

Ordinance amending the Unified Development Code (“UDC”), upon application by MVR Construction Company (“Owner”), by changing the UDC Zoning Map in reference to Country Club Estates Unit 20, Block 1, Lot 1, from the “RS-6” Single-Family 6 District to the “RS-6/PUD” Single-Family 6 District with a Planned Unit Development; amending the Comprehensive Plan to account for any deviations; and providing for a repealer clause and publication.

WHEREAS, the Planning Commission has forwarded to the City Council its final report and recommendation regarding the application of MVR Construction Company. (“Owner”), for an amendment to the City of Corpus Christi’s Unified Development Code (“UDC”) and corresponding UDC Zoning Map;

WHEREAS, with proper notice to the public, a public hearing was held on Wednesday, June 14, 2017, during a meeting of the Planning Commission. The Planning Commission recommended approval of the change of zoning from the “RS-6” Single-Family 6 District to the “RS-6/PUD” Single-Family 6 District with a Planned Unit Development, and on Tuesday, July 11, 2017, during a meeting of the City Council, during which all interested persons were allowed to appear and be heard; and

WHEREAS, the City Council has determined that this amendment would best serve the public health, necessity, convenience and general welfare of the City of Corpus Christi and its citizens.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORPUS CHRISTI, TEXAS:

SECTION 1. Upon application made by MVR Construction Company (“Owner”), the Unified Development Code (“UDC”) of the City of Corpus Christi, Texas (“City”), is amended by changing the zoning on a property described as Country Club Estates Unit 20, Block 1, Lot 1. The property is located along the east side of Aaron Drive, north of Bratton Road, and south of Acushnet Drive (the “Property”), from the “RS-6” Single-Family 6 District to the “RS-6/PUD” Single-Family 6 District with a Planned Unit Development (Zoning Map No. 046034), as shown in Exhibits “A” and “B”. Exhibit A, which is a map of the Property, and Exhibit B, which is Country Club Estates Unit 20 Planned Unit Development (PUD) Guidelines and Master Site Plan for the Property, are attached to and incorporated in this ordinance by reference as if fully set out herein in their entirety.

SECTION 2. The Planned Unit Development (PUD) granted in Section 1 of this ordinance is subject to the Owner meeting the requirements of Exhibit B and the following conditions:

- 1. Planned Unit Development Guidelines and Master Site Plan:** The Owners shall develop the Property in accordance with Country Club Estates Unit 20 Planned Unit Development (PUD) Guidelines and Master Site Plan. The development of the Property is to consist of 73 single-family residences.
- 2. Dwelling Units per Acre:** The density of dwelling units on the Property shall not exceed 7.71 dwelling units per acre.

3. **Lot Size:** The minimum size of any lot within the Property development is 3,500 square feet.
4. **Setbacks and Lot Width:** The minimum street yard is 15 feet. On a corner lot, the street yard may not be less than 5 feet. The minimum lot width may not be less than 44 feet.
5. **Public Right-of-Way:** The public right-of-way shall be constructed as identified on the master site plan. The public right-of-way must be no less than 40 feet in width with a 5 foot sidewalk on one side of the street.
6. **Other Requirements:** The Special Permit conditions listed herein do not preclude compliance with other applicable UDC, and Building and Fire Code Requirements.
7. **Time Limit:** An approved development plan shall expire 24 months after the date that the development plan was approved, unless a complete building permit application has been submitted or, if no building permit is required, a certificate of occupancy has been issued.

SECTION 3. The official UDC Zoning Map of the City is amended to reflect changes made to the UDC by Section 1 of this ordinance.

SECTION 4. The UDC and corresponding UDC Zoning Map of the City, made effective July 1, 2011, and as amended from time to time, except as changed by this ordinance, both remain in full force and effect.

SECTION 5. To the extent this amendment to the UDC represents a deviation from the City's Comprehensive Plan, the Comprehensive Plan is amended to conform to the UDC, as it is amended by this ordinance.

SECTION 6. All ordinances or parts of ordinances specifically pertaining to the zoning of the Property and that are in conflict with this ordinance are hereby expressly repealed.

