 R=10.00' T=10.00'
 L=15.71'
 CB=54°04'28"W CH=14.14'

② S=90°00'00" D=90°00'00"
 R=10.00' T=10.00'
 L=15.71'
 CB=44°55'32"W CH=14.14'

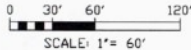
PORTION OF A 293.041 ACRE TRACT,
 DOC. NO. 2019035726, D. R., A PORTION OF SURVEY
 135 ABSTRACT 581, CERTIFICATE 29, SURVEY 137,
 ABSTRACT 579, CERTIFICATE 31 AND SURVEY 139,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS
 NAMED CUADRILLA IRRIGATION COMPANY, NUECES
 CO., TX, MPM DEVELOPMENT, LP



CONTINUED FROM SHEET 4

118.126 ACRE TRACT 11, DOC. NO.
 2015011165, D. R., BILL BROWN ET AL.

55' BE
 55' BE
 501.00' 04' E 1402.63'



PLAT OF
 KING'S LANDING UNIT 1
 CORPUS CHRISTI, NUECES COUNTY, TEXAS

BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING
 REG. NO. F-52, 3054 S. ALAMEDA STREET,
 CORPUS CHRISTI, TEXAS 78404

DATE PLOTTED: 01/02/20
 COMP. NO.: PLAT-SHG.DWG
 JOB NO.: 18066
 SCALE: AS SHOWN
 PLOT SCALE: 1" = 60'
 SHEET 6 OF 6

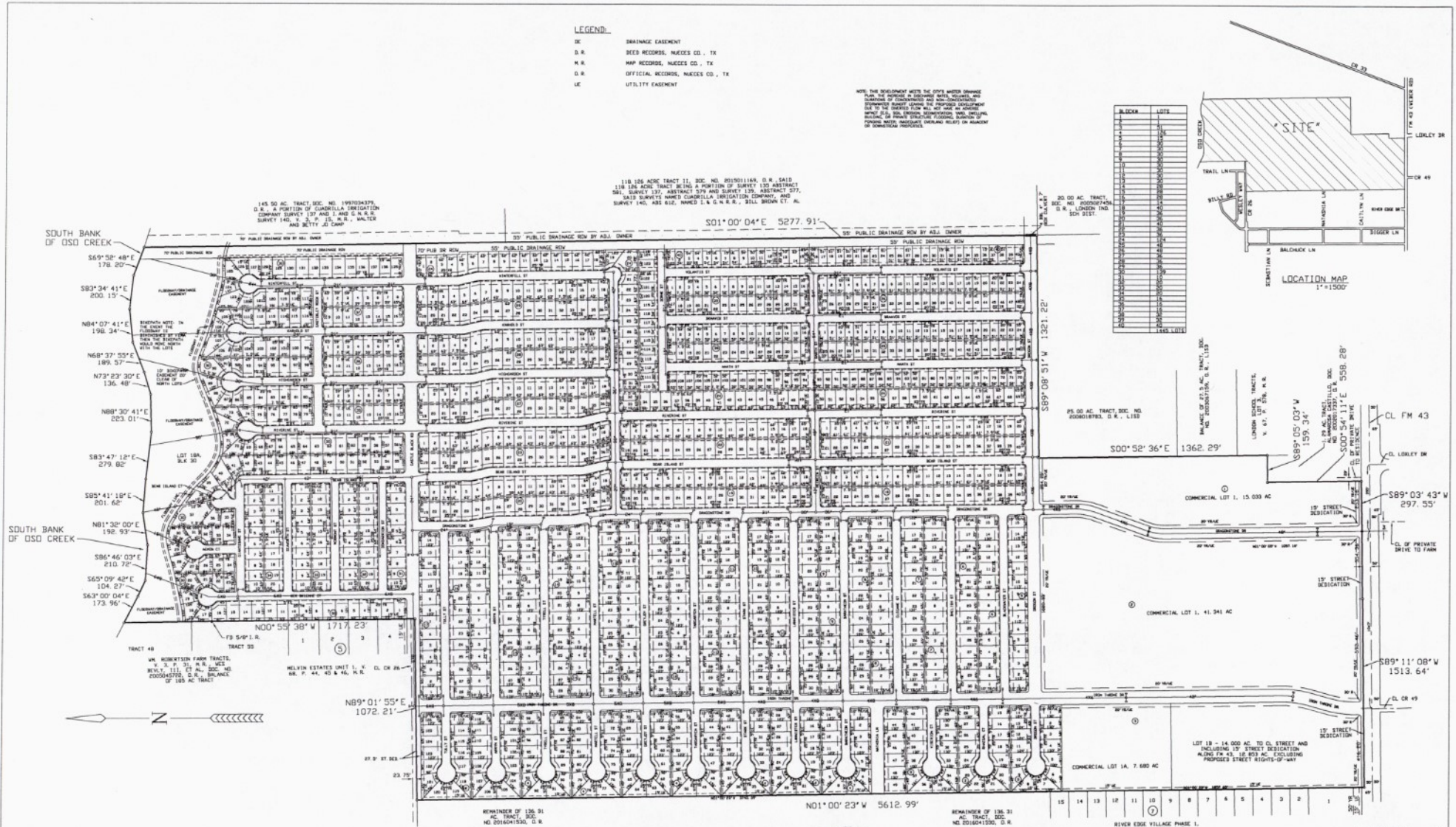
LEGEND

- DE DRAINAGE EASEMENT
- D.R. DEED RECORDS, NACES CO., TX
- M.R. MAP RECORDS, NACES CO., TX
- O.R. OFFICIAL RECORDS, NACES CO., TX
- UE UTILITY EASEMENT

NOTE: THIS INSTRUMENT MEETS THE CITY'S WATER DRAINAGE PLAN AND SPECIAL DRAINAGE AREA REQUIREMENTS AND IS SUBMITTED HEREIN FOR THE PURPOSES OF RECORDING. THE ENGINEER HAS REVIEWED THE DRAINAGE PLAN AND HAS DETERMINED THAT THE DRAINAGE PLAN IS IN ACCORDANCE WITH THE CITY'S WATER DRAINAGE PLAN AND SPECIAL DRAINAGE AREA REQUIREMENTS. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAINAGE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAINAGE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

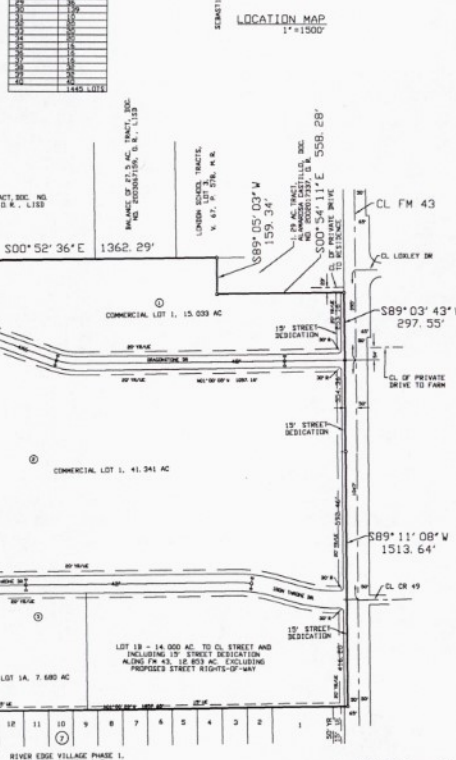
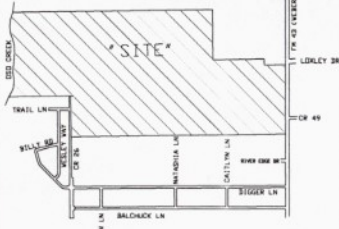
118.08 AC TRACT 11, SEC. 04, N. 30.00' E. 118.08' S. 118.08 AC TRACT BEING A PORTION OF SURVEY 130 ABSTRACT 271, SURVEY 130, ABSTRACT 271 AND SURVEY 130, ABSTRACT 271, SAID SURVEYS NAMED CHANDRELLA IRRIGATION COMPANY, AND SURVEY 140, 488 412, NAMED S.W. & S.E. BILL BROWN ET AL.

145.00 AC TRACT, SEC. 04, N. 30.00' E. 145.00' S. 145.00 AC TRACT BEING A PORTION OF SURVEY 130 ABSTRACT 271, SURVEY 130, ABSTRACT 271 AND SURVEY 130, ABSTRACT 271, SAID SURVEYS NAMED CHANDRELLA IRRIGATION COMPANY, AND SURVEY 140, 488 412, NAMED S.W. & S.E. BILL BROWN ET AL.



B-SICKER LOTS

1	145.00
2	145.00
3	145.00
4	145.00
5	145.00
6	145.00
7	145.00
8	145.00
9	145.00
10	145.00
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97	145.00
98	145.00
99	145.00
100	145.00



- DRAWN**
- THE WILLIAM CARL HENSON TRUST WILLIAM CARL HENSON, TRUSTEE 2007 HOLLY ROAD, FARMERSBURG, TX 77625, 713-414-7710
 - ANNA BELLE HENSON, 1009 PEEDEEN PLACE, CORPUS CHRISTI, TX 78411, 361-444-5500
 - METTA HENSON HENSON, 1009 PEEDEEN PLACE, KILLEEN, TX 76249, 254-482-9519
 - CORPUS CHRISTI COMMUNITY CHURCH, 4822 SANANTONIO BLVD WICHU CORPUS CHRISTI, TX 78413, SCOTT McCOMBS 361-403-0025, ALDO JAMES G. BROWN, 422 E FM 400, ROBERTSON, TX 78406, 361-877-3890
 - W.M. WICKELMANN, 1010 W. 200 33008, CORPUS CHRISTI, TX 78403, 774-3682



44.446 AC TRACT OF LAND, MORE OR LESS, AND CONSISTING OF TRACT 1, A 293.041 ACRE TRACT OF LAND DESCRIBED BY DEED, SEC. 04, N. 30.00' E. 118.08' S. 118.08 AC TRACT BEING A PORTION OF SURVEY 130 ABSTRACT 271, SURVEY 130, ABSTRACT 271 AND SURVEY 130, ABSTRACT 271, SAID SURVEYS NAMED CHANDRELLA IRRIGATION COMPANY, AND SURVEY 140, 488 412, NAMED S.W. & S.E. BILL BROWN ET AL.

TRACT 2, A 10.08 AC TRACT OF LAND DESCRIBED BY DEED, SEC. 04, N. 30.00' E. 118.08' S. 118.08 AC TRACT BEING A PORTION OF SURVEY 130 ABSTRACT 271, SURVEY 130, ABSTRACT 271 AND SURVEY 130, ABSTRACT 271, SAID SURVEYS NAMED CHANDRELLA IRRIGATION COMPANY, AND SURVEY 140, 488 412, NAMED S.W. & S.E. BILL BROWN ET AL.

TRACT 3, A 144.510 ACRE TRACT OF LAND, BEING CALLED 144.50 AC FIRST TRACT, SEC. 04, N. 30.00' E. 118.08' S. 118.08 AC TRACT BEING A PORTION OF SURVEY 130 ABSTRACT 271, SURVEY 130, ABSTRACT 271 AND SURVEY 130, ABSTRACT 271, SAID SURVEYS NAMED CHANDRELLA IRRIGATION COMPANY, AND SURVEY 140, 488 412, NAMED S.W. & S.E. BILL BROWN ET AL.

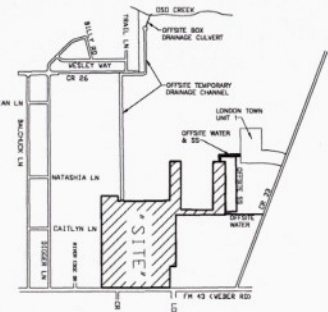
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF NIXON M. WELSH, P.E. NO. 26240 OF BASS AND WELSH ENGINEERING, P.C. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

BASS & WELSH ENGINEERING
 TX SURVEY REG. NO 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMODA STREET, CORPUS CHRISTI, TEXAS 78404

SWQMP
KING'S LANDING

DATE	12/28/18	SHEET	1 OF 1
APP. ROAD	1" = 200'	CON. NO.	SWQMP
SCALE	AS SHOWN	JOB NO.	18088
DATE PLOTTED	12/28/18		

PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1, CORPUS CHRISTI, NUECES COUNTY, TEXAS



CITY STANDARD SPECIFICATIONS

THE FOLLOWING CITY OF CORPUS CHRISTI STANDARD SPECIFICATIONS OF WHICH CAN BE OBTAINED FROM THE CITY OF CORPUS CHRISTI WATER UTILITIES DEPARTMENT (WWW.CORPUSCHRISTI.GOV/WWW/ENGINEERING) SHALL BE UTILIZED FOR THIS PROJECT UNLESS OTHERWISE SPECIFIED. SHALL BE THE CITY OF CORPUS CHRISTI STANDARD SPECIFICATIONS PRIOR TO THE WORK AND PRIOR TO CONSTRUCTION OF THE WORK, THE WORD "ENGINEER" AS USED IN THIS CITY STANDARD SPECIFICATIONS SHALL REFER TO BASS AND WELSH ENGINEERING.

021202	SITE CLEARING AND STRIPPING
021300	SOIL REMOVAL
021301	EXCAVATION AND BACKFILL FOR UTILITIES
021302	CORING OF EXISTING MAINS
021303	CORING OF GROUND WATER
021304	STREET RECONSTRUCTION
021305	CHANNEL CONSTRUCTION
021306	CHANNEL RECONSTRUCTION
021307	SELECT MATERIAL
021308	SOIL STABILIZATION
021309	CONCRETE LININGS/FLEXIBLE BASE
021310	ASBESTOS, SOIL AND GASEOUS
021311	PILE CAPS
021312	HOT MIX ASPHALT CONCRETE PAVEMENT
021313	CONCRETE CURB AND GUTTER
021314	CONCRETE SIDEWALKS AND DRIVEWAYS
021315	CONCRETE CURB SLEEVES
021316	TEMPERATURE TRAFFIC CONTROL DURING CONSTRUCTION
021317	WALKER LINE HESHER ASSEMBLIES
021318	HYDROSTATIC TESTING OF PRESSURE SYSTEMS
021319	TAPPING SLEEVES AND TAPPING VALVES
021320	DUCTILE IRON PIPE AND FITTINGS
021321	PVC PIPE - 8" MIN. CSD/CSOS PRESSURE PIPE FOR MANHOLE
021322	WATER MAINS AND WATER FORCE MAINS
021323	WATER SERVICE LINES
021324	SALE VALVES FOR WATER LINES
021325	FIRE HYDRANTS
021326	MANHOLES
021327	VACUUM TESTING OF WASTE WATER MANHOLES AND STRUCTURES
021328	HYDROSTATIC MANHOLES
021329	REINFORCED CONCRETE PIPE CULVERTS
021330	CONCRETE BOX CULVERTS
021331	CERAMIC WATER MAIN LINES
021332	WASTE WATER SERVICE LINES
021333	SEWERS
021334	PORTLAND CEMENT CONCRETE
021335	REINFORCING STEEL
021336	CONCRETE STRUCTURES
021337	FRAMES, GRATES, RINGS AND COVERS

LEGEND - EXISTING FACILITIES AND APPURTENANCES

A	ASPHALT PAVEMENT
B	BACK OF CURB TO BACK OF CURB
CL	CENTERLINE
CR 26	6" R/C CURB AND GUTTER
CR 24	4" R/C WALK
D.P.	DRAINAGE EASEMENT
ED	EDGE OF PAVEMENT
M.R.	MAP RECORDS
18" RCP	18" REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY LINE
N/W	NOISE WALL
8" S	8" SANITARY SEWER LINE
U.E.	UTILITY EASEMENT
W	WATER LINE
Y.R.	YIELD REQUIREMENT
SPOT	SPOT ELEVATION POINT OF "3"

LEGEND - PROPOSED FACILITIES AND APPURTENANCES

RCF	REINFORCED CONCRETE PIPE
RF	RIGHT
S	SLOPE
5 + 0.28	LONGITUDINAL SLOPE
SS	SANITARY SEWER
SSP	SEMI-ADJUSTABLE SLOPE
SSP	SANITARY SEWER MANHOLE
SSP	SANITARY SEWER SERVICE (PIPE & FITTINGS, 4" AND 6")
STL	STREET LIGHT LOCATION
STL	STOP SIGN
TC	TOP OF CURB
TW	TOP OF WALK
I	WATER VALVE SYMBOL
PC	POINT OF CURVATURE (BEGINNING OF CURVE)
R/TSCP	RADIUS POINT OF CURVATURE
PT	POINT OF TANGENCY (END OF CURVE)
R/C	REINFORCED PORTLAND CEMENT CONCRETE

PAVING, GRADING, AND DRAINAGE NOTES

1. ALL PROPOSED CONCRETE MAINS AND THE 2" STRIP OUTER LIMIT OF CONCRETE PAVING (POCP) ARE SHOWN FENCED (SHADES) ALL SHEETS SHALL BE POCP (R/C) WITH INTERLOCKING JOINTS. NO ASPHALT PATCHES NOR 2" WIDE CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED.

2. PRIOR TO ANY EARTHWORK, ALL TREES, VEGETATION, ORGANIC MATERIAL AND ANY VOLATILE SUBSTANCES SHALL BE REMOVED FROM THE ENTIRE PROJECT SITE EXCEPT TREES 8" DIAMETER AND LARGER OUTSIDE OF PROPOSED STREET PAVING SHALL BE LEFT IN PLACE UNHARMED AFTER REMOVAL OF ALL VEGETATION, ORGANIC MATERIAL, VOLATILE SUBSTANCES, APPROXIMATE TREES, ETC. - CONTRACTOR MAY BEGIN EARTHWORK CUT AND FILL OPERATIONS FOR LOT GRADING AND EARTHWORK ASSOCIATED WITH STREETS.

3. CONTRACTOR SHALL PERFORM ALL ROUGH EARTHWORK (FILLING, GRADING, HAULING, CUTTING, LOADING, ETC.) TO VERIFY QUANTITIES AND QUANTITIES OF MATERIAL TO BE SHOWN ON THIS SHEET SHALL BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY THE QUANTITIES SHOWN ON THIS SHEET WITH THE OWNER'S QUANTITIES AFTER HE HAS RECEIVED ENGINEER'S PERMISSION. SHOULD THERE NOT BE AVAILABLE DATA TO VERIFY QUANTITIES AS SHOWN (NO SEPARATE DATA), AFTER COMPLETION OF ROUGH GRADING AND AFTER COMPLETION OF STREET DRAINAGE, SANITARY SEWER AND WATER IMPROVEMENTS, THE CONTRACTOR SHALL PROVIDE ALL FINAL/FRESH GRADING TO ACHIEVE GRADES AS SHOWN, THIS INCLUDES BACKFILL OF EXISTING DITCH.

4. CONCRETE BOX CULVERTS SHALL BE MADE OF CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. CONCRETE STREETS SHALL BE MADE OF CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. ALL CONCRETE OTHER THAN THAT FOR STREET PAVING OR BOX CULVERTS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, ALL TESTS REPAIRING SHALL BE MADE AND (100% PSI YIELD STRENGTH) AS SHOWN WITH NEW # 4'S.

5. REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS B, STANDARD STRENGTH, STORM SEWER MANHOLES SHALL BE PRE-CAST CONCRETE.

6. ALL 8" DIA. SANITARY SEWER AND STORM SEWER STATIONS ARE MESSAGES ALONG THE CENTERLINE OF STREETS.

7. LINEARLY INTERPOLATE BETWEEN GRADES AS SHOWN TO DETERMINE A PROPOSED GRADE AT ANY PARTICULAR POINT.

8. CURB AND GUTTER ALIGNMENT SHALL PARALLEL ADJACENT RIGHT-OF-WAY LINES EXCEPT WHERE INDICATED OTHERWISE.

9. CURB AND GUTTER TO BE CONSTRUCTED 11" R/W BACK OF CURB TO PROPERTY LINES FOR 50' STREET RIGHT-OF-WAY; 10" R/W TO BE PROVIDED FOR 40' RIGHT-OF-WAY STREETS AND 12.5" R/W TO PROPERTY LINES FOR 75' STREET RIGHTS OF WAY.

10. CONTRACTOR SHALL PROVIDE CURB RAMP AT ALL STREET INTERSECTIONS AND AS SHOWN AND ACCORDING TO CITY CURB RAMP DETAILS. CURB RAMP SHALL BE CONSTRUCTED AS SHOWN AND SHALL NOT BE SLOPED HOT EXCEEDING 1" PER FOOT LONGITUDINAL, AND 1/8" TRANSVERSE AND SHALL MEET ALL APPLICABLE GOVERNMENTAL, FEDERAL, AND STATE REQUIREMENTS FOR CURB RAMP. (PAY FOR CURB RAMP IN THE SQUARE FOOT PRICE OF 4" THICK R/C WALKS).

11. CONTRACTOR SHALL MEET ALL GOVERNMENTAL, ONE-CALL AND OTHER REGULATIONS WITH REGARD TO EXISTING UNDERGROUND FACILITIES AND UTILITIES.

12. NO SEPARATE PAY FOR PRIME COST (PAY FOR) IS IN THE ESTABLISHED UNIT PRICE FOR (FRAC).

13. ADA CURB RAMP - THE CITY NO LONGER ALGOS THE PAVED SURFACE AT CURB RAMP, THE CONTRACTOR SHALL INSTALL CONCRETE TREAD SURFACE AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

14. GEOTEXTILE FABRIC MATERIAL IS REQUIRED FOR WRAPPING RCP PIPE JOINTS AND SHALL MEET REQUIREMENTS OF ASTM D2688.

15. CONTRACTOR SHALL PROVIDE BACKFILL TO BE SHOWN AND PROVIDE PROCTOR DENSITY WITHIN THREE PERCENTAGE POINTS OF OPTIMUM MOISTURE.