SECTION 7. Publication shall be made in the City's official publication as required by the City's Charter.

That the foregoing ordinance was read for the first time and passed to its second reading on this the _____ day of _____, 2017, by the following vote:

Joe McComb	_____	Ben Molina	_____
Rudy Garza	_____	Lucy Rubio	_____
Paulette Guajardo	_____	Greg Smith	_____
Michael Hunter	_____	Carolyn Vaughn	_____
Debbie Lindsey-Opel	_____		

That the foregoing ordinance was read for the second time and passed finally on this the _____ day of _____, 2017, by the following vote:

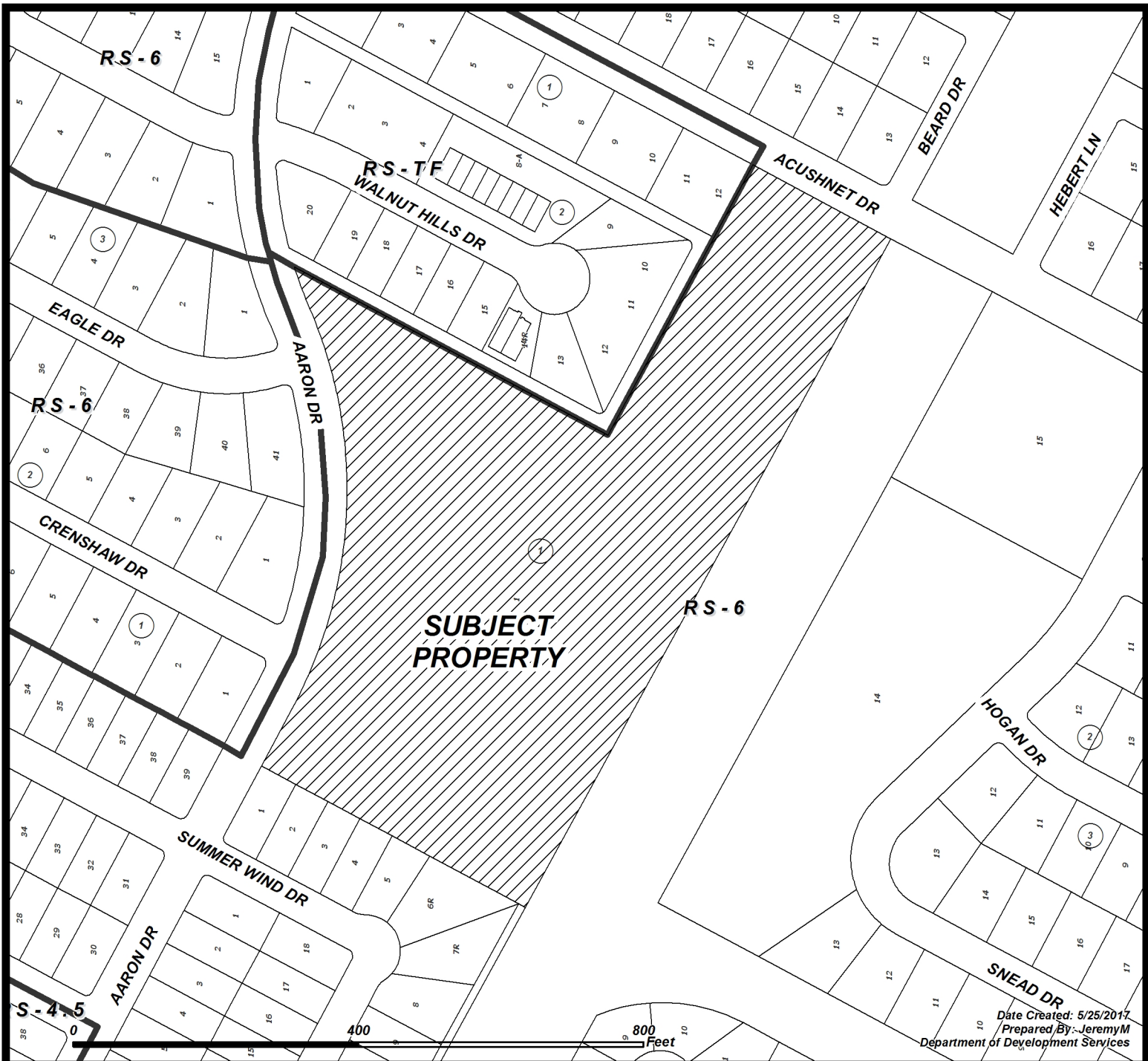
Joe McComb	_____	Ben Molina	_____
Rudy Garza	_____	Lucy Rubio	_____
Paulette Guajardo	_____	Greg Smith	_____
Michael Hunter	_____	Carolyn Vaughn	_____
Debbie Lindsey-Opel	_____		