CITY STANDARD DETAIL SHEETS

THE FOLLOWING SHEETS ARE INCLUDED HEREIN BY REFERENCE AND SHALL BE USED ON THIS PROJECT. CONTRACTOR SHALL OBTAIN THESE SHEETS FROM THE CITY OF CORPUS CHRISTI (AT WWW.ENGINEERING.COM/CORPUSCHRISTI/DETAILS) FOR BIDDING AND CONSTRUCTION PURPOSES.

STANDARD WATER DETAILS, 4 SHEETS
STORM WATER STANDARD DETAILS, 3 SHEETS
STORM WATER PREVENTION, 3 SHEETS
CURB, GUTTER AND SIDEWALK STANDARD DETAILS, 1 SHEET
PEDESTRIAN CURB RAMP STANDARD DETAILS, 4 SHEETS

TRAFFIC CONTROL AND STREET LIGHT FEES

- CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL AND IMPROVING PLAN AND SUBMIT IT TO THE CITY TRAFFIC ENGINEERING DEPARTMENT FOR APPROVAL AND SHALL SO NO WORK SHALL BE BEGUN WITHOUT APPROVAL FROM THE CITY OF SAID PLAN. ALL TRAFFIC CONTROL AND IMPROVING SHALL BE ACCOMPANIED BY SAID PLAN.
- R.O.W. PERMITS ARE REQUIRED PRIOR TO STARTING WORK IN ANY PUBLIC STREET RIGHT-OF-WAY. THE CONTRACTOR SHALL COMPLY WITH ALL CITY TRAFFIC ENGINEERING DEPARTMENT APPROVALS (PERMITS, TRAFFIC CONTROL PLAN, FEES, ETC.).
- STREET LIGHT FEES SHALL BE PAID BY THE DEVELOPER TO THE CITY (NOT BY CONTRACTOR).

WATER NOTES

- NO SEPARATE PAY FOR TIE-IN BLOCKS NOR RESTRAINED JOINTS IN PIPE OR FITTINGS IN PROPOSED 6", 8", 12" AND 18" PVC WATER LINES. CONTRACTOR SHALL INSURE ALL WATER FITTINGS ARE RESTRAINED OR BLOCKED APPROPRIATELY.
- SET ALL WATER VALVES OUTSIDE PUBLIC STREET PAVING. PROVIDE CAST IRON BODIES AND PVC PIPE EXTENDING WITH CONCRETE AT DATE VALVES PURSUANT TO CITY STANDARD WATER DETAILS.
- CONTRACTOR WATER RISERS AT END CANS ON PIPES AND 2" BLOW-OFF VALVES FOR FILING AND TESTING PURPOSES PURSUANT TO DETAILS AS SHOWN IN CITY STANDARD WATER DETAILS.
- CONTRACTOR WATER SERVICE LINES AND CONNECTIONS PURSUANT TO THE NOTES AND DETAILS AS SHOWN IN CITY STANDARD WATER DETAILS.
- ALL WATER MAINS 6" AND LARGER SHALL BE DRIP PVC WITH DUCTILE IRON MECHANICAL JOINT FITTINGS.
- PROVIDE MINIMUM CLEARANCE BETWEEN WATER AND SANITARY SEWER LINES AND/OR MANHOLES AS REQUIRED BY THE TEXAS ADMINISTRATIVE CODE 311-5. APPROXIM. "1" SEPARATION DISTANCE (AS REQUIRED BY TEXAS STATE WATER PROVISION FOR WATER LINES SHALL BE: 8" MIN. C-300, CLASS 150, WITH A 3" R/W. FIRE HYDRANTS WILL BE LOCKED ONTO VALVE IF REPLACE OF BLOWER IS ON OFF.
- ALL WATER SERVICE LINES SHALL BE 1" DIAMETER FOR SINGLE AND DOUBLE WATER SERVICES.
- ALL PUBLIC WATER LINE CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH REQUIREMENTS SET FORTH BY THE CITY OF CORPUS CHRISTI WATER DISTRIBUTION STANDARDS, DETAILS AND PROVISIONS. PVC PIPE AND FITTINGS FOR WATER LINES SHALL BE: 8" MIN. C-300, CLASS 150, WITH A 3" R/W. FIRE HYDRANTS WILL BE LOCKED ONTO VALVE IF REPLACE OF BLOWER IS ON OFF.

STORM WATER POLLUTION PREVENTION

- PAY FOR ALL STORM WATER POLLUTION PREVENTION MEASURES, SOIL WAIVER DISPOSAL, SOIL TRENCHING, AND SEEDING, ETC. AS PART OF "STORM WATER PREVENTION".
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CITY STANDARD SPECIFICATIONS AND REGULATIONS.
- THE NPDES PERMIT CAN BE FOUND ON THE TCEQ WEB SITE AT WWW.TCEQ.TX.GOV/SDSD/STORMWATER/STORMWATER/STORMWATER150000.PDF

PLANS ARE RELEASED FOR CONSTRUCTION DEVELOPMENT SERVICES

CALL BEFORE YOU DIG City of Corpus Christi

1-800-4-A-TOUG-5111

THE LONG STAR NOTIFICATION COMPANY AT 7-800-869-8344

CONSTRUCTION SITES WILL RECEIVE 3 DAYS OF ADVANCE NOTICE BY THE CITY OF CORPUS CHRISTI (SUC 3.8.5.7 (August 2008))

GENERAL NOTES

- IF A PARTICIPATION AGREEMENT AND/OR REIMBURSEMENT ARE BEING REQUESTED BY THE DEVELOPER/ENGINEER, THEN PRIOR TO START OF CONSTRUCTION, CITY/COUNTY MUST APPROVE SAID AGREEMENT.
- THIS WORK WILL BE INSPECTED BY THE CITY'S CONSTRUCTION INSPECTION DIVISION. CONSTRUCTION INSPECTION SHOULD BE COMPLETED AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION. THE NUMBER TO CONTACT CONSTRUCTION INSPECTION IS (361) 895-1738.
- DEVELOPER/DEVELOPER'S AGENT SHALL ENSURE THAT BEST MANAGEMENT PRACTICES TO MINIMIZE EROSION AND SEDIMENTATION ARE BEING USED AND THAT ANY AND ALL TIE-IN POINTS WHERE NECESSARY HAVE BEEN ORDERED.
- DEVELOPER/DEVELOPER'S AGENT SHALL ENSURE THAT TRAFFIC CONTROL MEASURES ARE IMPLEMENTED AS NEEDED. ANY WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY'S TRAFFIC ENGINEERING DIVISION.
- ANY WORK AFFECTING TROTT RIGHT-OF-WAY REQUIRES REVIEW, APPROVAL AND/OR PERMIT AS APPLICABLE.
- ALL PUBLIC IMPROVEMENTS SHALL BE WARRANTIES BY THE DEVELOPER PER UNIFIED DEVELOPMENT CODE (UDC) SECTION 8.1.8 FROM THE DATE OF ACCEPTANCE OF THOSE IMPROVEMENTS BY THE DIRECTOR OF ENGINEERING.
- APPROVAL FOR PUBLIC IMPROVEMENTS PERTINENT TO PLACING REQUIREMENTS OF A FINAL PLAN SHALL EXPIRE IF THE FINAL PLAN IS NOT SUBMITTED TO THE CITY OF CORPUS CHRISTI WITHIN 60 MONTHS FROM THE DATE OF ITS APPROVAL. IF PLANNING COMMISSION APPROVEMENTS HAVE NOT BEEN INITIATED AND SUBSEQUENT PROGRESS CONTINUED TOWARDS COMPLETION UNLESS AN EXTENSION HAS BEEN GRANTED BY ENGINEERING SERVICES.
- APPROVAL FOR PUBLIC IMPROVEMENTS ASSOCIATED WITH A BUILDING PERMIT SHALL EXPIRE IF THE BUILDING PERMIT EXPIRES. A BUILDING PERMIT EXPIRES 180 DAYS FROM THE DATE OF ISSUANCE UNLESS AN EXTENSION HAS BEEN GRANTED BY BUILDING INSPECTIONS.
- A PERMIT IS REQUIRED FOR ANY EXCAVATION IN PUBLIC RIGHT OF WAY. EXCAVATION MEANS AN ACTIVITY THAT CUTS, DESTROYS OR MOVES UNDER AND PORTION OF THE PUBLIC WAY THAT HAS BEEN IMPROVED WITH A PAVED SURFACE FOR STREET SIDEWALK SURFACE CHANGE, OR RELATED PUBLIC UTILITIES TRANSPORTATION INFRASTRUCTURE PURPOSES. PERMITS WILL NOT BE ISSUED FOR EXCAVATION BY ANY PUBLIC WAY THAT HAS BEEN CONSTRUCTED, RECONSTRUCTED, REPAIRED, OR REPAIRED IN THE PRECEDING PERIOD OF FIVE YEARS FROM THE DATE OF ACCEPTANCE BY THE PUBLIC WORKS CONSTRUCTION BUREAU.
- ANY EXCAVATIONS ALLOWED BY THE DIRECTOR OF DEVELOPMENT SERVICES ON CONCRETE STREETS MUST BE PERFORMED IN SUCH A WAY THE ENTIRE CONCRETE PAVEMENT IS REPLACED.
- ELECTRICAL CADING PIPES SHALL BE PVC SCHEDULE 40 PIPE. SOLVENT WELD CAPED EACH END WITHOUT SOLVENT WELD AT END CAPS. CAPERS ARE FOR FUTURE ELECTRICAL UNDESIRABLE TO BE INSTALLED BY OTHERS. SIZE OF GRADING AND MANHOLES IN ACCORDANCE WITH ALL REQUIREMENTS FOR SANITARY SEWER SERVICE LINES, METAL COATING PIPES WITH A MINIMUM OF 4" OF COVER FROM FINISHED SURFACE. CONTRACTOR SHALL CONTACT OPS TO DETERMINE THE LOCATION OF EXISTING UTILITIES.
- SUBSEQUENT WORK IN THE COURSE OF FURNISHING OR CONSTRUCTING A COMPLETE WORK OR IMPROVEMENT, CERTAIN WORK MAY BE WITHHELD FROM THE WORK BEING CONSTRUCTED OR COMPLETED AS PER PERMITS. SUCH WITHHELD WORK SHALL BE SHOWN AND SPECIFIED IN DETAIL IN THE PLANS AND SPECIFICATIONS. OTHER WORK MAY BE LAID OUT PRIOR TO THE START OF CONSTRUCTION OF THE WORK AS A WHOLE MAY NOT BE NOTIFIED ON THE PLANS OR IN THE SPECIFICATIONS. IT SHALL BE THE SOLE DUTY OF THE CONTRACTOR TO CAREEN OUT ALL SUCH SUBSEQUENT WORK AS IF FULLY SHOWN AND THE COST OF SUCH WORK SHALL BE MADE SUBSEQUENT TO THE ESTABLISHED PAY PERMITS.

Digitally signed by
Jalal M.H. Ali Saleh, P.E.
DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@cctexas.com, c=US
Date: 2020.04.13
13:31:40-05'00'



DEVELOPERS:

MOSES MOSTAGHANI
P.O. BOX 331306, CORPUS CHRISTI, TEXAS 78433 774-3832
CORPUS CHRISTI COMMUNITY CHURCH
4833 SANATILGA BLVD., NO. 259
CORPUS CHRISTI, TX 78413-2213
420-0022

BASS AND WELSH ENGINEERING
TX REGISTRATION NO. F-52, 3054 S. ALAMIDA STREET
CORPUS CHRISTI, TEXAS 78404

BENCHMARKS

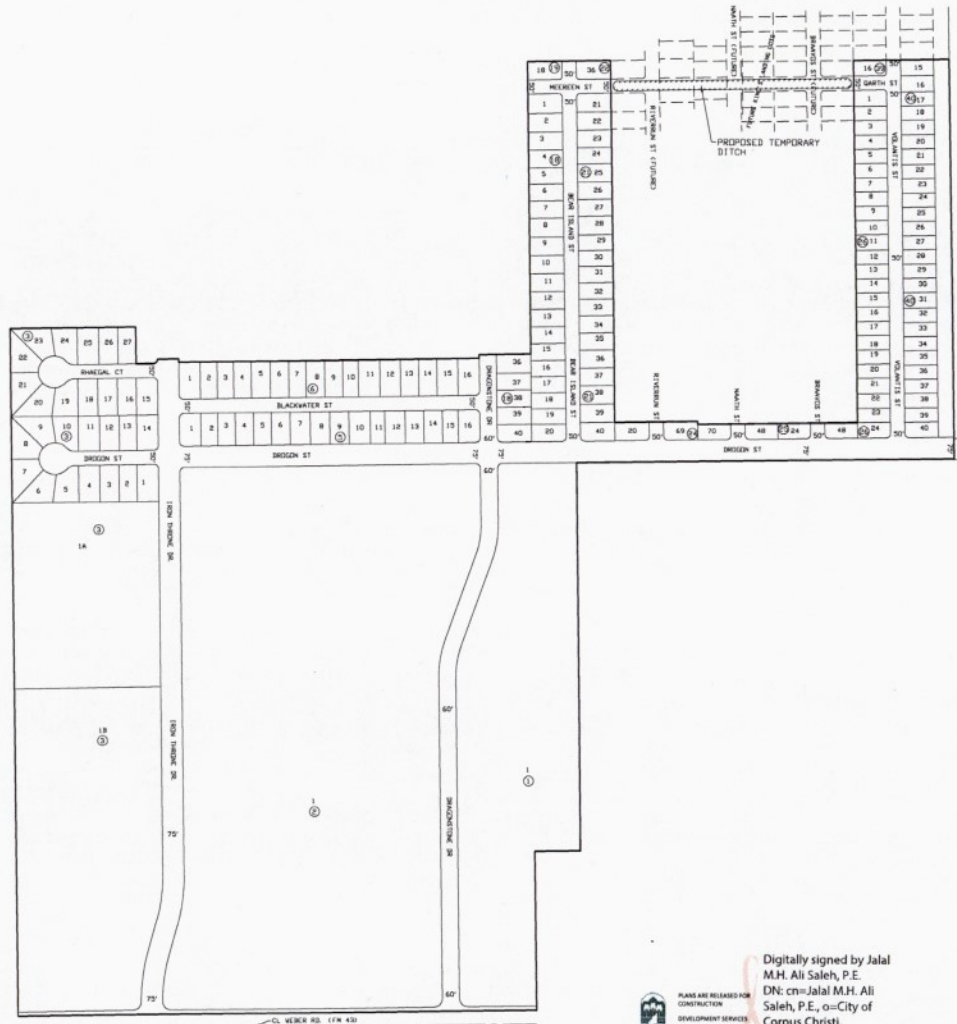
CH IN CONC HEADWALL, E.L. 28.50, REE BOTTOM SHEET 2 IN MIDDLE

TOP OF FINISH 44' 10" C
NAME: 00 - THE SEWER
SCALE: 00 - AS SHOWN
DATE PLOTTED: 04/02/2020 SHEET 1 OF 33

PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX

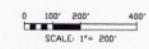
COVER SHEET AND MISCELLANEOUS INFORMATION

CONTRACT NO. 18098
JOB NO. 18098
JOB NO. 18098
JOB NO. 18098

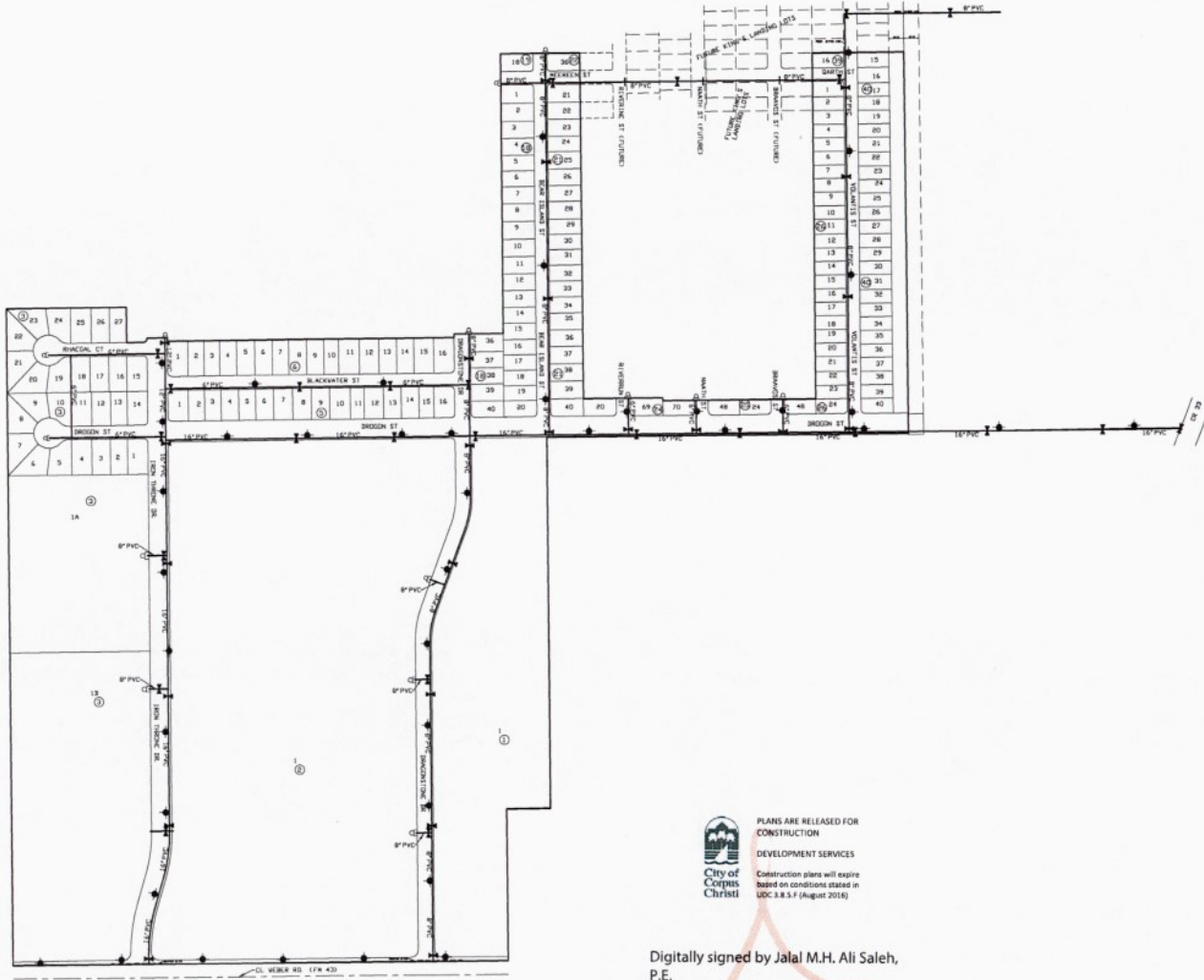


PLANS ARE RELEASED FOR CONSTRUCTION DEVELOPMENT SERVICES. Construction plans will expire. Based on conditions stated on UDC 8.8.1 (August 2008)

Digitally signed by Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@ctctexas.com, c=US
 Date: 2020.04.14 13:32:12 -05'00'



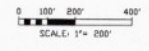
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PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX		
STREET BASE MAP		
DATE PLOTTED: 04/09/20	DATE PLOTTED: 04/09/20	DATE PLOTTED: 04/09/20
SCALE: 1" = 200'	SCALE: 1" = 200'	SCALE: 1" = 200'
COM. NO. 178-BASE.DWG	JOB NO. 13058	SHEET 1A OF 1A