PASSED AND APPROVED on this the _____ day of _____, 2017.

ATTEST:

Rebecca Huerta
City Secretary

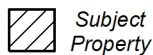
Joe McComb
Mayor



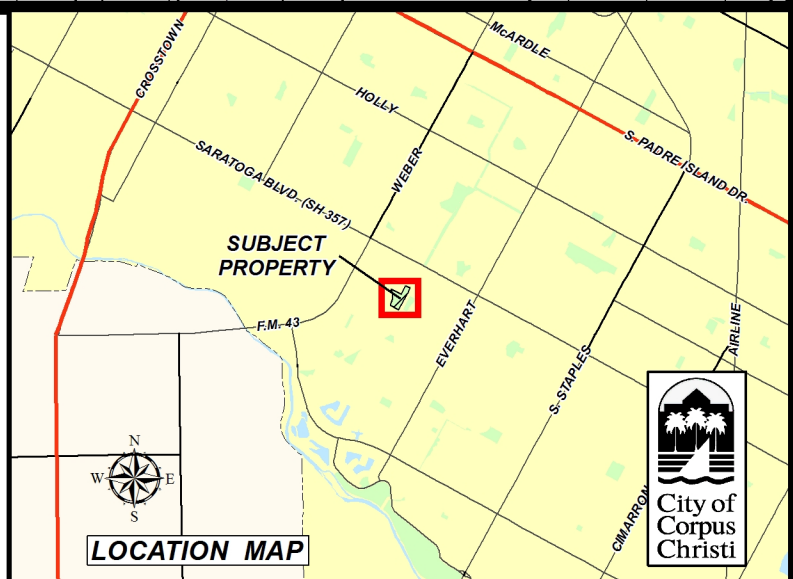
Date Created: 5/25/2017
 Prepared By: Jeremy M
 Department of Development Services

CASE: 0617-01

SUBJECT PROPERTY WITH ZONING



RM-1	Multifamily 1	IL	Light Industrial
RM-2	Multifamily 2	IH	Heavy Industrial
RM-3	Multifamily 3	PUD	Planned Unit Dev. Overlay
ON	Professional Office	RS-10	Single-Family 10
RM-AT	Multifamily AT	RS-6	Single-Family 6
CN-1	Neighborhood Commercial	RS-4.5	Single-Family 4.5
CN-2	Neighborhood Commercial	RS-TF	Two-Family
CR-1	Resort Commercial	RS-15	Single-Family 15
CR-2	Resort Commercial	RE	Residential Estate
CG-1	General Commercial	RS-TH	Townhouse
CG-2	General Commercial	SP	Special Permit
CI	Intensive Commercial	RV	Recreational Vehicle Park
CBD	Downtown Commercial	RMH	Manufactured Home
CR-3	Resort Commercial		
FR	Farm Rural		
H	Historic Overlay		
BP	Business Park		



Country Club Estates Unit 20

P.U.D.