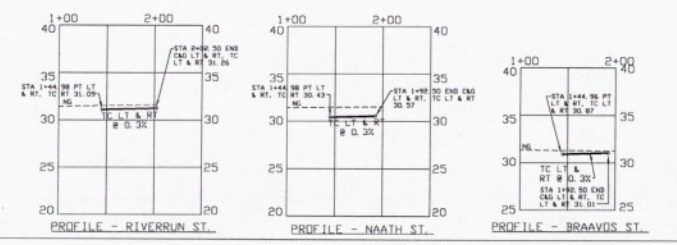
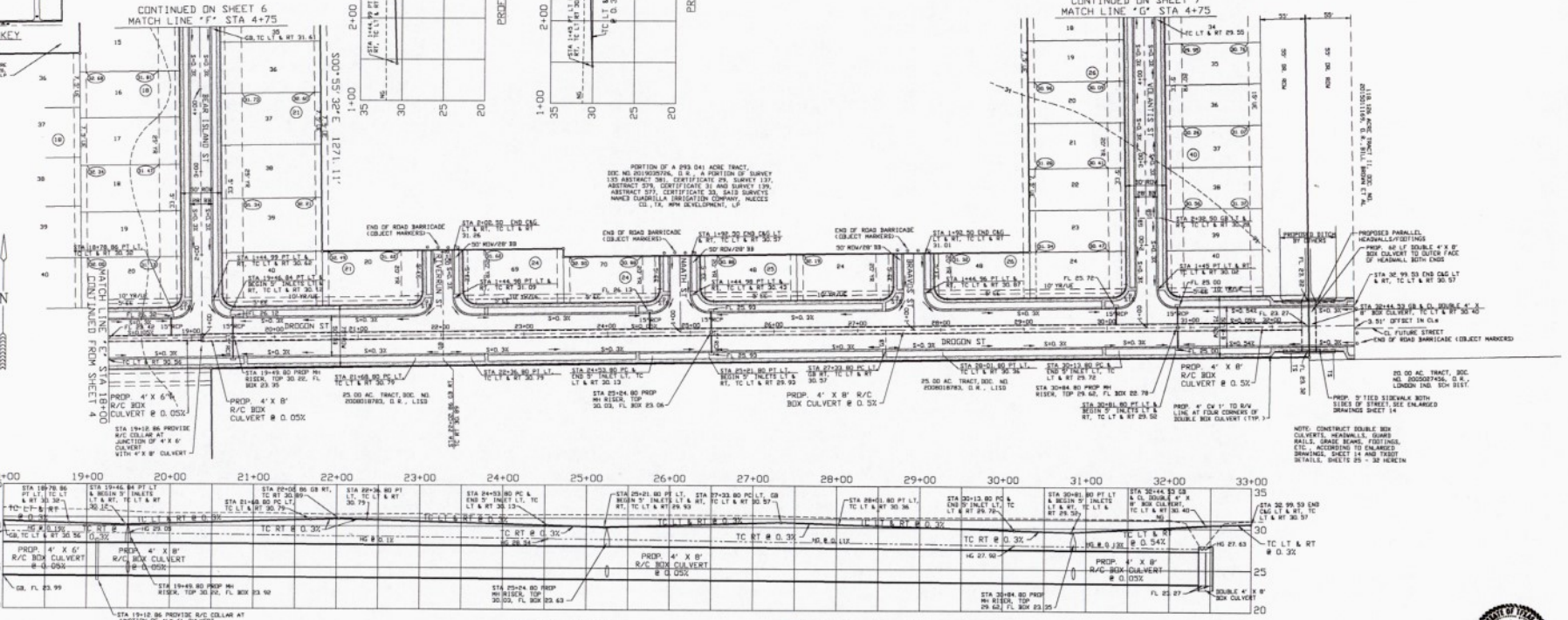
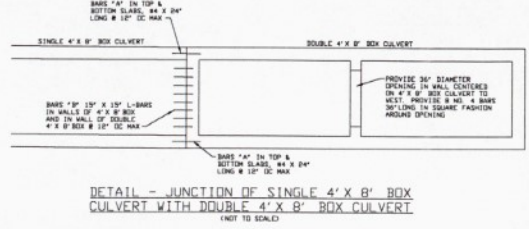
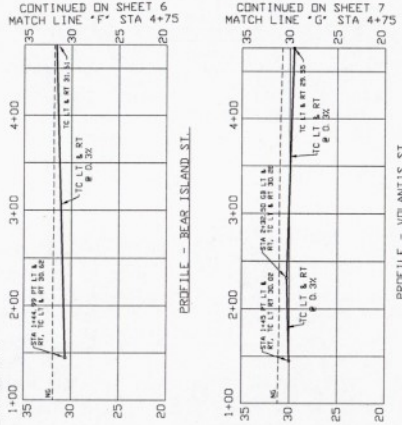
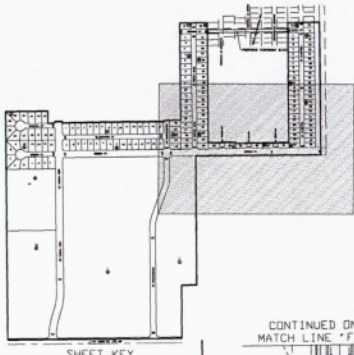
PLANS ARE RELEASED FOR
CONSTRUCTION
DEVELOPMENT SERVICES
Construction plans will expire
Based on conditions stated in
UDC-3.8.3.F (August 2016)



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P.E.
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o=City of Corpus Christi,
ou=Development Services,
email=jalals@cctexas.com, c=US
Date: 2020.04.14 13:33:02 -05'00'



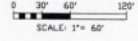
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PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX		
WATER BASE MAP		
DWG. NO.	PLSP SCALE: 1" = 300'	COM. NO. WBS-BASE.DWG
DN: H. WELSH	SCALE 00: NONE	JOB NO. 15098
	SCALE 00: NONE	SHEET 1C OF 33
	DATE PLOTTED: 04/09/20	



Digitally signed by
 Jalal M.H. Ali Saleh,
 P.E.
 DN: cn=Jalal M.H. Ali
 Saleh, P.E., o=City of
 Corpus Christi,
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 email=jalals@cctexas.com, c=US
 Date: 2020.04.14
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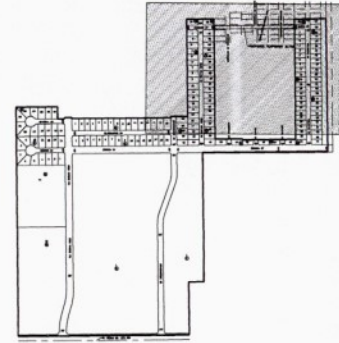
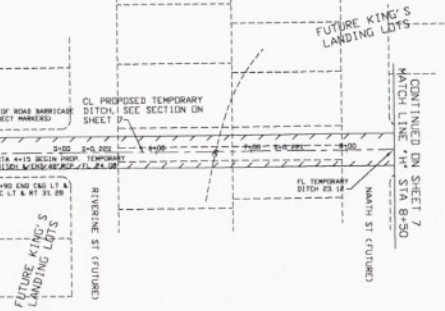
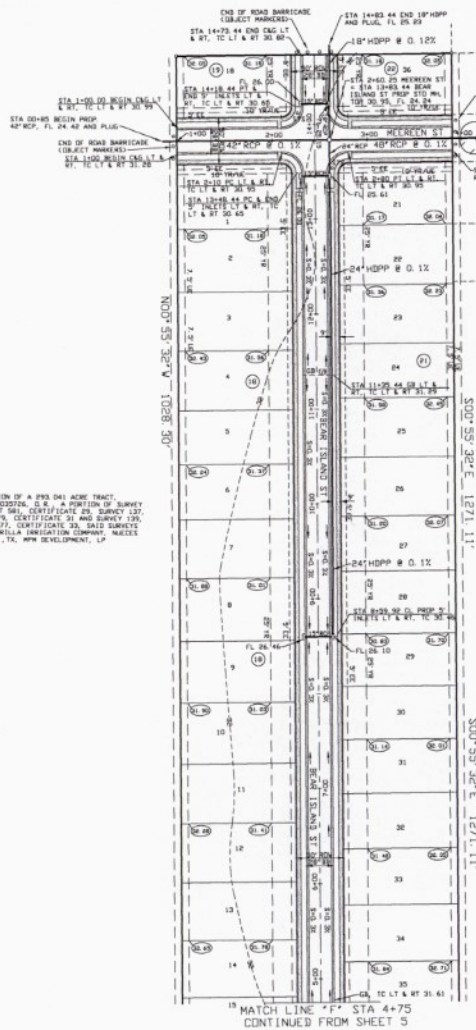


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PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX		
PAVING, GRADING AND DRAINAGE PLAN STREET AND STORM SEWER PROFILES		
DWG. NO. 11-0101 DATE PLOTTED 04/09/20	PLOT SCALE: 1" = 80' SCALE: AS SHOWN DATE PLOTTED: 04/09/20	DOW. NO. 11-0101 SHEET NO. 0101 SHEET 3 OF 33

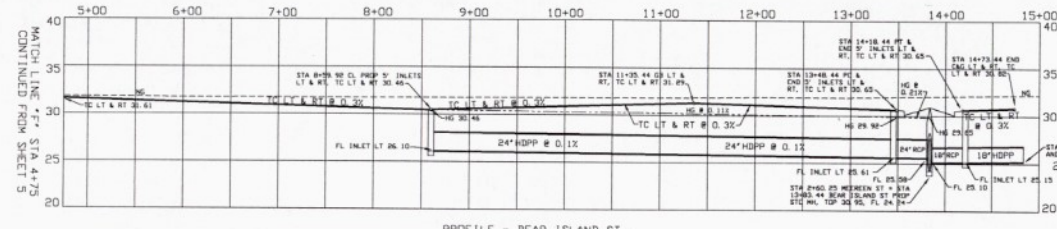




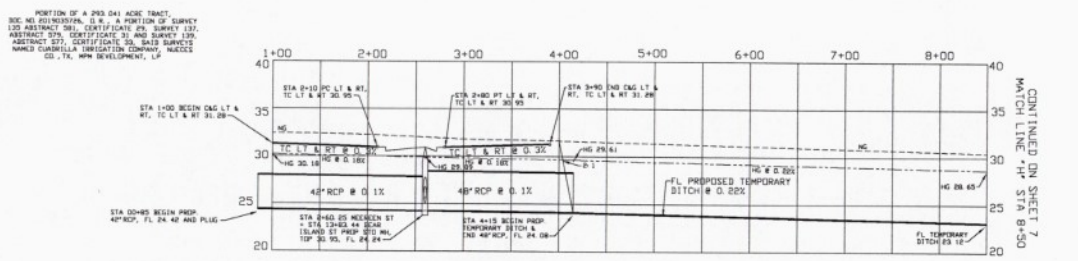
PORTION OF A 293.041 ACRE TRACT, SEC. 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



SHEET KEY



PROFILE - BEAR ISLAND ST.



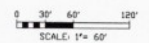
PROFILE - MEEREN ST. AND OFFSITE TEMPORARY DITCH TO EAST

Digitally signed by
 Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali
 Saleh, P.E., o=City of
 Corpus Christi,
 ou=Development
 Services,
 email=jalals@cctexas.
 com, c=US
 Date: 2020.04.14
 13:35:38 -05'00'

PLANS ARE RELEASED FOR
 CONSTRUCTION
 DEVELOPMENT SERVICES
 City of
 Corpus
 Christi
 Construction plans will expire
 based on conditions stated in
 UDC 3.8.5.F (August 2016)



BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404		
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX		
PAVING, GRADING AND DRAINAGE PLAN STREET AND STORM SEWER PROFILES		
DATE PLOTTED: 04/02/20	SCALE: 1" = 30'	DATE: 04/15/20
DATE: 04/15/20	SCALE: 1" = 30'	DATE: 04/15/20



PLAN OF 23.5 AC. TRACT, SEC. 03, T19N, R10E, S14E, CO. 10, TEXAS

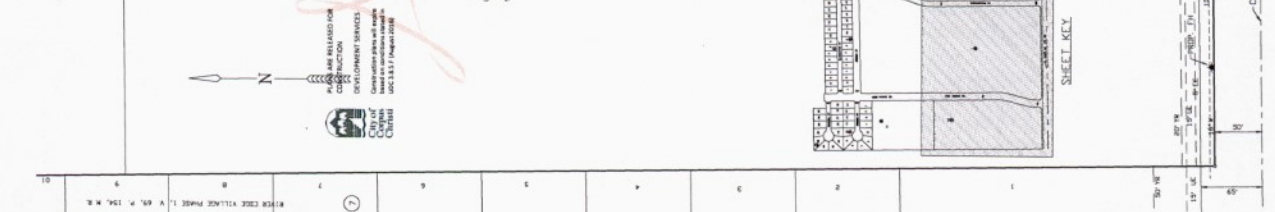
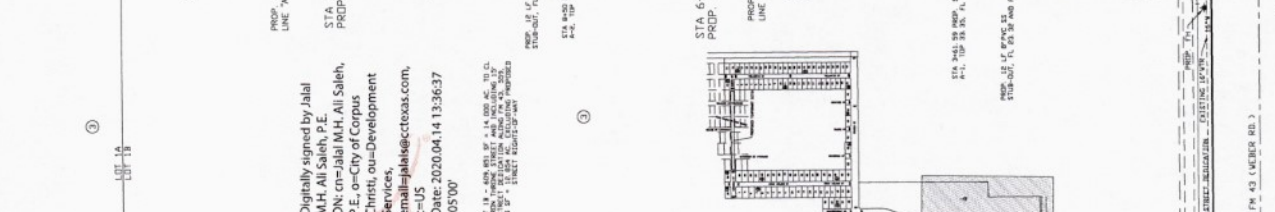
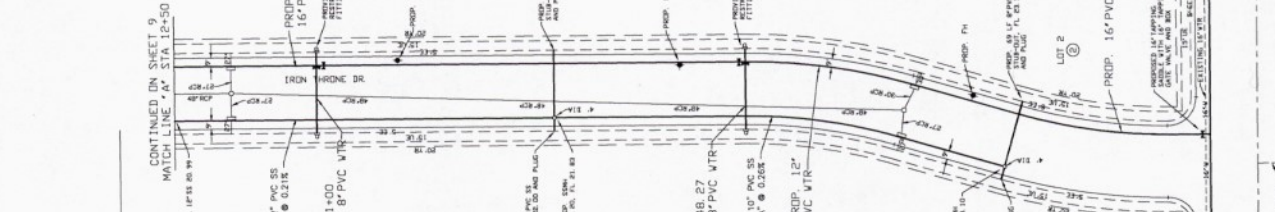
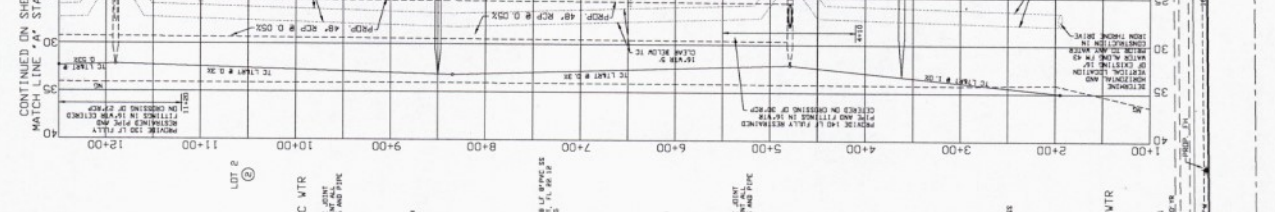
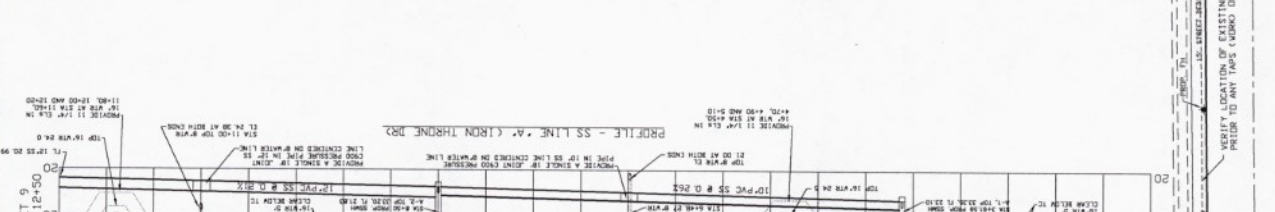
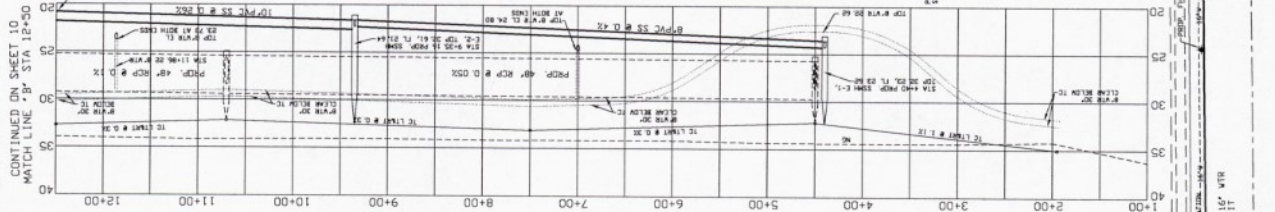
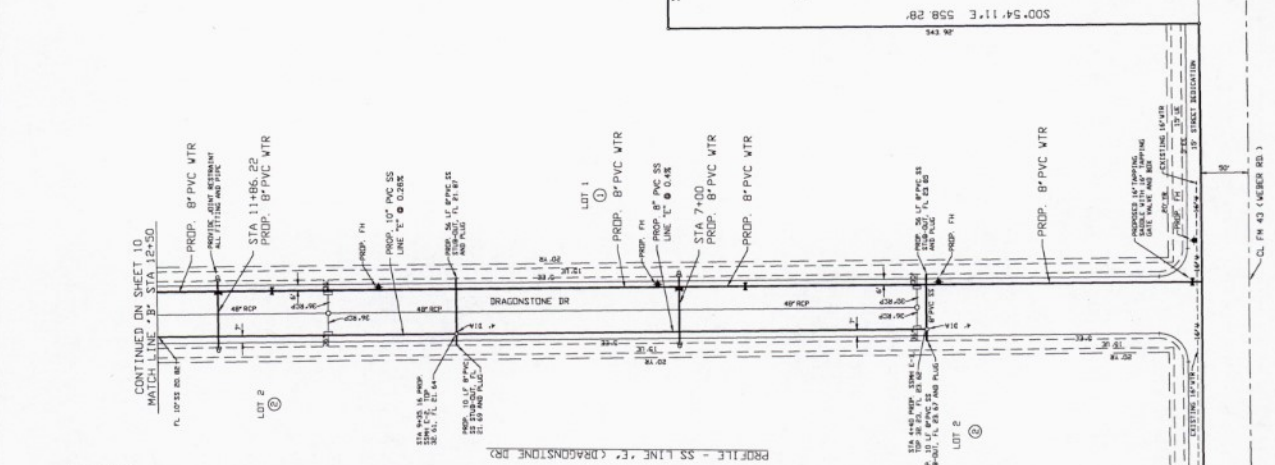


BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 10057-00 TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

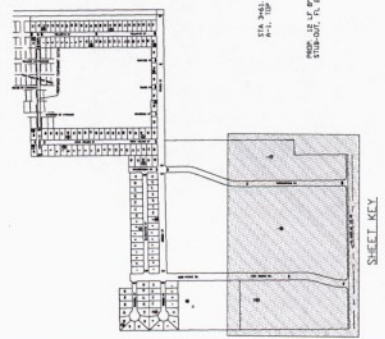
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX

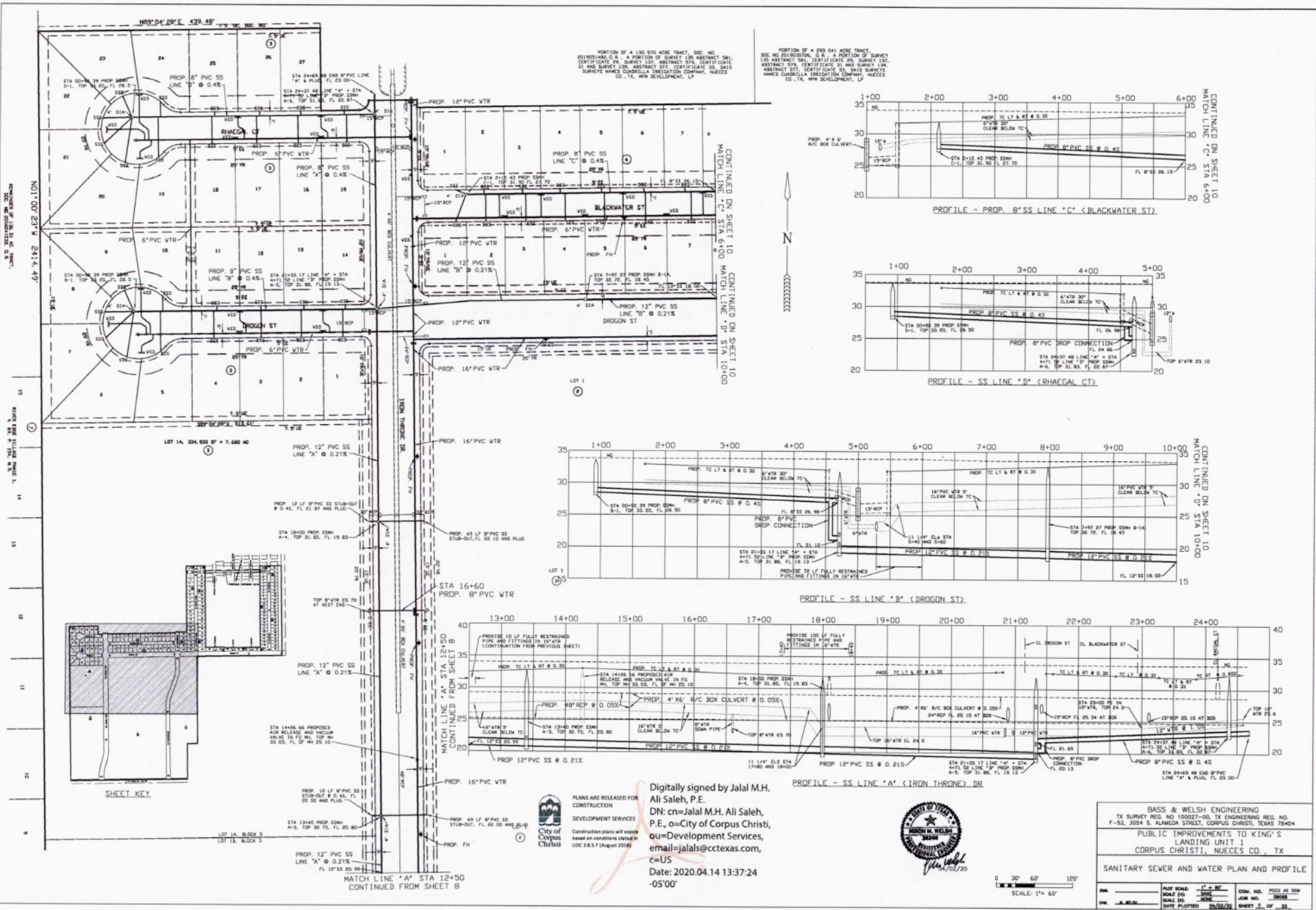
SANITARY SEWER AND WATER PLAN AND PROFILE

DATE PLOTTED: 04/22/20
 SHEET 3 OF 33



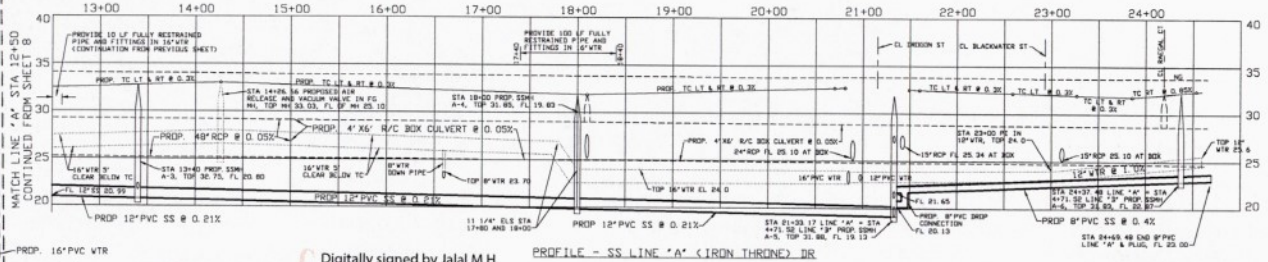
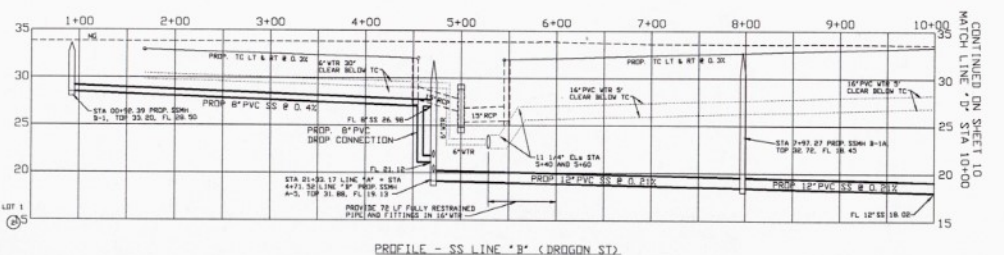
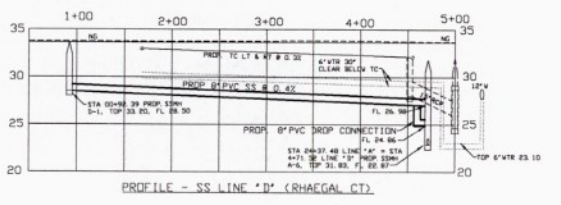
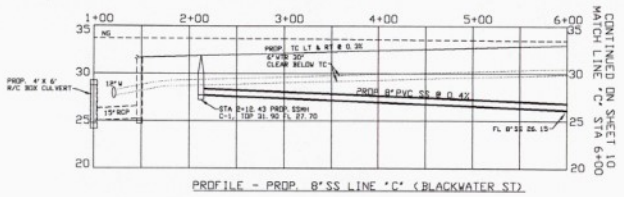
Digitally signed by Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalal@ctccoxas.com, c=US
 Date: 2020.04.14 13:36:37 -05'00'





PORTION OF A 130.570 ACRE TRACT, SEC. NO. 20, T10N 03S, R10E, A PORTION OF SURVEY 130 ABSTRACT 580, CERTIFICATE 29, SURVEY 130, DISTRICT STA. CERTIFICATE 29, SURVEY 130, ABSTRACT 580, CERTIFICATE 29 AND SURVEY 130, SURVEY NAME CASABELLA IRRIGATION COMPANY, NEECES CO., TX, NPM DEVELOPMENT, LP

PORTION OF A 293.041 ACRE TRACT, SEC. NO. 20, T10N 03S, R10E, A PORTION OF SURVEY 130 ABSTRACT 580, CERTIFICATE 29, SURVEY 130, ABSTRACT 580, CERTIFICATE 29 AND SURVEY 130, SURVEY NAME CASABELLA IRRIGATION COMPANY, NEECES CO., TX, NPM DEVELOPMENT, LP



PLANS ARE RELEASED FOR CONSTRUCTION
DEVELOPMENT SERVICES
Construction plans will expire based on conditions stated in UDC 3.8.5.7 (August 2018)

Digitally signed by Jalal M.H. Ali Saleh, P.E.
DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@cctexas.com, c=US
Date: 2020.04.14 13:37:24 -05'00'



BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 1500227-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1
CORPUS CHRISTI, NEECES CO., TX

SANITARY SEWER AND WATER PLAN AND PROFILE

DATE	2020.04.14	SCALE	1" = 60'	DATE PLOTTED	04/22/20	SHEET	31 OF 33
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SHEET KEY

MATCH LINE 'A' STA 12+50
CONTINUED FROM SHEET 8

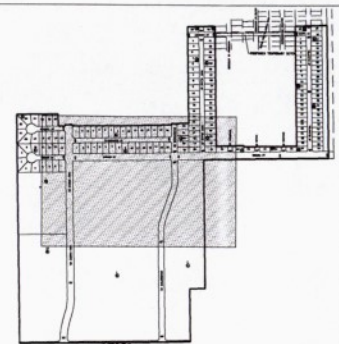
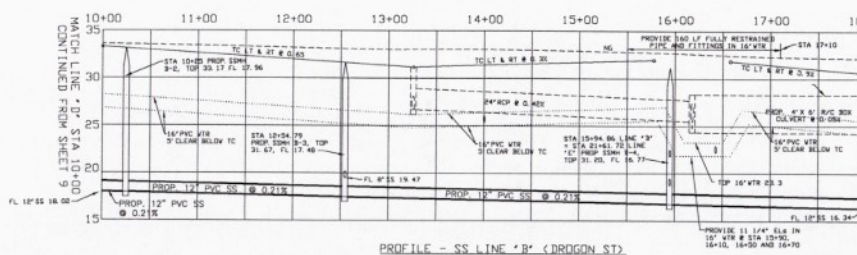
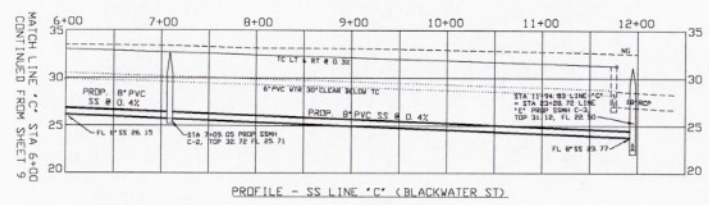
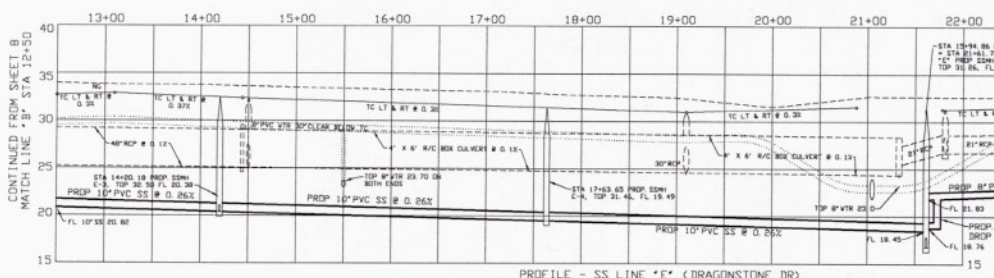
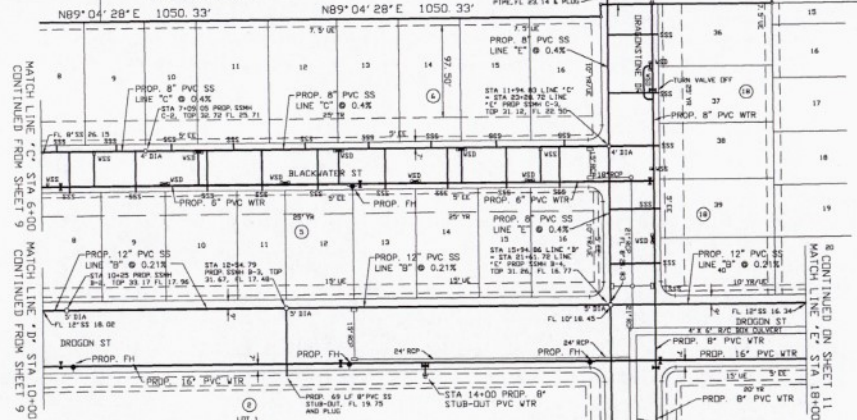


PLANS ARE RELEASED FOR CONSTRUCTION DEVELOPMENT SERVICES
 Construction plans will remain based on conditions shown on USC 44.57 (August 2014)

Digitally signed by Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalal@ctctexas.com, c=US
 Date: 2020.04.14 13:37:59 -05'00'

PORTION OF A 130.570 ACRE TRACT, SEC. 06, R008078480.0, & A PORTION OF SURVEY 128 ABSTRACT 581, CERTIFICATE 24, SURVEY 130, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 128, ABSTRACT 577, CERTIFICATE 24, SAID SURVEYS NAMED GUARDILLA UNDEVELOPMENT COMPANIES, INCESSES CO., TX, W/IN DEVELOPMENT, LP

PORTION OF A 253.041 ACRE TRACT, SEC. 06, R008078480.0, & A PORTION OF SURVEY 128 ABSTRACT 581, CERTIFICATE 25, SURVEY 130, ABSTRACT 579, CERTIFICATE 31 AND SURVEY 128, ABSTRACT 577, CERTIFICATE 24, SAID SURVEYS NAMED GUARDILLA UNDEVELOPMENT COMPANIES, INCESSES CO., TX, W/IN DEVELOPMENT, LP



SHEET KEY

25.00 AC TRACT, SEC. 06, R. 1122

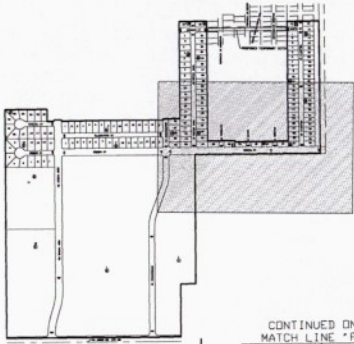
25.00 AC TRACT, SEC. 06, R. 1122



BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
 PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX

SANITARY SEWER AND WATER PLAN AND PROFILE

DATE PLOTTED: 04/02/20
 SCALE: 1" = 60'



SHEET KEY
 PORTION OF A 293.041 ACRE TRACT, BDC NO. 2000018783, D & L, L152, FOR DEVELOPMENT, LP



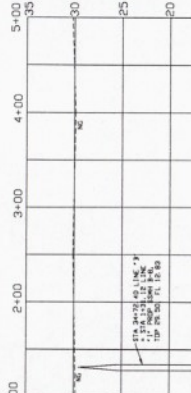
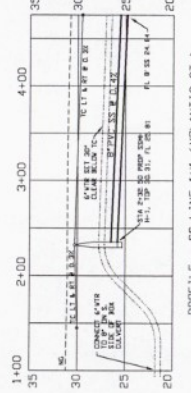
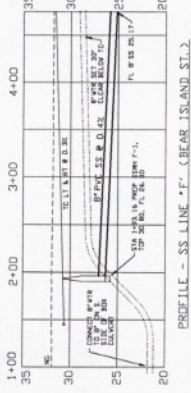
Digitally signed by
 Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@cctexas.com, c=US
 Date: 2020.04.14 13:38:28 -05'00'

PLANS ARE RELEASED FOR CONSTRUCTION
 DEVELOPMENT SERVICES
 CONSTRUCTION STAFF WILL VERIFY BASED ON CONDITIONS EXIST AT DATE & TIME OF PLOTTING

CONTINUED ON SHEET 12
 MATCH LINE 'F' STA 4+75

CONTINUED ON SHEET 13
 MATCH LINE 'G' STA 4+75

CONTINUED ON SHEET 7
 MATCH LINE 'I' STA 5+00

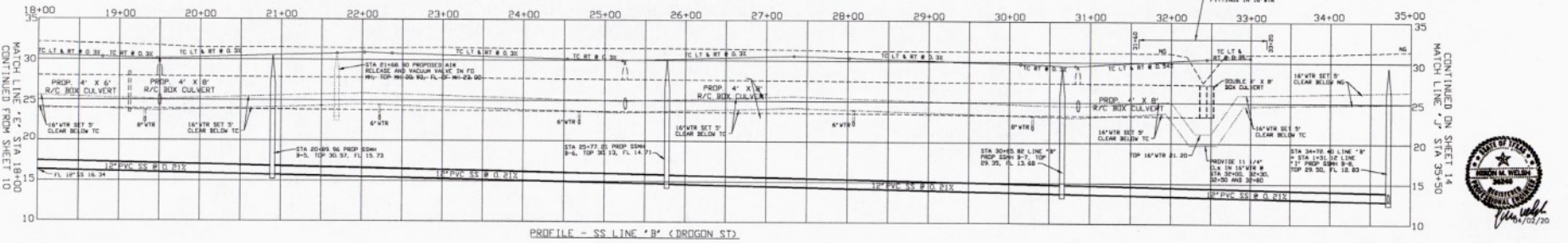
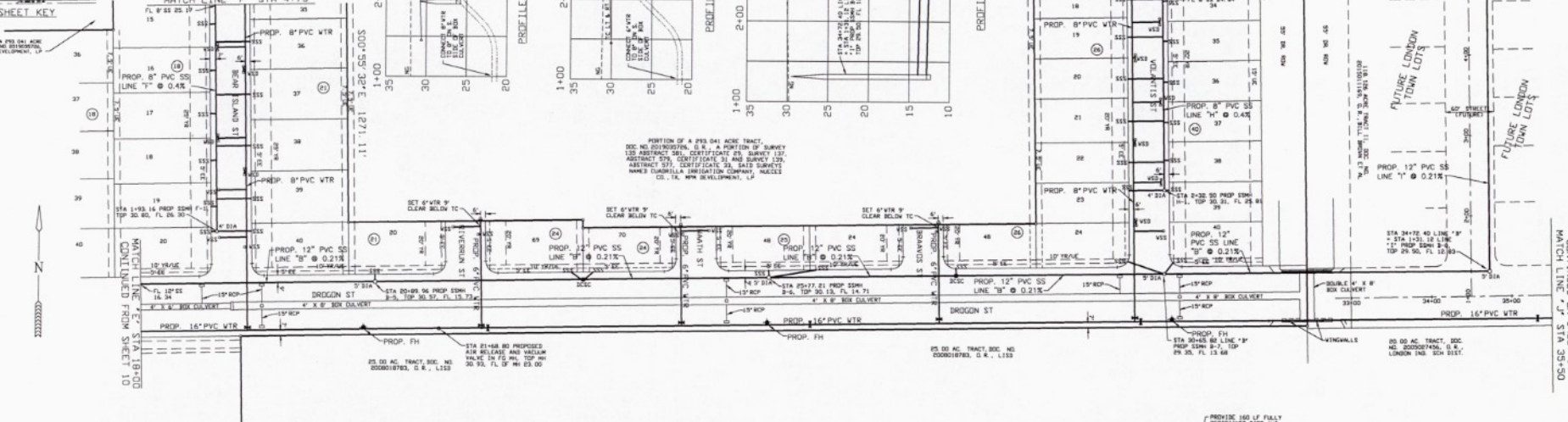


PROFILE - SS LINE 'I' (CIBOLA ISLAND ST.)

CONTINUED ON SHEET 12
 MATCH LINE 'F' STA 4+75

CONTINUED ON SHEET 13
 MATCH LINE 'G' STA 4+75

CONTINUED ON SHEET 13
 MATCH LINE 'I' STA 5+00

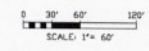


PROFILE - SS LINE 'B' (DROGDON ST.)

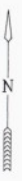


BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
 PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1
 CORPUS CHRISTI, NEUCES CO., TX

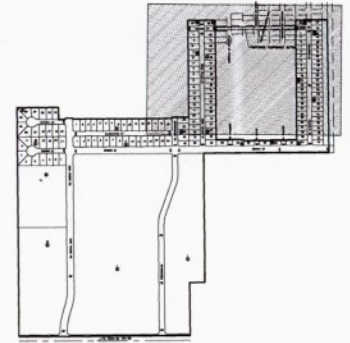
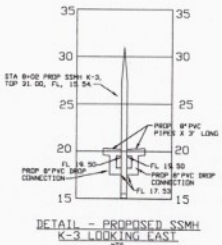
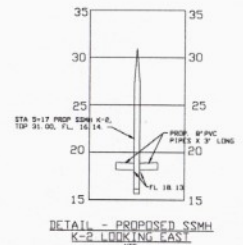
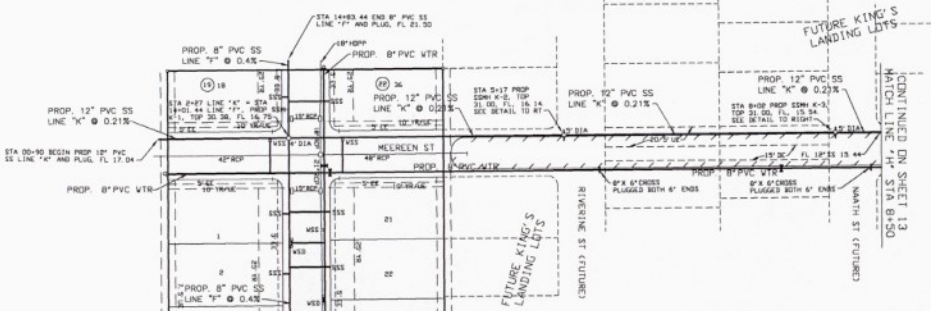
SANITARY SEWER AND WATER PLAN AND PROFILE



DWN: _____ PLAT SCALE: 1" = 80'
 SCALE DWG: _____ DATE PLOTTED: 04/02/20 SHEET 11 OF 33
 DWG: _____ JOB NO.: 09059
 CHK: A. WELSH

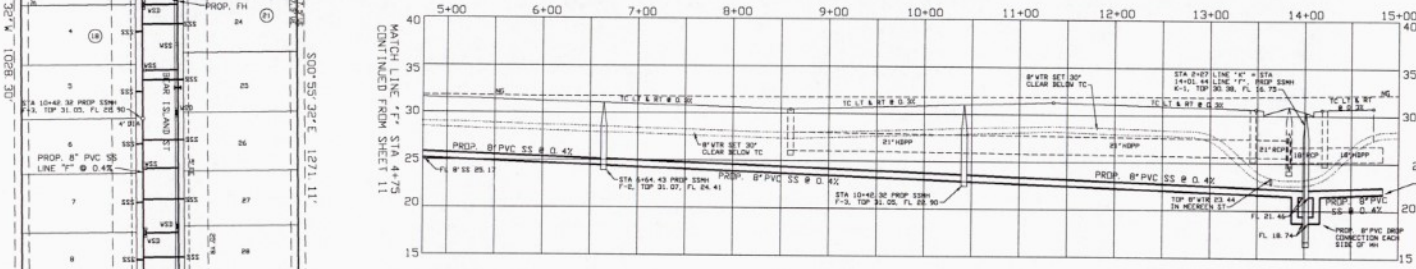


PORTION OF A 293.041 ACRE TRACT.
 SEE NO. 0205000000, D.S., A PORTION OF SURVEY
 120 ABSTRACT 581, CERTIFICATE 29, SURVEY 137,
 ABSTRACT 576, CERTIFICATE 31 AND SURVEY 136,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS
 WANCED CHARNILLA ORIGINATOR COMPANY, NUCCES
 CO., TX, NTH DEVELOPMENT, LP



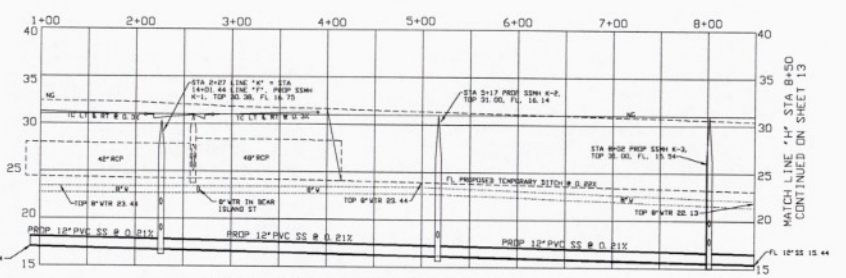
SHEET KEY

PORTION OF A 293.041 ACRE TRACT.
 SEE NO. 0205000000, D.S., A PORTION OF SURVEY
 120 ABSTRACT 581, CERTIFICATE 29, SURVEY 137,
 ABSTRACT 576, CERTIFICATE 31 AND SURVEY 136,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS
 WANCED CHARNILLA ORIGINATOR COMPANY, NUCCES
 CO., TX, NTH DEVELOPMENT, LP



PROFILE - SS LINE 'F' (BEAR ISLAND ST.)

PORTION OF A 293.041 ACRE TRACT.
 SEE NO. 0205000000, D.S., A PORTION OF SURVEY
 120 ABSTRACT 581, CERTIFICATE 29, SURVEY 137,
 ABSTRACT 576, CERTIFICATE 31 AND SURVEY 136,
 ABSTRACT 577, CERTIFICATE 33, SAID SURVEYS
 WANCED CHARNILLA ORIGINATOR COMPANY, NUCCES
 CO., TX, NTH DEVELOPMENT, LP



PROFILE - PROP. SS LINE 'K' (MCCREENE ST. AND OFF-SITE TO EAST)

15 MATCH LINE 'F' STA 4+75
 CONTINUED FROM SHEET 11



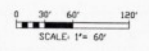
PLANS ARE RELEASED FOR
 CONSTRUCTION
 DEVELOPMENT SERVICES
 Construction plans will remain
 based on conditions stated in
 UDC 1.8.5.F (August 2018)

Digitally signed by Jalal
 M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali
 Saleh, P.E., o=City of
 Corpus Christi,
 ou=Development
 Services,
 email=jalals@cctexas.com,
 c=US
 Date: 2020.04.14 13:39:08
 -05'00'

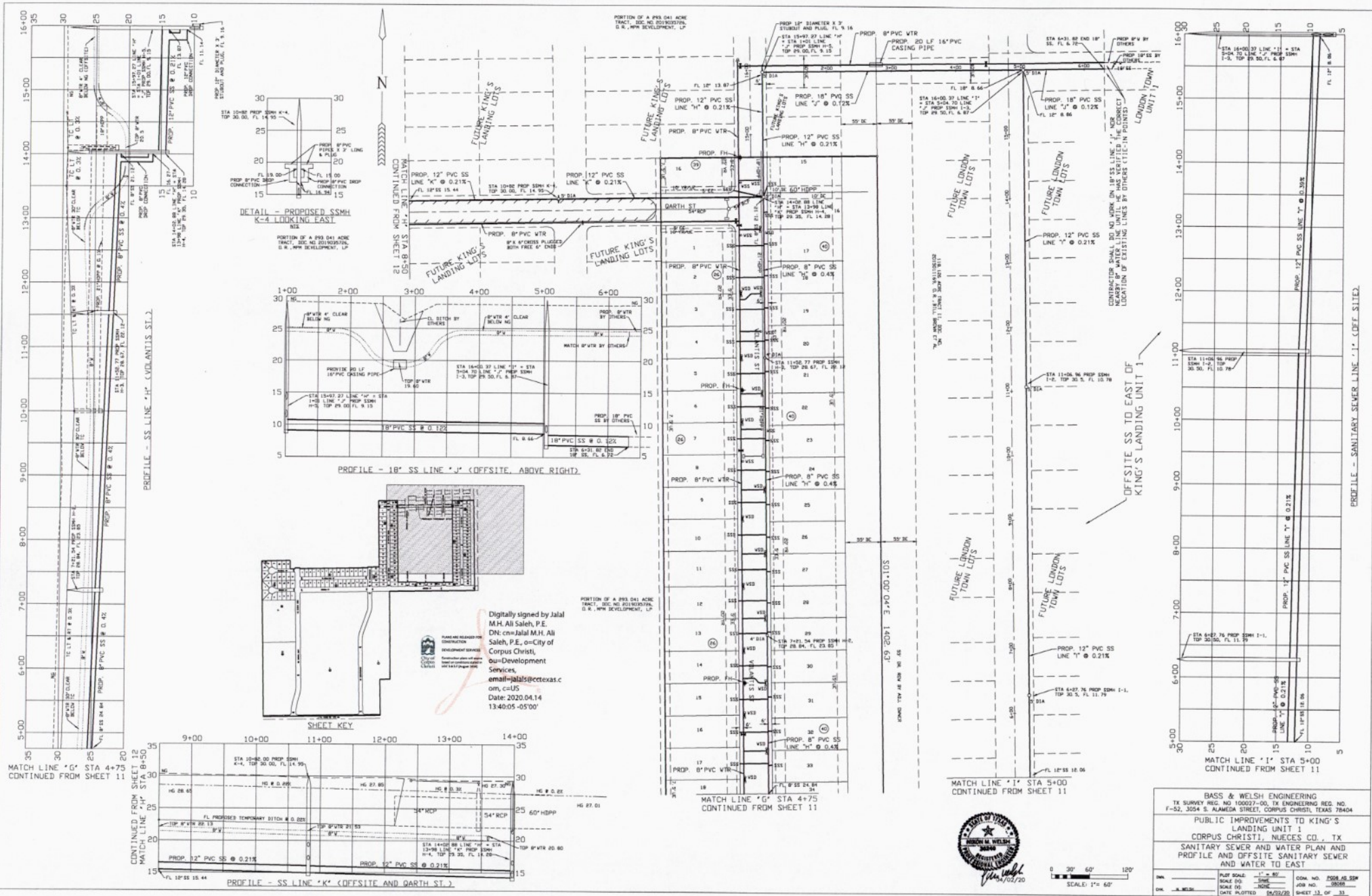


BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 150027-00, TX ENGINEERING REG. NO.
 F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
 PUBLIC IMPROVEMENTS TO KING'S
 LANDING UNIT 1
 CORPUS CHRISTI, NUCCES CO., TX

SANITARY SEWER AND WATER PLAN AND PROFILE

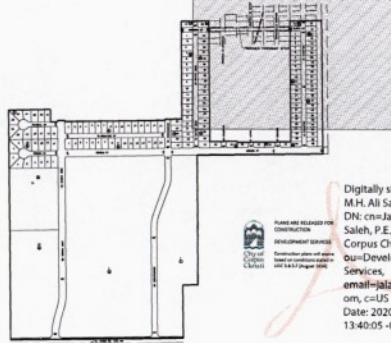


DATE PLOTTED: 04/15/20
 SHEET 33 OF 33



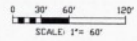
DETAIL - PROPOSED SSMH K-4 LOOKING EAST

PROFILE - 18" SS LINE 'J' (OFFSITE, ABOVE RIGHT)

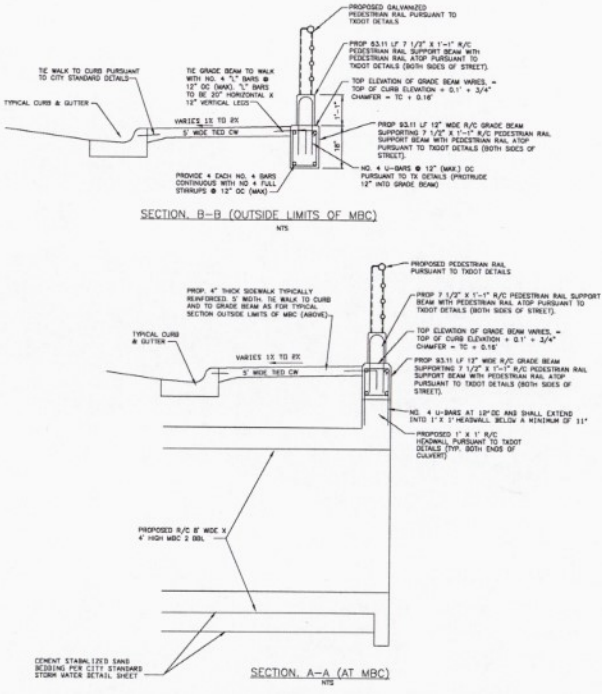
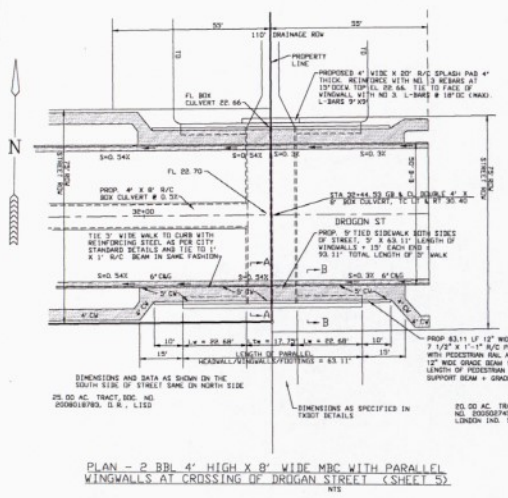
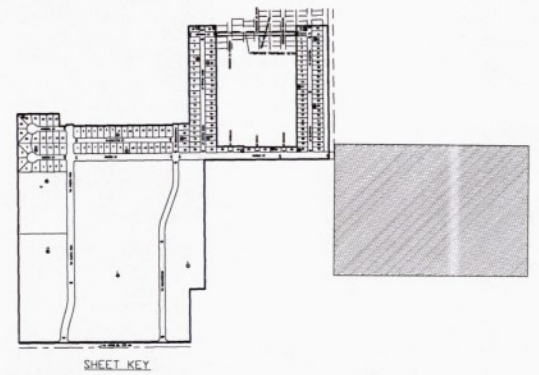
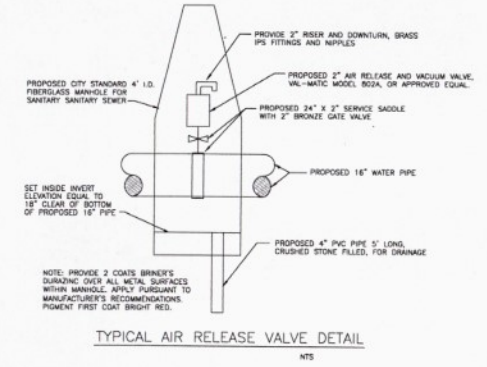
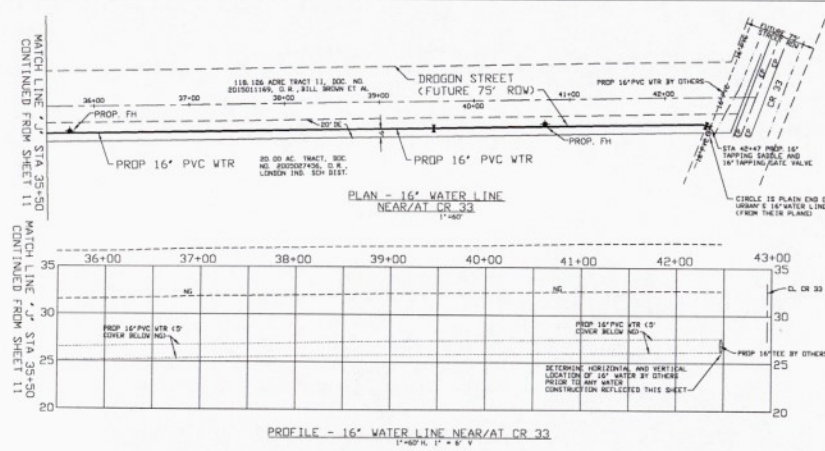


PROFILE - SS LINE 'K' (OFFSITE AND GARTH ST.)

Digitally signed by Jalal M.H. Al Saleh, P.E.
 DN: cn=Jalal M.H. Al Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalal@ccetexas.com, c=US
 Date: 2020.04.14 13:40:05 -0500



BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404	
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NEEDS CO., TX	
SANITARY SEWER AND WATER PLAN AND PROFILE AND OFFSITE SANITARY SEWER AND WATER TO EAST	
DATE PLOTTED: 05/09/20	SHEET 13 OF 33



MULTIPLE BOX CULVERT NOTES:

1. THE PROPOSED TWO BARRELS, 8' WIDE X 4' HIGH R/C MULTIPLE BOX CULVERT, WINGWALLS AND PEDESTRIAN RAIL SHALL BE CONSTRUCTED PURSUANT TO TROTT DETAILS SHEETS IN THIS SET OF PLANS. THE PROPOSED MANHOLE SHALL BE CONSTRUCTED WITH A 1' X 1' HEADWALL, PROTRUDING ABOVE THE TOP OF THE MBC AND A TYPICAL FOUNDATION BELOW THE MBC, BOTH ENDS OF MULTIPLE BOX CULVERT.
2. THE REINFORCED CONCRETE WINGWALLS SHALL BE CONSTRUCTED WITH A TYPICAL, PLUS THE 8\"/>

Digitally signed by
Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jals@ccctexas.com, c=US
 Date: 2020.04.14 13:40:41 -05'00'

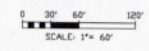


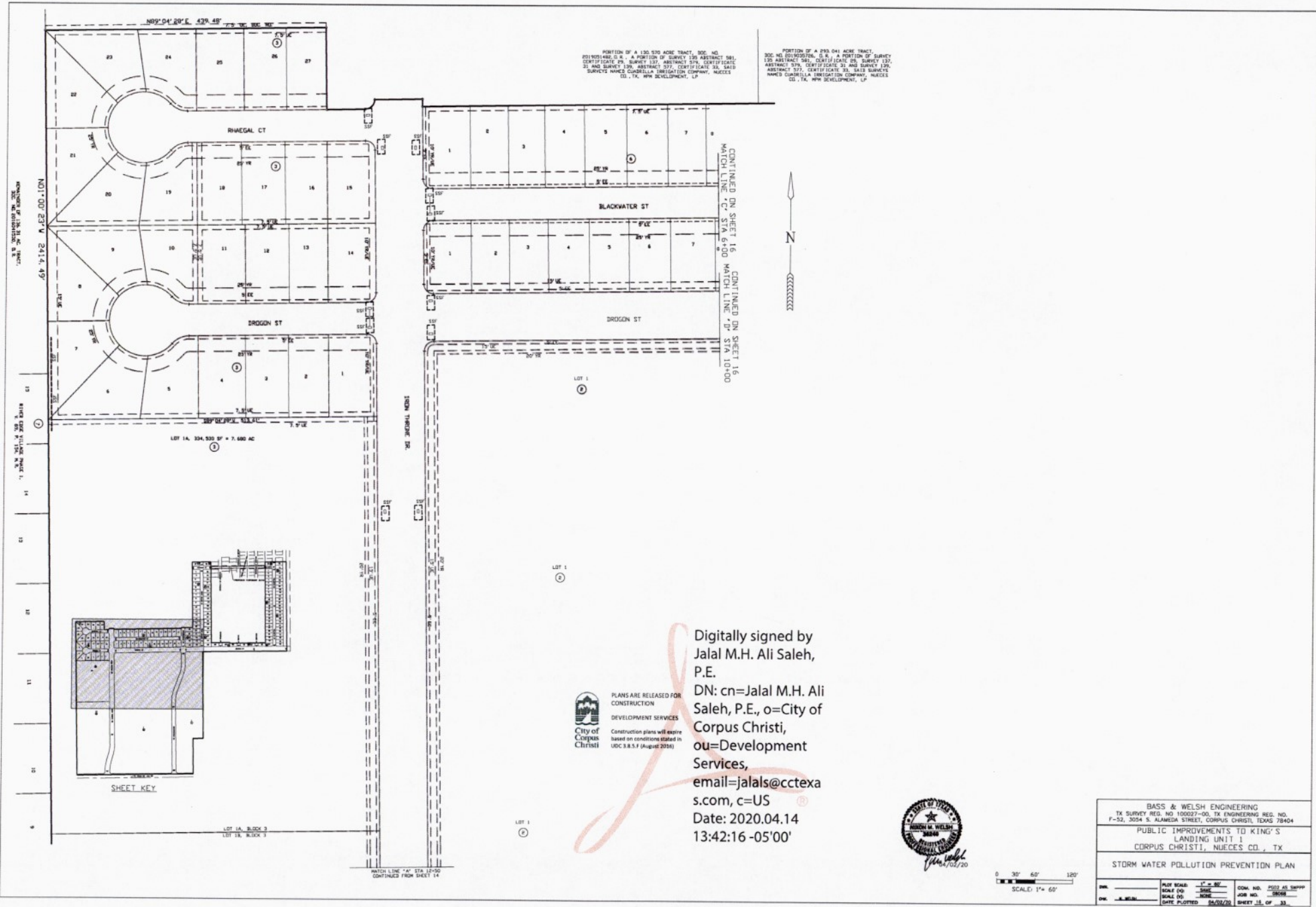
PLANS ARE RELEASED FOR CONSTRUCTION DEVELOPMENT SERVICES
 Construction plans are issued based on conditions stated in CDD 18.1 (September 2018)



BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 150027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1
 CORPUS CHRISTI, NUCCES CO., TX
WATER PLAN AND PROFILE, AIR RELEASE & VACUUM VALVE DETAIL AND MBC ENLARGED DRAWINGS

DATE PLOTTED: 04/02/20
 SHEET 11 OF 33





PLANS ARE RELEASED FOR CONSTRUCTION
 DEVELOPMENT SERVICES
 City of Corpus Christi
 Construction plans will expire based on conditions stated in UDC 8.8.5.F (August 2016)

Digitally signed by
 Jalal M.H. Ali Saleh,
 P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi,
 ou=Development Services,
 email=jalals@cctexas.com, c=US
 Date: 2020.04.14
 13:42:16 -05'00'

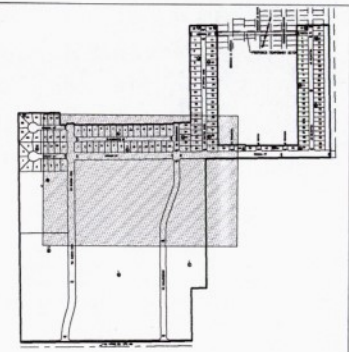
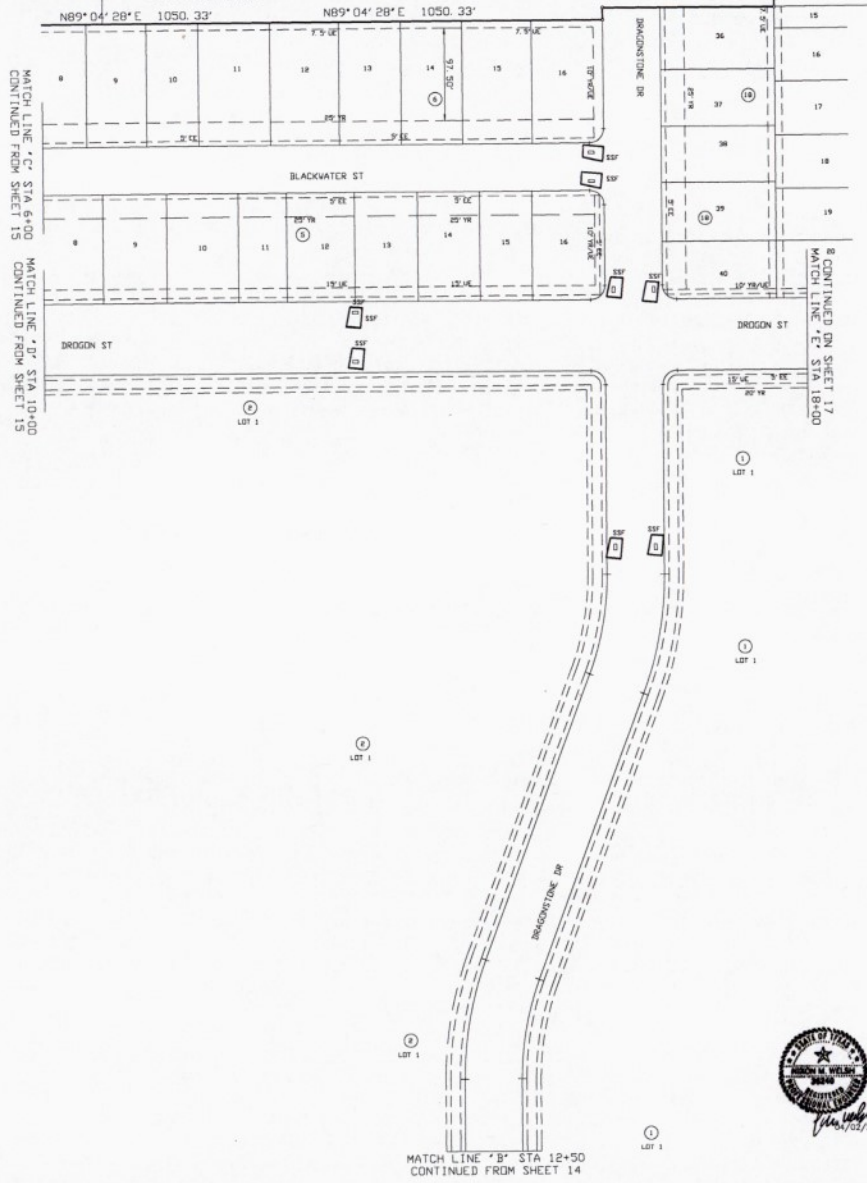


BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUCCES CO., TX			
STORM WATER POLLUTION PREVENTION PLAN			
DRN: _____ DW: <u>A.WELSH</u>	PLOT SCALE: <u>1" = 80'</u> DATE PLOTTED: <u>04/02/20</u>	CDMA NO. <u>5037 AS SHAPP</u> JOB NO. <u>19098</u>	SHEET 16 OF 33

SCALE: 1" = 60'

PORTION OF A 130.540 ACRE TRACT, BDC NO. 000018782, D. R. L. 1152, A PORTION OF SURVEY 130, ABSTRACT 378, CERTIFICATE OF SURVEY 137, AND SURVEY 136, ABSTRACT 377, CERTIFICATE OF SURVEY 136, SURVEY NAME: CLABILLA IRRIGATION COMPANY, NUECES CO., TX, WPA DEVELOPMENT, LP

PORTION OF A 242.041 ACRE TRACT, BDC NO. 000018782, D. R. L. 1152, A PORTION OF SURVEY 130, ABSTRACT 378, CERTIFICATE OF SURVEY 137, AND SURVEY 136, ABSTRACT 377, CERTIFICATE OF SURVEY 136, SURVEY NAME: CLABILLA IRRIGATION COMPANY, NUECES CO., TX, WPA DEVELOPMENT, LP



SHEET KEY

Digitally signed by
 Jalal M.H. Ali
 Saleh, P.E.
 DN: cn=Jalal M.H.
 Ali Saleh, P.E.,
 o=City of Corpus
 Christi,
 ou=Development
 Services,
 email=jalals@ccte
 xas.com, c=US
 Date: 2020.04.14
 13:42:48 -05'00'



0 30' 60' 120'
 SCALE: 1" = 60'

25.00 AC TRACT, BDC NO. 000018782, D. R. L. 1152

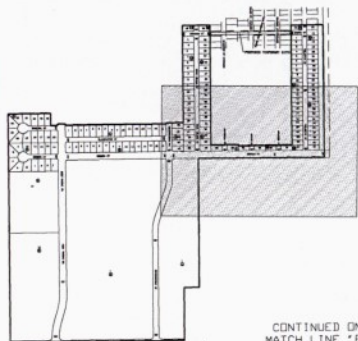
25.00 AC TRACT, BDC NO. 000018782, D. R. L. 1152

BASS & WELSH ENGINEERING
 TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX

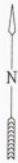
STORM WATER POLLUTION PREVENTION PLAN

DATE PLOTTED	6/4/20	SHEET	17 OF 33
DATE	6/4/20	JOB NO.	190000
SCALE	1" = 60'	CDM NO.	5003 AS 00000

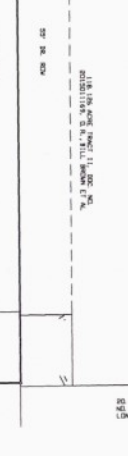
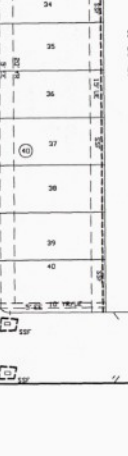
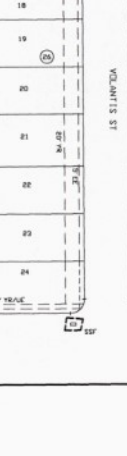
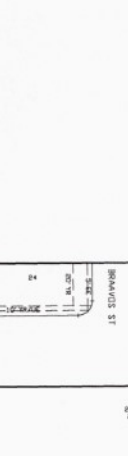
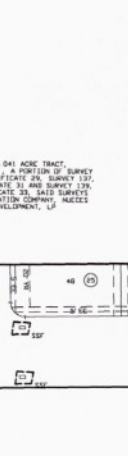
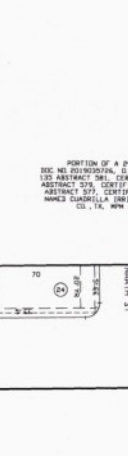
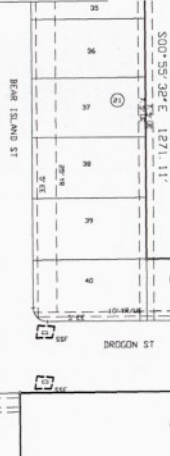
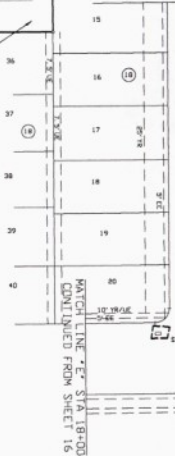


VERTICAL CURVE DATA FOR THIS TRACT, SEE THE SUBSEQUENT SHEET FOR DEVELOPMENT, LP

SHEET KEY



CONTINUED ON SHEET 18
MATCH LINE 'F' STA 4+75



PORTION OF A 299.041 ACRE TRACT, SEE NE 202307000, D.W., A PORTION OF SURVEY AND ABSTRACT 279, CERTIFICATE 2ND SURVEY 133, ABSTRACT 279, CERTIFICATE 3RD SURVEY 133, ABSTRACT 279, CERTIFICATE 3RD SURVEY 133, ABSTRACT 279, CERTIFICATE 3RD SURVEY 133, NAMED CHARRILLA IRRIGATION COMPANY, INCIES CO., TX, WWW DEVELOPMENT, LP

25.00 AC. TRACT, DOC. NO. 2000019763, D.W., L110

25.00 AC. TRACT, DOC. NO. 2000019763, D.W., L110

20.00 AC. TRACT, DOC. NO. 2002007436, D.W., LONDON INS. 5TH DIST.

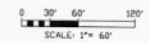


PLANS ARE RELEASED FOR CONSTRUCTION DEVELOPMENT SERVICES. Construction plans will require based on conditions stated in USC 163.01 (Amended 2010)

Digitally signed by Jalal M.H. Ali Saleh, P.E.
DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@cctexas.com, c=US
Date: 2020.04.14 13:43:21 -05'00'

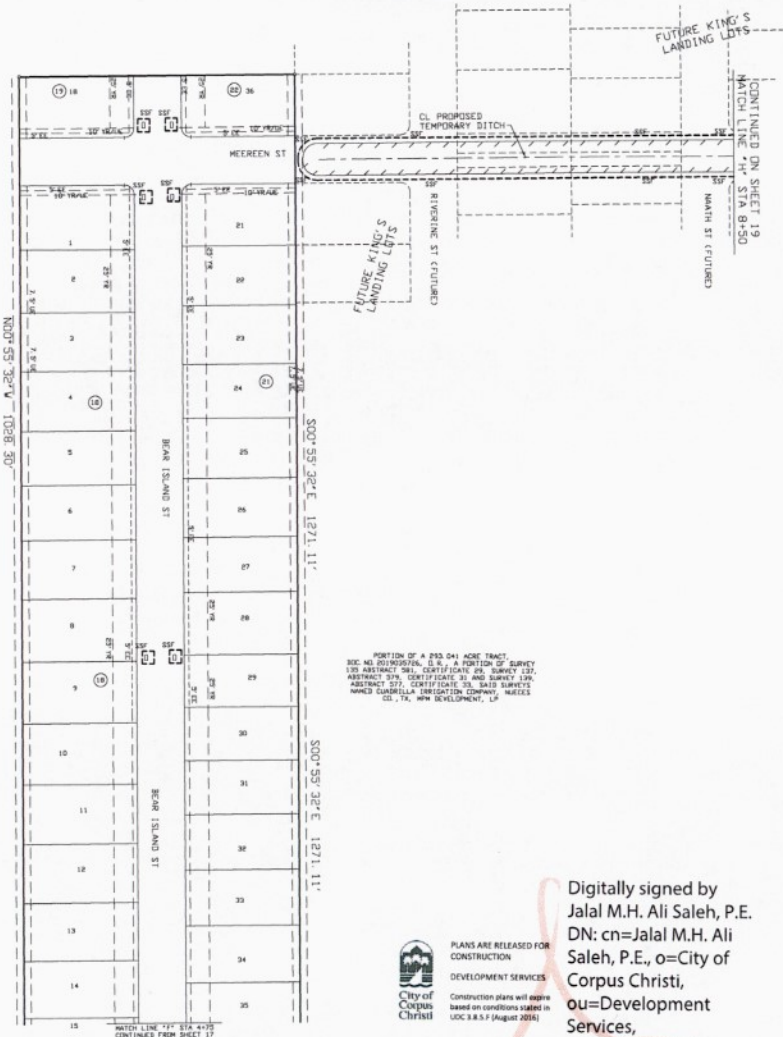


BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX			
STORM WATER POLLUTION PREVENTION PLAN			
DRW. A. WELSH	PLUF SCALE: 1" = 60'	DATE PLOTTED: 04/08/20	CDM. NO. 2004 AS 28999
	SCALE: 1" = 60'		JOB NO. 08566
			SHEET 18 OF 23





PORTION OF A 293.041 ACRE TRACT,
SEC. 46, 10TH TOWNSHIP, D. 8. - A PORTION OF SURVEY
133 ABSTRACT 581, CERTIFICATE #8, SURVEY 137,
ABSTRACT 576, CERTIFICATE 31 AND SURVEY 136,
ABSTRACT 577, CERTIFICATE 30, SAID SURVEYS
NAMED CUMBERELLA INVESTIGATION COMPANY, NUECES
CO., TX, NOW DEVELOPMENT, LP



PORTION OF A 293.041 ACRE TRACT,
SEC. 46, 10TH TOWNSHIP, D. 8. - A PORTION OF SURVEY
133 ABSTRACT 581, CERTIFICATE #8, SURVEY 137,
ABSTRACT 576, CERTIFICATE 31 AND SURVEY 136,
ABSTRACT 577, CERTIFICATE 30, SAID SURVEYS
NAMED CUMBERELLA INVESTIGATION COMPANY, NUECES
CO., TX, NOW DEVELOPMENT, LP

PORTION OF A 293.041 ACRE TRACT,
SEC. 46, 10TH TOWNSHIP, D. 8. - A PORTION OF SURVEY
133 ABSTRACT 581, CERTIFICATE #8, SURVEY 137,
ABSTRACT 576, CERTIFICATE 31 AND SURVEY 136,
ABSTRACT 577, CERTIFICATE 30, SAID SURVEYS
NAMED CUMBERELLA INVESTIGATION COMPANY, NUECES
CO., TX, NOW DEVELOPMENT, LP

FUTURE KING'S
LANDING LOTS

CONTINUED ON SHEET 19
MATCH LINE 4" STA. 8+50

FUTURE KING'S
LANDING LOTS

RIVERSIDE ST (FUTURE)

MEEHIN ST (FUTURE)

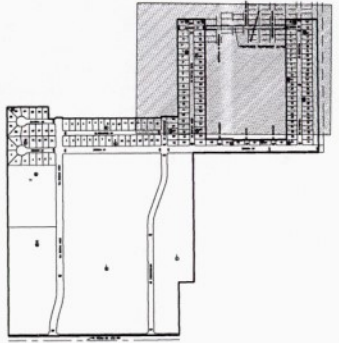
CL PROPOSED
TEMPORARY SWITCH

HEEREN ST

ST. CHARLES ST

ST. CHARLES ST

MATCH LINE 2" STA. 4+75
CONTINUED FROM SHEET 17

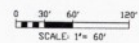


SHEET KEY



PLANS ARE RELEASED FOR
CONSTRUCTION
DEVELOPMENT SERVICES
Construction plans will expire
based on conditions stated in
UDC 3.6.5.F (August 2018)

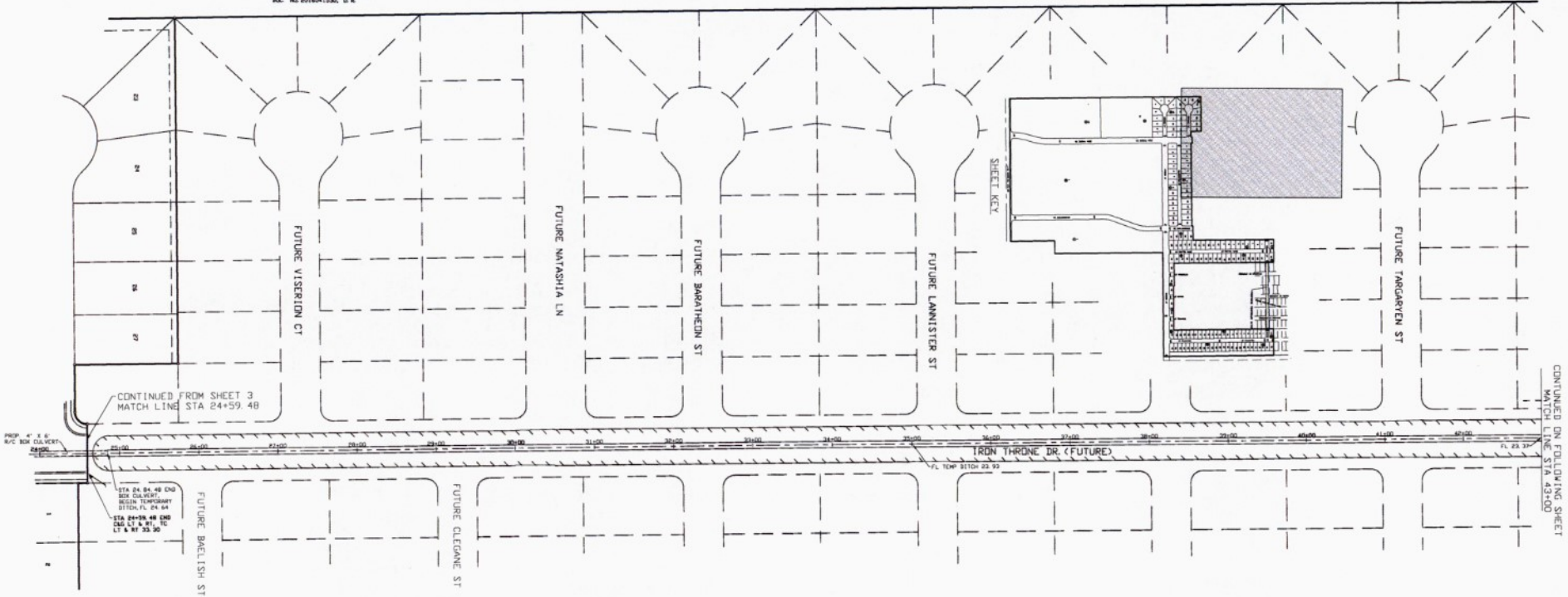
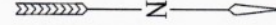
Digitally signed by
Jalal M.H. Ali Saleh, P.E.
DN: cn=Jalal M.H. Ali
Saleh, P.E., o=City of
Corpus Christi,
ou=Development
Services,
email=jalals@cctexas.c
om, c=US
Date: 2020.04.14
13:44:02 -05'00'



BASS & WELSH ENGINEERING TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3054 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT I CORPUS CHRISTI, NUECES CO., TX			
STORM WATER POLLUTION PREVENTION PLAN			
DATE PLOTTED: 04/02/20	DATE: 04/14/20	JOB NO.: 19018	CDM. NO.: 2005_AS_2017P
DRW: A.WELSH	SCALE (H): 1"=50'	SCALE (V): 1"=50'	DRW. NO.: 2005_AS_2017P
PLAT SCALE: 1"=50'		SHEET 18 OF 33	

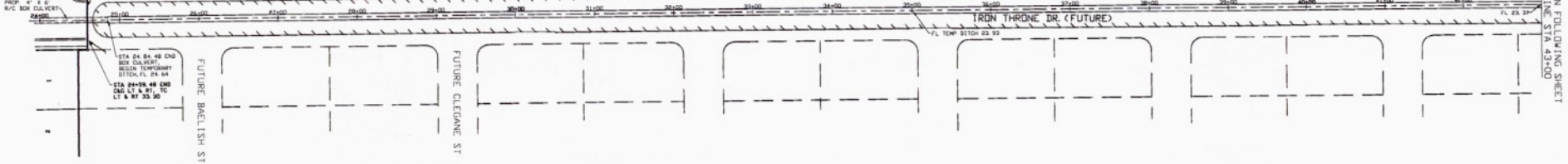
REMINDER OF 136.21 AC. TRACT.
SEC. NO. 0316041300, D.R.

REMINDER OF 136.21 AC. TRACT.
SEC. NO. 0316041300, D.R.



CONTINUED FROM SHEET 3
MATCH LINE STA 24+59.48

CONTINUED ON FOLLOWING SHEET
MATCH LINE STA 43+00



CONTINUED FROM SHEET 3
MATCH LINE STA 24+59.48

CONTINUED ON FOLLOWING SHEET
MATCH LINE STA 43+00



PROFILE - OFFSITE TEMPORARY DRAINAGE CHANNEL

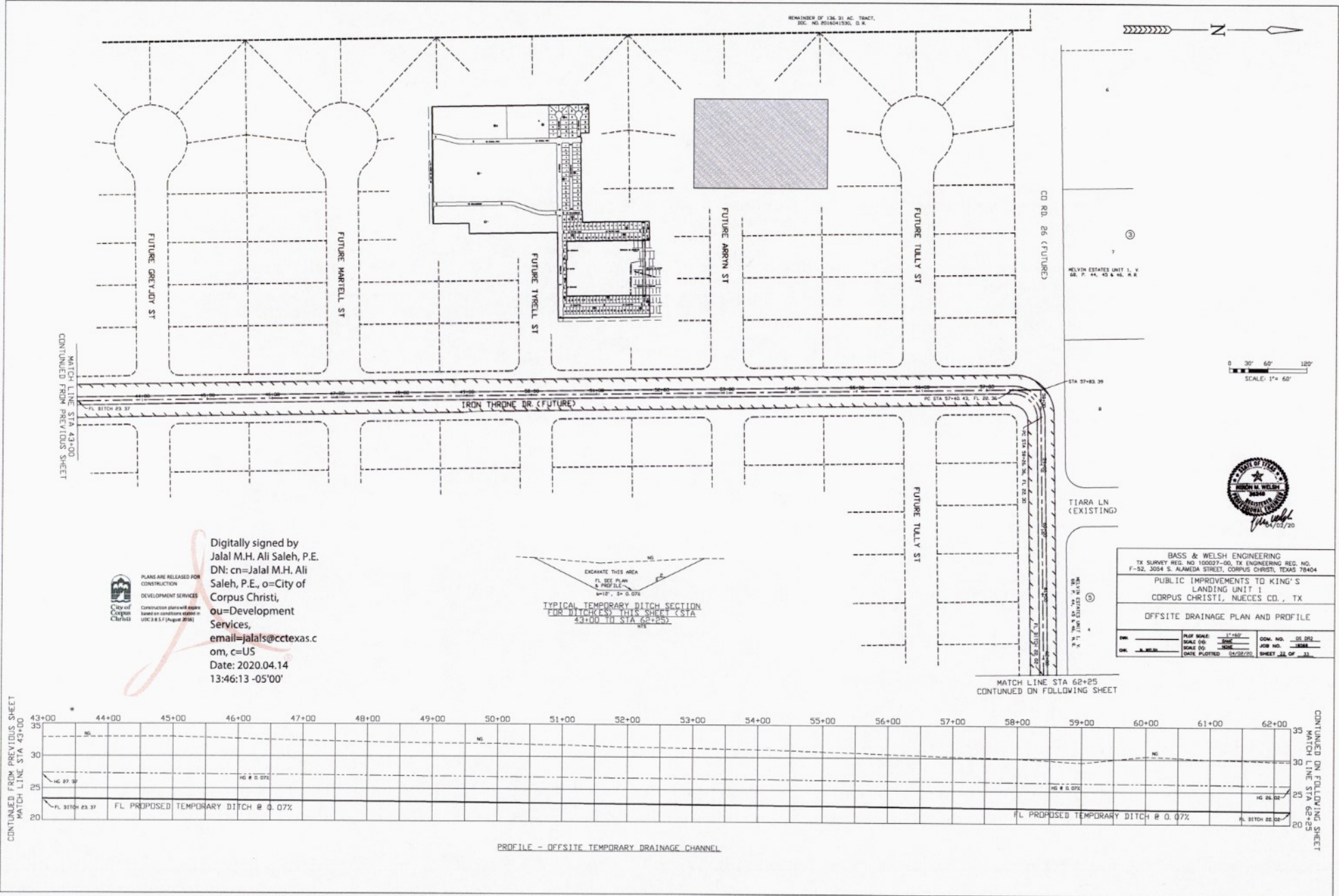
Digitally signed by
Jalal M.H. Ali Saleh,
P.E.
DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@cctexas.com, c=US
Date: 2020.04.14 13:45:25 -05'00'



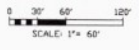
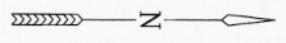
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SCALE: 1" = 60'

BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-82, 3004 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1
CORPUS CHRISTI, NUECES CO., TX

OFFSITE DRAINAGE PLAN AND PROFILE			
DATE PLOTTED	04/22/20	SHEET 21	OF 32
FILE NAME	11-0007	DATE NO.	03/2011
SCALE 00	SCALE 00	JOB NO.	1588
DATE PLOTTED	04/22/20	SHEET 21	OF 32



REMAINDER OF 126.31 AC. TRACT,
REC. NO. 851641300, D & R



BASS & WELSH ENGINEERING
TX SURVEY REG. NO. 100027-00, TX ENGINEERING REG. NO. F-52, 3024 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404

PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT I
CORPUS CHRISTI, NUECES CO., TX

OFFSITE DRAINAGE PLAN AND PROFILE

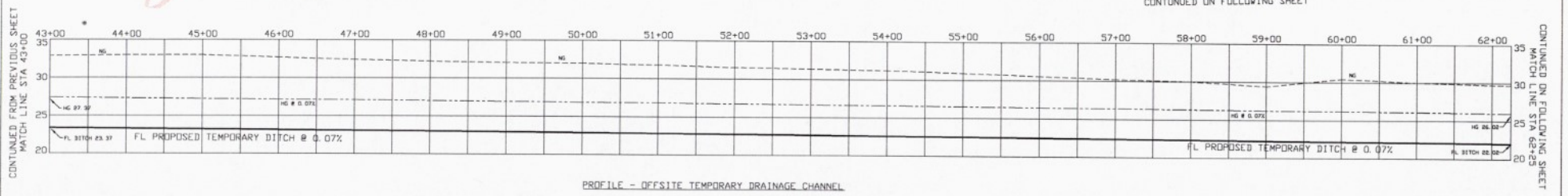
PLF SCALE: 1"=50'	DATE PLOTTED: 04/28/20	JOB NO. 100027-00	SHEET 22 OF 33
DATE: 04/28/20	DATE PLOTTED: 04/28/20	DATE PLOTTED: 04/28/20	DATE PLOTTED: 04/28/20



Digitally signed by
Jalal M.H. Ali Saleh, P.E.
DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@cctexas.com, c=US
Date: 2020.04.14 13:46:13 -05'00'



TYPICAL TEMPORARY DITCH SECTION FOR DITCHES - THIS SHEET (STA 43+00 TO STA 62+25)



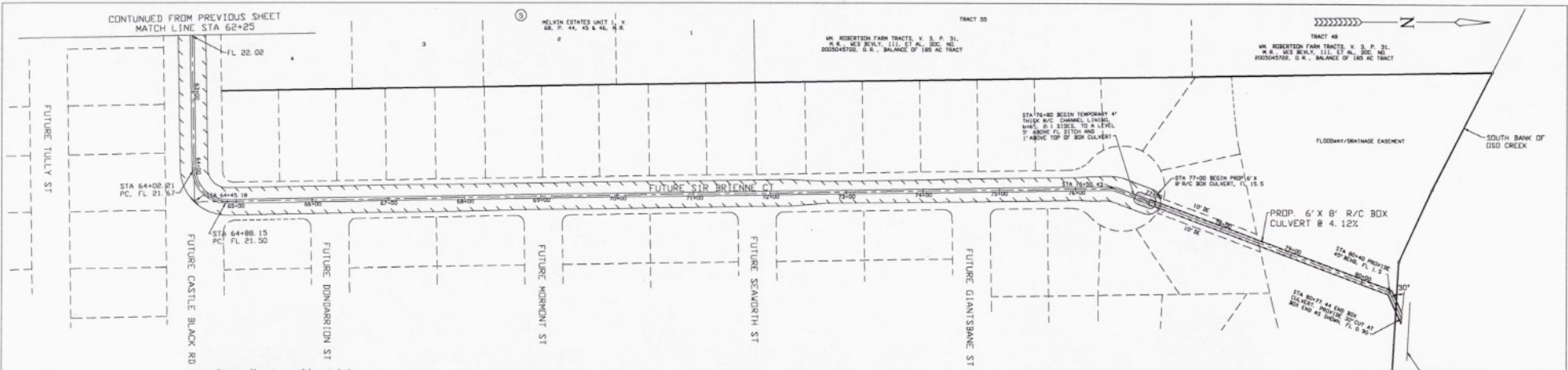
PROFILE - OFFSITE TEMPORARY DRAINAGE CHANNEL

CONTINUED FROM PREVIOUS SHEET
MATCH LINE STA 43+00

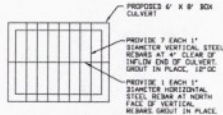
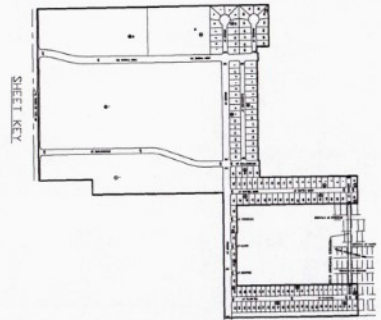
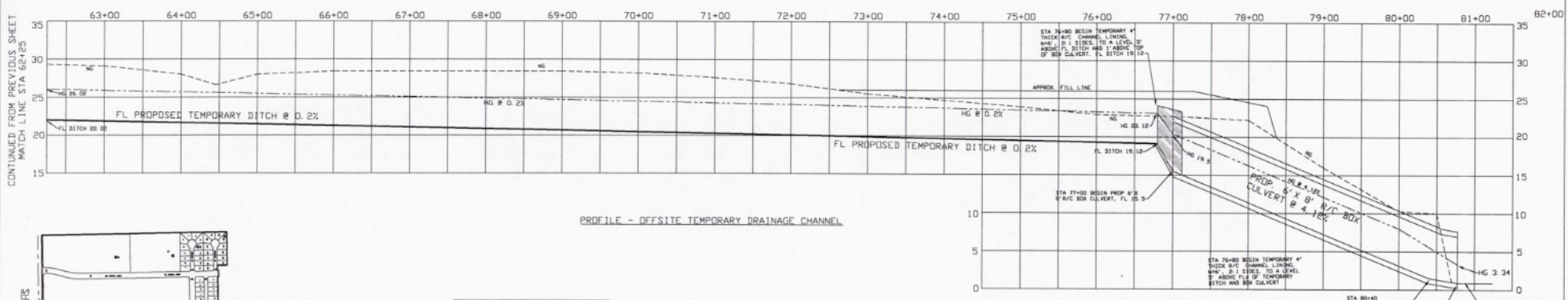
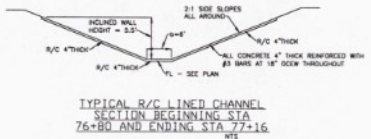
CONTINUED ON FOLLOWING SHEET
MATCH LINE STA 62+25

MATCH LINE STA 62+25
CONTINUED ON FOLLOWING SHEET

MATCH LINE STA 43+00
CONTINUED FROM PREVIOUS SHEET



Digitally signed by Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services,
 email=jalals@cctexas.com, c=US
 Date: 2020.04.14 13:46:55 -05'00'



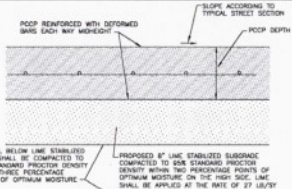
NOTE: USE THIS DETAIL AT DRAINAGE PLAN ENTRY INTO 6' X 8' BOX CULVERT AT OFFSITE DRAINAGE STATION 77+00 (THIS SHEET).

DETAIL - REBAR INSTALLATION AT DRAINAGE ENTRY INTO PROPOSED 6' X 8' BOX CULVERT

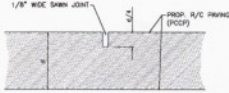


0 30' 60' 120'
 SCALE: 1" = 60'

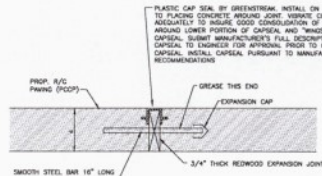
BASS & WELSH ENGINEERING TX SURVEY REG. NO. 150027-80, TX ENGINEERING REG. NO. F-52, 3004 S. ALAMODA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX			
OFFSITE DRAINAGE PLAN AND PROFILE			
DRW	J.M. WELSH	PLT	J.M. WELSH
CHK	J.M. WELSH	DATE PLOTTED	04/08/20
CON. NO.	02-093	JOB NO.	18058
SCALE	AS SHOWN	SHEET	23 OF 33



TYPICAL PUBLIC STREET PAVING (PCCP) SECTION NTS



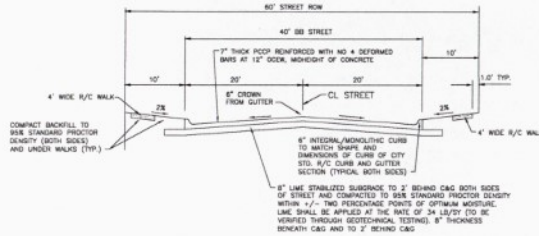
SAWN JOINT DETAIL - PCCP NTS



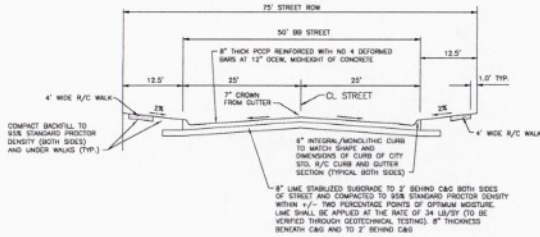
TYPE "E" - EXPANSION JOINT FOR PCCP NTS

PORTLAND CEMENT CONCRETE PUBLIC STREET PAVING (PCCP) NOTES

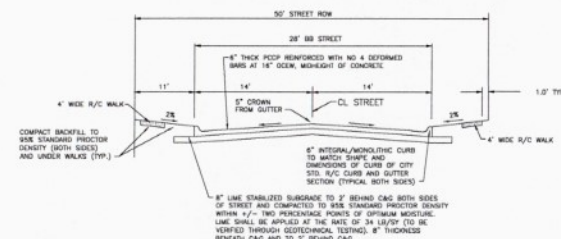
1. ALL PROPOSED STREET PAVING THICKNESS SHALL BE ACCORDING TO TYPICAL STREET SECTION. ALL PROPOSED PUBLIC STREETS SHALL BE PAVED WITH 4000 PSI COMPRESSIVE STRENGTH CONCRETE AT 28 DAYS.
2. ALL STEEL REINFORCING FOR PCCP SHALL BE SUPPORTED ON "CHAINS".
3. SAWING FOR SAWN JOINTS SHALL BE ACCOMPLISHED AT FINAL SET OF CONCRETE. WHILE CONCRETE IS "GREEN". JOINTS SHALL BE PLACED AT 12' OC (MAX) FOR 40' BB STREETS AND 16' OC MAX FOR 50' BB STREETS AND SHALL EXTEND THE FULL WIDTH OF ALL STREETS. JOINTS SHALL BE PLACED PARALLEL TO THE ROAD AXIS AND IN NO CASE SHALL SAWING BE DONE AFTER 18 HOURS AFTER CONCRETE PLACEMENT. WORK AT JOINT TO MEET THE SPECIFICATION OF REINFORCEMENT JOINTS SHALL BE PLACED THROUGHOUT ALL PAVING. IN LIEU OF SAWN JOINTS, CONTRACTOR MAY SUBSTITUTE TORNED JOINTS OF THE SAME SIZE AND CONFIGURATION, FORMED AT THE TIME OF CONCRETE FINISHING.
4. ALL PROPOSED PCCP SHALL OVERLAY 8" LIME STABILIZED AND COMPACTED NATURAL SOIL AT THE SITE.
5. CONTRACTOR SHALL PLAN AND SET HIS CONSTRUCTION SCHEDULE TO END A DAY'S PLACEMENT AND FINISHING OF CONCRETE TRANVERSE JOINTS AGAINST A PLANNED TYPE "C" JOINT.
6. JOINTS SHALL BE PLACED PARALLEL, OR PERPENDICULAR TO THE ROAD AXIS (CENTER LINE) OF ALL PROPOSED STREETS. TRANSVERSE JOINTS SHALL BE PLACED AT 12' OC (MAX) FOR 40' BB STREETS, 14' OC (MAX) FOR 40' BB STREETS AND 16' OC MAX FOR 50' BB STREETS AND SHALL EXTEND THE FULL WIDTH OF ALL STREETS. LONGITUDINAL JOINTS SHALL BE PLACED THE FULL LENGTH OF ALL STREETS AT 14' OC (MAX) FOR 40' BB STREETS AND 16' OC (MAX) (CALCULATED POINTS) FOR 50' BB STREETS.
7. TYPE "C" TRANSVERSE JOINTS SHALL BE PLACED AT 30' OC (MAX) FOR 40' BB STREETS, AT 42' OC (MAX) FOR 40' BB STREETS AND AT 48' OC (MAX) FOR 50' BB STREETS.
8. THE COMBINATION OF SAWN JOINTS AND TYPE "C" EXPANSION JOINTS SHALL YIELD JOINT SPACING AS FOLLOWS:
9. REINFORCE PCCP WITH NO. 4 STABILIZED BARS, MESHWORK THROUGHOUT ALL PAVING, AT SPACINGS EACH WAY ACCORDING TO TYPICAL STREET SECTION.
10. ALL CONCRETE SHALL BE PLACED WITH A 3" (MAX) SLUMP.



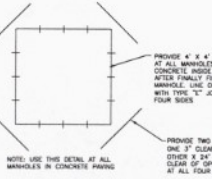
TYPICAL STREET SECTION - 60' ROW NTS



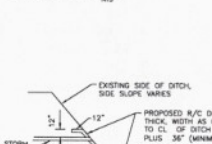
TYPICAL STREET SECTION - 75' ROW NTS



TYPICAL STREET SECTION - 50' ROW NTS



BLOCK-OUT DETAIL NTS



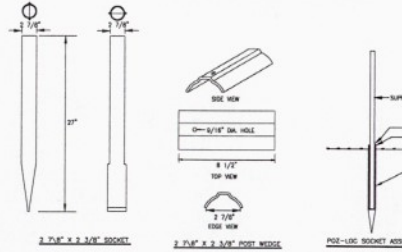
- NOTES:
1. REINFORCE ALL DITCH LINING WITH 6 X 6 X 6/8 WWP THROUGHOUT. PLACED MESHWORK IN CONCRETE. BEND TO CONFORM.
 2. GRASS SEED ALL AREAS OF DITCH THAT HAVE BEEN DISTURBED WITH INSTALLATION OF PIPE AND LINING.

TYPICAL SECTION - PROPOSED CONCRETE LINING IN DITCH AT END OF PROPOSED STO. PIPE NTS

POZ-LOC SIGN SUPPORT POST AND SOCKET SYSTEM

THE POZ-LOC SIGN SUPPORT POST AND SOCKET SYSTEM IS A TUBULAR SOCKET SYSTEM DESIGNED TO BE USED FOR TYPE I SMALL TRAFFIC SIGN SUPPORTS. THE ASSEMBLY CONSISTS OF:

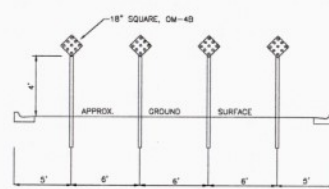
1. A GALVANIZED 3-1/8" O.D. TRAFFIC SIGN POST WITH A MINIMUM WALL THICKNESS OF .067"
 2. A TUBULAR SOCKET 2-7/8" O.D. X 12 GA. WALL THICKNESS X 29" LONG. THE SOCKET IS DESIGNED TO FACILITATE SLIDING INTO THE GROOVING AND TO ACCEPT A STANDARD 3-1/8" TRAFFIC SIGN POST, WHICH INSERTS INTO THE SOCKET.
 3. A WEDGE WHICH IS OPEN BETWEEN THE SOCKET AND THE POST AND FUNCTIONS TO LOCK THE POST INTO THE SOCKET.
- SHOULD THE POST BE DAMAGED OR OTHERWISE NEED TO BE REMOVED, THE WEDGE CAN BE REMOVED WITH A WEDGE PULLER. ANOTHER POST INSERTED, AND THE WEDGE REPLACED WITHOUT OBTAINING THE PROPER USE OF A SPECIAL WEDGE PULLER DISOCCURSORS WANGLING OF THE SIGN SYSTEM.



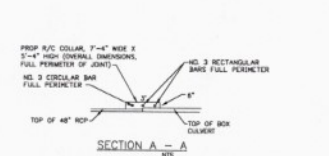
MATERIAL:
- 3 1/8" O.D. X 12 GA. GALVANIZED TUBING
- WEDGE A - 204 6-80
- WEIGHT 7.58

MATERIAL:
- 3 1/2" X 8 1/2" X 11 GA. GALVANIZED SHEET
- WEDGE A - 204 6-80
- WEIGHT 1.8

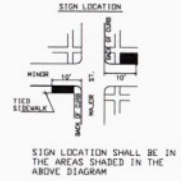
POZ-LOC SIGN SUPPORT ASSEMBLY



DETAIL - END OF ROAD BARRICADE INSTALLATION (TYPE OM - 48 OBJECT MARKERS) NTS

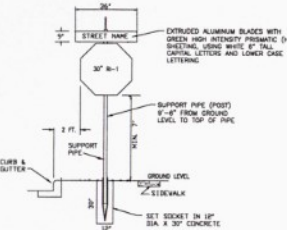


PLAN - R/C COLLAR AT JUNCTION OF 48" RCP WITH 4'X6' BOX CULVERT NTS



SIGN LOCATION SHALL BE IN THE AREAS SHADED IN THE ABOVE DIAGRAM

- NOTES:
1. ALL STREET NAME BLADES SHALL BE 8" TALL EXTRUDED ALUMINUM BLADES WITH GREEN HIGH INTENSITY PHOSPHORIC (HPI) PAINT. LETTERS AND LONG CASE LETTERING.
 2. TRIANGULAR SLIP BASE SYSTEMS ARE REQUIRED FOR RESIDENTIAL SIGN SUPPORTS THIS PROJECT.



STOP SIGN INSTALLATION FOR RESIDENTIAL INTERSECTIONS

Digitally signed by Jalal M.H. Ali Saleh, P.E. DN: cn=Jalal M.H. Ali Saleh, P.E., o=City of Corpus Christi, ou=Development Services, email=jalals@cctexas.com, c=US Date: 2020.04.14 13:47:44 -05'00'



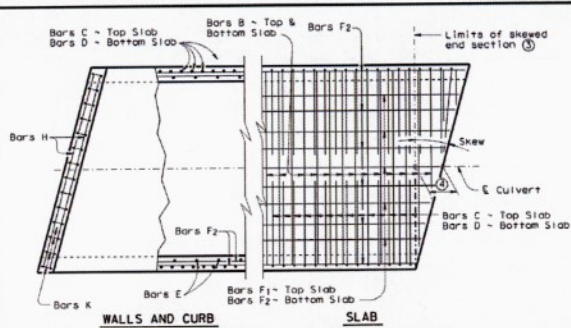
PLANS ARE RELEASED FOR CONSTRUCTION DEVELOPMENT SERVICES
CONSTRUCTION SHALL BE BASED ON CONDITIONS LATEST TO UOC 18.57 (August 2018)



BASS AND WELSH ENGINEERING			
TX REGISTRATION NO. F-52, 3054 S. ALAMEDA STREET CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1 CORPUS CHRISTI, NUECES CO., TX			
STREET, SIDEWALK AND DRAINAGE DETAILS			
OWN: N. WELSH	PLAT SCALE: 1" = 40'	CDM NO.:	STR-DET
	SCALE (V): AS SHOWN	JOB NO.:	18098
	SCALE (H): AS SHOWN	DATE PLOTTED:	06/02/20
			HEET 21 OF 33

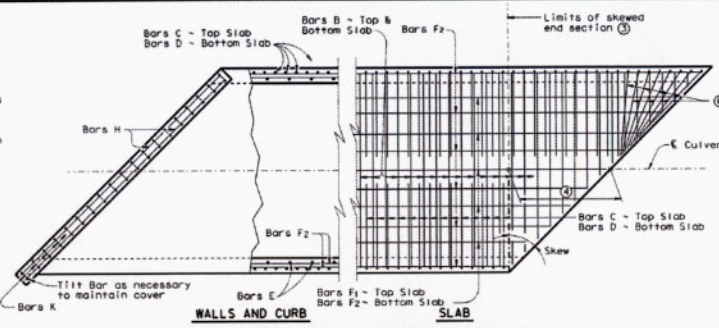
DISCLAIMER: The use of this contract is governed by the Texas Department of Transportation. The contractor shall be responsible for the accuracy of this plan and for any errors or omissions resulting therefrom.

DATE: FILE:

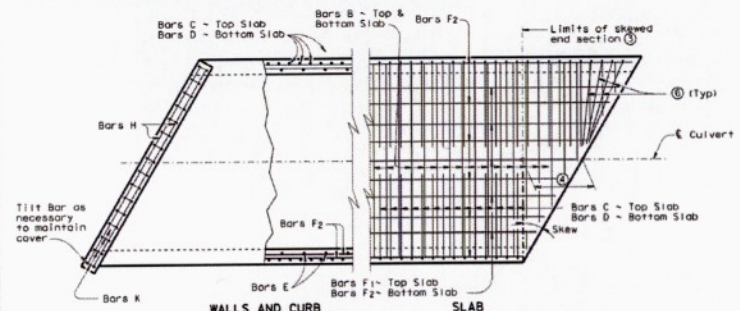


PLAN OF SKEWED ENDS ~ FROM 0° TO 15°

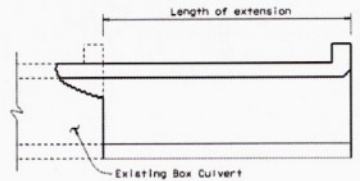
- ② When the spacing between Bars B becomes less than half of the normal spacing, bars shall be cut to avoid fouling.
- ③ The length of Bars B and E will vary in the skewed end sections.
- ④ (One half of overall width) x (Tan of the skew angle).
- ⑤ Bars F1 and F2 shall be continuous through the angle section. They shall be bent to remain parallel to the walls of the Box Culvert.
- ⑥ When necessary to avoid fouling in acute corners, the slab extension leg of Bars C and Bars D may be shortened to a minimum of 1'-6" for skew of 30° and 45°.
- ⑦ For skew of 15° or less, the contractor has the option of placing Bars B, C and D parallel to the skewed end while maintaining spacing along center line box. Lengths of Bars B shown on the standards shall be increased to accommodate the skew.



PLAN OF SKEWED ENDS ~ OVER 30° TO 45°



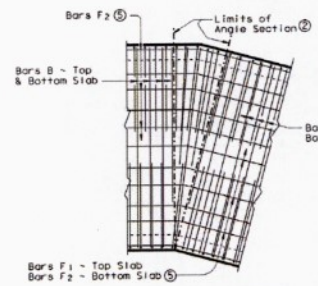
PLAN OF SKEWED ENDS ~ OVER 15° TO 30°



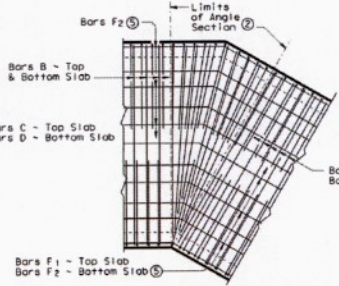
LENGTHENING DETAIL

- ① For box culverts with less than 2'-0" of fill, the top slab shall be broken back to provide a minimum 1'-10" lap of the existing longitudinal bars with the longitudinal bars in the extension. If the depth of fill is 2'-0" or greater, the top slab shall be broken back to provide a 1'-0" minimum amount of existing longitudinal reinforcing into the extension. Alternatively, if the fill height is greater than 2'-0", the existing curb may be left in place and 2'-0" long #6 bars shall be drilled and grouted 1'-0" into the existing top slab at 1'-6" center to center spacing. Wings and apron shall be broken back as necessary to install the extension. Exposed wingwall and apron reinforcing may be removed or cleaned and included in the extension. When lengthening existing box culverts with dimensions different than current standard dimensions, horizontal and vertical transitions shall be formed as directed by the Engineer. Bottom slabs shall match to maintain an uninterrupted flow line. Existing and new reinforcing shall be field bent into transition maintaining specified cover requirements.

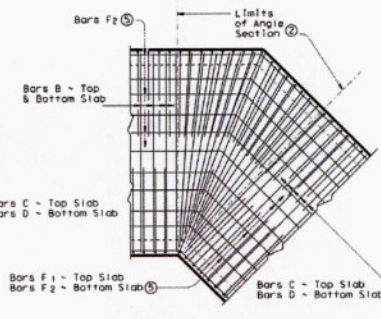
GENERAL NOTES:
 Designed according to AASHTO LRFD Specifications.
 All reinforcing steel shall be Grade 60.
 All concrete shall be Class "C" with these exceptions:
 use Class "S" for top slabs of culverts with overlay, with 1-to-2 course surface treatment, or with the top slab as the final riding surface.
 Class "C" concrete shall have a minimum compressive strength of 3,600 psi. Class "S" concrete shall have a minimum compressive strength of 4,000 psi.
 The use of permanent forms is not allowed.
 Refer to Single Box Culverts Cast-in-Place standard for details of straight sections of culvert. For skewed sections and angle sections refer to Single Box Culverts Cast-in-Place standard for slab and wall dimensions, bar sizes, maximum bar spacing, and any other details not shown. For skewed ends with curbs, adjust length of Bars H, number of Bars K, curb concrete volume and reinforcing steel weight by dividing the values shown on the culvert standards by the cosine of the skew angle.
 Laps for Bars H, when required, shall be 1'-9" for uncoated bars and 2'-7" for epoxy coated.



PLAN OF ANGLE SECTION ~ FROM 0° TO 15°



PLAN OF ANGLE SECTION ~ OVER 15° TO 30°



PLAN OF ANGLE SECTION ~ OVER 30° TO 45°

PLANS ARE RELEASED FOR CONSTRUCTION DEVELOPMENT SERVICES
 City of Corpus Christi
 Based on conditions stated in UCC 8 & 5.7 (August 2016)

HL93 LOADING

Texas Department of Transportation
 Bridge Division Standard

**SINGLE BOX CULVERTS
 CAST-IN-PLACE
 MISCELLANEOUS DETAILS**

SCC-MD

DATE	REVISION	BY	CHK	APP	APP	APP	APP
02/10/20	February 2020	LM	LM	LM	LM	LM	LM
DATE	REVISION	BY	CHK	APP	APP	APP	APP

Digitally signed by Jalal M.H. Ali Saleh, P.E.
 DN: cn=Jalal M.H. Ali Saleh, P.E., ou=City of Corpus Christi, ou=Development Services, email=jalals@ctexas.com, c=US
 Date: 2020.04.14 13:56:31 -05'00'



BASS & WELSH ENGINEERING			
TX SURVEY REG. NO. 10027-00, TX ENGINEERING REG. NO. F-52, 3004 S. ALAMEDA STREET, CORPUS CHRISTI, TEXAS 78404			
PUBLIC IMPROVEMENTS TO KING'S LANDING UNIT 1			
CORPUS CHRISTI, NUECES CO., TX			
TXDOT SINGLE BOX CULVERTS, CAST IN PLACE, MISCELLANEOUS DETAILS, SCC-MD			
DATE	SCALE	JOB NO.	SHEET NO.
04/14/20	1"=60'	1808	33
DATE PLOTTED	SCALE	DATE	SHEET NO.
04/08/20	1"=60'	04/08/20	33

NIXON M. WELSH, P.E., R.P.L.S.
 Email: NixMW@aol.com

BASS WELSH ENGINEERING
 TX Registration No. F-52
 Survey Registration No. 100027-00
 P.O. Box 6397
 Corpus Christi, TX 78466-6397

3054 S. Alameda St.

18068-PCE-
 OVERWIDTH
 03/18/2020

KING'S LANDING UNIT 1
 PRELIMINARY COST ESTIMATE
 C-3 COLLECTOR STREETS IN LIEU OF 28' RESIDENTIAL STREETS

COST OF 50'BB STREET NEGLECTING WALKS

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	8" PCCP	28345	SY	69.00	1,955,805.00
2	8" LIME STABILIZED SUBGRADE TO 2'BC	30612	SY	8.00	244,896.00
3	EXCAVATION TO 2' BC	30612	SY	2.50	76,530.00

SUBTOTAL \$2,277,231.00

DEVELOPER PORTION OF COST OF 28'BB STREET NEGLECTING WALKS

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	2" HMAC	13605	SY	18.00	244,890.00
2	6" CRUSHED LIMESTONE BASE TO 2'BC	18140	SY	15.00	272,100.00
3	8" LIME STABILIZED SUBGRADE TO 2'BC	18140	SY	8.00	145,120.00
4	6" CURB & GUTTER	10204	LF	13.50	137,754.00
4	EXCAVATION TO 2' BC	18140	SY	2.50	45,350.00

SUBTOTAL \$845,214.00

CITY PORTION EQUALS DIFFERENCE IN CONSTRUCTION COST 1,432,017.00

7.5% ENGINEERING, SURVEYING, & TESTING 107,401.28

TOTAL AMOUNT REIMBURSABLE \$1,539,418.28



Nixon M. Welsh

INSURANCE REQUIREMENTS

I. CONTRACTOR’S LIABILITY INSURANCE

- A. Contractor shall not commence work under this agreement until all insurance required herein has been obtained and approved by the City's Risk Manager or designee. Contractor must not allow any subcontractor to commence work until all similar insurance required of the subcontractor has been so obtained.
- B. Contractor shall furnish to the Risk Manager or designee two (2) copies of Certificates of Insurance, with applicable policy endorsements showing the following minimum coverage by an insurance company(s) acceptable to the Risk Manager or designee. The City must be listed as an additional insured for the General Liability policy and Business Auto Liability policy, and a waiver of subrogation is required on all applicable policies.

TYPE OF INSURANCE	MINIMUM INSURANCE COVERAGE
30-Day Notice of Cancellation required on all certificates or by policy endorsement(s)	Bodily injury and Property Damage Per Occurrence / aggregate
COMMERCIAL GENERAL LIABILITY 1. Broad Form 2. Premises – Operations 3. Products/Completed Operations Hazard 4. Contractual Liability 5. Broad Form Property Damage 6. Independent Contractors 7. Personal and Advertising Injury 8. Professional Liability (if applicable) 9. Underground Hazard (if applicable) 10. Environmental (if applicable)	\$1,000,000 Per Occurrence \$2,000,000 Aggregate
BUSINESS AUTOMOBILE LIABILITY 1. Owned 2. Hired & Non-owned 3. Rented & Leased	\$1,000,000 Combined Single Limit
WORKERS’ COMPENSATION (for paid employees)	Which Complies With The Texas Workers’ Compensation Act And Paragraph II Of This Exhibit.
EMPLOYER’S LIABILITY	\$500,000 / \$500,000 / \$500,000
PROPERTY INSURANCE	Contractor shall be responsible for insuring all owned, rented, or leased personal property for all perils.

- C. In the event of accidents of any kind related to this project, Contractor shall furnish the Risk Manager with copies of all reports of such accidents within ten (10) days of the accident.

II. ADDITIONAL REQUIREMENTS

- A. Contractor must obtain workers' compensation coverage through a licensed insurance company in accordance with Texas law. The contract for coverage must be written on a policy and endorsements approved by the Texas Department of Insurance. The coverage provided must be in amounts sufficient to assure that all workers' compensation obligations incurred will be promptly met. An "All States endorsement shall be included for Companies not domiciled in Texas.
- B. Contractor shall obtain and maintain in full force and effect for the duration of this Contract, and any extension hereof, at Contractor's sole expense, insurance coverage written on an occurrence basis, by companies authorized and admitted to do business in the State of Texas and with an A.M. Best's rating of no less than A- VII.
- C. Contractor shall be required to submit replacement certificate of insurance to City at the address provided below within 10 days of the requested change. Contractor shall pay any costs incurred resulting from said changes. All notices under this Article shall be given to City at the following address:

City of Corpus Christi
Attn: Risk Management
P.O. Box 9277
Corpus Christi, TX 78469-9277

- D. Contractor agrees that with respect to the above required insurance, all insurance policies are to contain or be endorsed to contain the following required provisions:**
- List the City and its officers, officials, employees, volunteers, and elected representatives as additional insured by endorsement, or comparable policy language, as respects to operations, completed operations and activities of, or on behalf of, the named insured performed under contract with the City.
 - The "other insurance" clause shall not apply to the City of Corpus Christi where the City is an additional insured shown on the policy;
 - Workers' compensation and employers' liability policies will provide a waiver of subrogation in favor of the City; and
 - Provide thirty (30) calendar days advance written notice directly to City of any suspension, cancellation, non-renewal or material change in coverage, and not less than ten (10) calendar days advance written notice for nonpayment of premium.
- E. City shall have the option to suspend Contractor's performance should there be a lapse in coverage at any time during this contract. Failure to provide and to maintain the required insurance shall constitute a material breach of this contract.
- F. In addition to any other remedies the City may have upon Contractor's failure to provide and maintain any insurance or policy endorsements to the extent and within the time herein required, the City shall have the right to order Contractor to stop work hereunder, and/or withhold any payment(s) which become due to Contractor hereunder until Contractor demonstrates compliance with the requirements hereof.

- G. Nothing herein contained shall be construed as limiting in any way the extent to which Contractor may be held responsible for payments of damages to persons or property resulting from Contractor's or its subcontractor's performance of the work covered under this agreement.

- H. It is agreed that Contractor's insurance shall be deemed primary and non-contributory with respect to any insurance or self insurance carried by the City of Corpus Christi for liability arising out of operations and completed operations and activities under this agreement.

- I. It is understood and agreed that the insurance required is in addition to and separate from any other obligation contained in this agreement.



City of Corpus Christi, Texas
 Department of Development Services
 P.O. Box 9277
 Corpus Christi, Texas 78469-9277
 (361) 826-3240
 Located at: 2406 Leopard Street
 (Corner of Leopard St. and Port Ave.)

DISCLOSURE OF INTERESTS

City of Corpus Christi Ordinance 17112, as amended, requires all persons or firms seeking to do business with the City to provide the following information. Every question must be answered. If the question is not applicable, answer with "NA".

NAME: SEE ATTACHED SIGNATURE SHEET

STREET: _____ **CITY:** _____ **ZIP:** _____

FIRM is: Corporation Partnership Sole Owner Association Other _____

DISCLOSURE QUESTIONS

If additional space is necessary, please use the reverse side of this page or attach separate sheet.

1. State the names of each "employee" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Job Title and City Department (if known)
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

2. State the names of each "official" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Title
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

3. State the names of each "board member" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Board, Commission, or Committee
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

4. State the names of each employee or officer of a "consultant" for the City of Corpus Christi who worked on any matter related to the subject of this contract and has an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Consultant
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

CERTIFICATE

I certify that all information provided is true and correct as of the date of this statement, that I have not knowingly withheld disclosure of any information requested; and that supplemental statements will be promptly submitted to the City of Corpus Christi, Texas as changes occur.

Certifying Person: _____ **Title:** _____
 (Print)

Signature of Certifying Person: _____ **Date:** _____

OWNERS:

The William Earl Hensch Trust
William Earl Hensch, Trustee
5027 Holly Road
Pasadena, Tx 77503
Phone: 713 417-7122

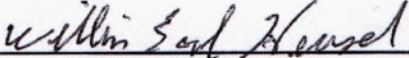
Corpus Christi Community Church
4833 Saratoga Blvd #259
Corpus Christi, Tx 78413
Scott McDonald 361 420-0022
Also, James F. Dodson
4222 Fm 665, Robstown, Tx 78380
Phone: 361 877-3222

Anna Belle Hensch
1009 Peerman Place
Corpus Christi, Tx 78411
Phone: 361 444-5800

South Texas Children's Home Land Management
Po Box 548
Beeville, Tx 78104-0548

Retta Maurine Kasper
4805 Velma
Killeen, Tx 76542
Phone: 254 462-2976

SIGNATURES

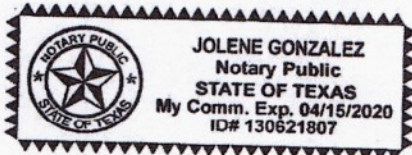


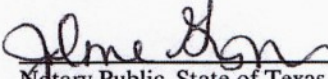
William Earl Hensch, Trustee
The William Earl Hensch Trust

STATE OF TEXAS §

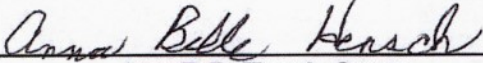
COUNTY OF NUECES §

This instrument was acknowledged before me on the 21st day of June 2019, by William Earl Hensch, Trustee, The William Earl Hensch Trust, an owner of the subject tract.





Notary Public, State of Texas



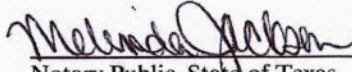
Anna Belle Hensch, Owner

STATE OF TEXAS §

COUNTY OF NUECES §

This instrument was acknowledged before me on the 17th day of June 2019, by Anna Belle Hensch, an owner of the subject tract.





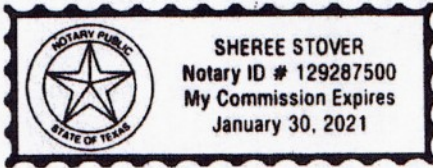
Notary Public, State of Texas

Retta Maurine Kasper
Retta Maurine Kasper, Owner

STATE OF TEXAS §

COUNTY OF NUECES §

This instrument was acknowledged before me on the 26, day of June 2019, by Retta Maurine Kasper, an owner of the subject tract.



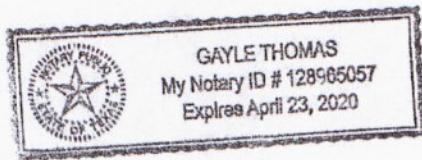
Sheree Stover
Notary Public, State of Texas

x DI G M D A
Scott McDonald, Agent
Corpus Christi Community Church

STATE OF TEXAS §

COUNTY OF NUECES §

This instrument was acknowledged before me on the 29th, day of June 2019, by Scott McDonald, Agent for Corpus Christi Community Church, an owner of the subject tract.



Gayle Thomas
Notary Public, State of Texas

Eron Green, Registered Agent
South Texas Children's Home Land Management

STATE OF TEXAS §

COUNTY OF NUECES §

This instrument was acknowledged before me on the _____, day of _____ 2019, by Eron Green as Registered Agent of South Texas Children's Home Land Management, owner of the subject tract.

Notary Public, State of Texas



City of Corpus Christi, Texas
 Department of Development Services
 P.O. Box 9277
 Corpus Christi, Texas 78469-9277
 (361) 826-3240
 Located at: 2406 Leopard Street
 (Corner of Leopard St. and Port Ave.)

DISCLOSURE OF INTERESTS

City of Corpus Christi Ordinance 17112, as amended, requires all persons or firms seeking to do business with the City to provide the following information. Every question must be answered. If the question is not applicable, answer with "NA".

NAME: SEE ATTACHED SIGNATURE SHEET

STREET: _____ **CITY:** _____ **ZIP:** _____

FIRM is: Corporation Partnership Sole Owner Association Other _____

DISCLOSURE QUESTIONS

If additional space is necessary, please use the reverse side of this page or attach separate sheet.

1. State the names of each "employee" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Job Title and City Department (if known)
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

2. State the names of each "official" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Title
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

3. State the names of each "board member" of the City of Corpus Christi having an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Board, Commission, or Committee
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

4. State the names of each employee or officer of a "consultant" for the City of Corpus Christi who worked on any matter related to the subject of this contract and has an "ownership interest" constituting 3% or more of the ownership in the above named "firm".

Name	Consultant
<u>N/A</u>	<u>N/A</u>
_____	_____
_____	_____

CERTIFICATE

I certify that all information provided is true and correct as of the date of this statement, that I have not knowingly withheld disclosure of any information requested; and that supplemental statements will be promptly submitted to the City of Corpus Christi, Texas as changes occur.

Certifying Person: Moss M. Oster
 (Print)

Title: General Partner

Signature of Certifying Person: _____

Date: _____

DEFINITIONS

- a. "Board Member". A member of any board, commission or committee appointed by the City Council of the City of Corpus Christi, Texas.
- b. "Employee". Any person employed by the City of Corpus Christi, Texas, either on a full or part time basis, but not as an independent contractor.
- c. "Firm". Any entity operated for economic gain, whether professional, industrial or commercial and whether established to produce or deal with a product or service, including but not limited to, entities operated in the form of sole proprietorship, as self-employed person, partnership, corporation, joint stock company, joint venture, receivership or trust and entities which, for purposes of taxation, are treated as non-profit organizations.
- d. "Official". The Mayor, members of the City Council, City Manager, Deputy City Manager, Assistant City Managers, Department and Division Heads and Municipal Court Judges of the City of Corpus Christi, Texas.
- e. "Ownership Interest". Legal or equitable interest, whether actually or constructively held, in a firm, including when such interest is held through an agent, trust, estate or holding entity. "Constructively held" refers to holding or control established through voting trusts, proxies or special terms of venture or partnership agreements.
- f. "Consultant". Any person or firm, such as engineers and architects, hired by the City of Corpus Christi for the purpose of professional consultation and recommendation.



VG-50-2020-2020020941

Nueces County
Kara Sands
Nueces County Clerk

Instrument Number: 2020020941

Official Public Records

AGREEMENT

Recorded On: May 26, 2020 08:56 AM

Number of Pages: 63

" Examined and Charged as Follows: "

Total Recording: \$255.00



STATE OF TEXAS

Nueces County

I hereby certify that this Instrument was filed in the File Number sequence on the date/time printed hereon, and was duly recorded in the Official Records of Nueces County, Texas

Kara Sands
Nueces County Clerk
Nueces County, TX

***** **THIS PAGE IS PART OF THE INSTRUMENT** *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

File Information:

Document Number: 2020020941
Receipt Number: 20200526000040
Recorded Date/Time: May 26, 2020 08:56 AM
User: Melissa H
Station: CLERK07

Record and Return To:

DEVELOPMENT SERVICES CITY OF CC
2406 LEOPARD STREET
CORPUS CHRISTI TX 78408

AMENDMENT OF PARTICIPATION AGREEMENT

This is an amendment to the Participation Agreement for Oversizing Streets and Drainage Crossing, Document number 2020020941, originally dated May 20, 2020, by and between: MPM Development, LP and the City of Corpus Christi.

NOW, THEREFORE, in consideration of the mutual covenants herein, the Parties agree to amend Participation Agreement for Oversizing Streets and Drainage Crossing, with the following addendum as follows:

Section 16 (a) is amended as follows:

Section 16. Reimbursement.

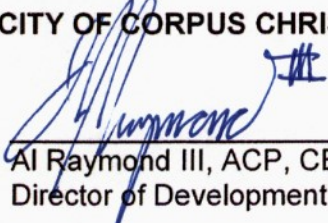
- a. The maximum reimbursable amount pursuant to Section 212.071 \$ Developer Participation & 212.072 of the Texas Local Government Code and UDC §8.4.1. for the Participation Agreement is increased in the amount of \$30,788.37 as shown in exhibit 3 for a total of \$1,570,206.65. Notwithstanding any other provisions in the participation agreement, the City will reimburse the Developer/Owner the reasonable actual cost of the Streets Oversizing Construction up to an amount not to exceed \$1,570,206.65, the contents of such exhibit being incorporated by reference into this Agreement.

Exhibit 3 addendum. Increase in cost estimate in the amount of \$30,788.37 for additional expenses associated with the project.

All other terms and conditions of the original agreement remain effective and in full force.

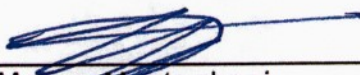
EXECUTED IN ONE ORIGINAL and made effective this 6 day of October, 2020.

CITY OF CORPUS CHRISTI



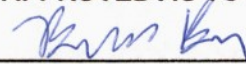
Al Raymond III, ACP, CBO
Director of Development Services

MPM Development, LP



Mossa Mostaghasi,
General Partner

APPROVED AS TO FORM:




9-29-20 (date)

Buck Brice
Assistant City Attorney
for the City Attorney

ATTEST: 

REBECCA HUERTA
CITY SECRETARY

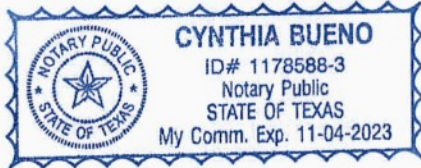
Res. 032231 AUTHORIZED
BY COUNCIL 9-29-2020

SECRETARY SB

STATE OF TEXAS

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§
§

COUNTY OF Nueces

This instrument was acknowledged before me on 27 day of August, 2020, by Mossa Mostaghassi, General Partner, MPM Development, LP, A Texas limited partnership.



Cynthia Bueno
Notary Public's Signature

INVOICE

July 23, 2020

MPM Development
 Po Box 331308
 Corpus Christi, TX 78463

Eff Date	Exp Date	Insurance Company	Description	Amount
5/20/20	Til Finished	Ohio Casualty	Bond-Road Extension- \$1,539,418.28	\$30,788.37
6/25/20	Til Finished	Ohio Casualty	Bond-Water Main - \$1,028,126.29	\$20,562.52
Comments:				Total
				50,350.89

Paid in full 07/15/2020

Paid in full 07/15/20.

Bankers Insurance Services PO Box 33012 St. Petersburg, FL 33733	(877)219-6519 bbis@bbisinsurance.com
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NIXON M. WELSH, P.E., R.P.L.S.
 Email: NixMW@aol.com

BASS WELSH ENGINEERING
 TX Registration No. F-52
 Survey Registration No. 100027-00
 P.O. Box 6397
 Corpus Christi, TX 78466-6397

3054 S. Alameda St.

18068-PCE-
 OVERWIDTH
 03/18/2020

KING'S LANDING UNIT 1
 PRELIMINARY COST ESTIMATE
 C-3 COLLECTOR STREETS IN LIEU OF 28' RESIDENTIAL STREETS

COST OF 50'BB STREET NEGLECTING WALKS

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	8" PCCP	28345	SY	69.00	1,955,805.00
2	8" LIME STABILIZED SUBGRADE TO 2'BC	30612	SY	8.00	244,896.00
3	EXCAVATION TO 2' BC	30612	SY	2.50	76,530.00

SUBTOTAL \$2,277,231.00

DEVELOPER PORTION OF COST OF 28'BB STREET NEGLECTING WALKS

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	2" HMAC	13605	SY	18.00	244,890.00
2	6" CRUSHED LIMESTONE BASE TO 2'BC	18140	SY	15.00	272,100.00
3	8" LIME STABILIZED SUBGRADE TO 2'BC	18140	SY	8.00	145,120.00
4	6" CURB & GUTTER	10204	LF	13.50	137,754.00
4	EXCAVATION TO 2' BC	18140	SY	2.50	45,350.00

SUBTOTAL \$845,214.00

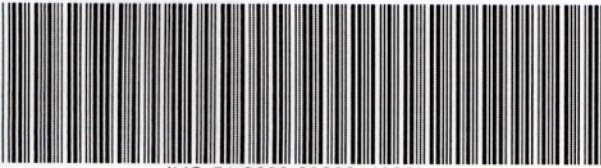
CITY PORTION EQUALS DIFFERENCE IN CONSTRUCTION COST 1,432,017.00

7.5% ENGINEERING, SURVEYING, & TESTING 107,401.28

TOTAL AMOUNT REIMBURSABLE \$1,539,418.28



Nixon M. Welsh



VG-51-2020-2020044886

Nueces County
Kara Sands
Nueces County Clerk

Instrument Number: 2020044886

Official Public Records

AMENDMENT

Recorded On: October 06, 2020 10:32 AM

Number of Pages: 5

" Examined and Charged as Follows: "

Total Recording: \$33.00



**STATE OF TEXAS
Nueces County**

I hereby certify that this Instrument was filed in the File Number sequence on the date/time printed hereon, and was duly recorded in the Official Records of Nueces County, Texas

Kara Sands
Nueces County Clerk
Nueces County, TX

***** THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

File Information:

Document Number: 2020044886
Receipt Number: 20201006000072
Recorded Date/Time: October 06, 2020 10:32 AM
User: Regina C
Station: CLERK03

Record and Return To:

DEVELOPMENT SERVICES CITY OF CC
2406 LEOPARD STREET
CORPUS CHRISTI TX 78408