Corpus Christi, Texas

Owner/Developer

MVR Construction Company, a Texas corporation

Submitted by

Urban Engineering

February 22, 2017

Revised: May 3, 2017



TBPE Firm #145 TBPLS Firm #10032400

2725 Swantner Drive, Corpus Christi, Texas 78404

Phone: (361)854-3101 Fax: (361) 854-6001

Country Club Estates Unit 20

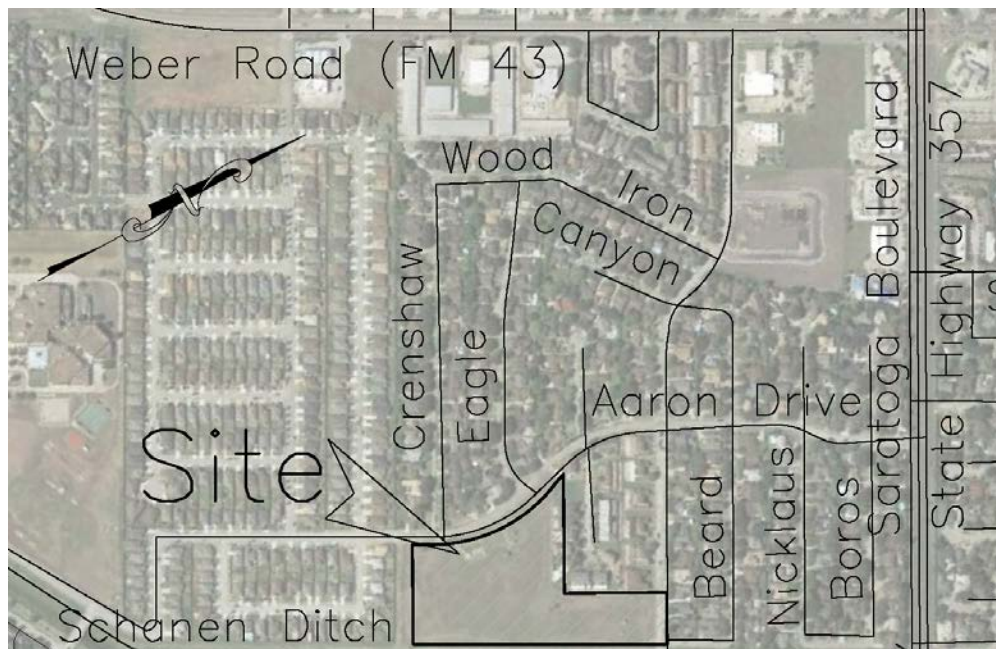
P.U.D.

Corpus Christi, Texas

Development Description:

Country Club Estates Unit 20, Planned Unit Development (PUD) is a proposed single family residence development. The owner is proposing 73 single family residential lots that will be completed in a single phase. The developer is requesting a change of zoning from RS-6 to RS-6/PUD to allow deviations from the Unified Development Code. Deviations will include sidewalks on one side of the streets, 40' Wide Right-of-ways, 15' front yard setbacks, 5' yard setback on street corner, 10' radius at all block corners, minimum lot size of 3,500 square feet, minimum lot width of 44' and 10' side yard adjacent to 20' side yard along Acushnet. This development will complement existing developments in the area.

Location Map:



Development Standards per City of Corpus Christi Unified Development Code

Minimum Lot Area – 6,000sf
Minimum Lot Width – 50'
Minimum Street Yard – 25'
Minimum Street Yard (Corner) – 10'
Minimum Side Yard – 5'
Minimum Side Yard (Total) – 10'
Minimum Rear Yard – 5'
Minimum Open Space – 30%
Maximum Height – 35'
Required Parking (off street): 2 per Unit
Curb Type – 6" Curb and Gutter
Sidewalks – 5' on each side
Paved Street Width – 28'
ROW Width – 50'

PUD Requirements

Minimum Lot Area – 3,500sf
Minimum Lot Width – 44'
Minimum Street Yard – 15'
Minimum Street Yard (Corner) – 5'
Minimum Side Yard – 5'
Minimum Side Yard (Total) – 10'
Minimum Rear Yard – 5'
Minimum Open Space – 30%
Maximum Height – 35'
Required Parking (off street): 2 per Unit
Curb Type – 6" Curb and Gutter
Sidewalks – 5' on one side
Paved Street Width – 28'
ROW Width – 40'

Amenities to include:

Speed Hump
5' Sidewalk
Neighborhood Entry Feature and wall with landscape
Lower traffic speed (25mph)

Adjacent Land Use and Zoning

Adjacent Land Use/Zoning:

North – RS-TF/Townhomes and
RS-6/Subdivision

South – RS-6/Subdivision

East – RS-6/Schanen Ditch

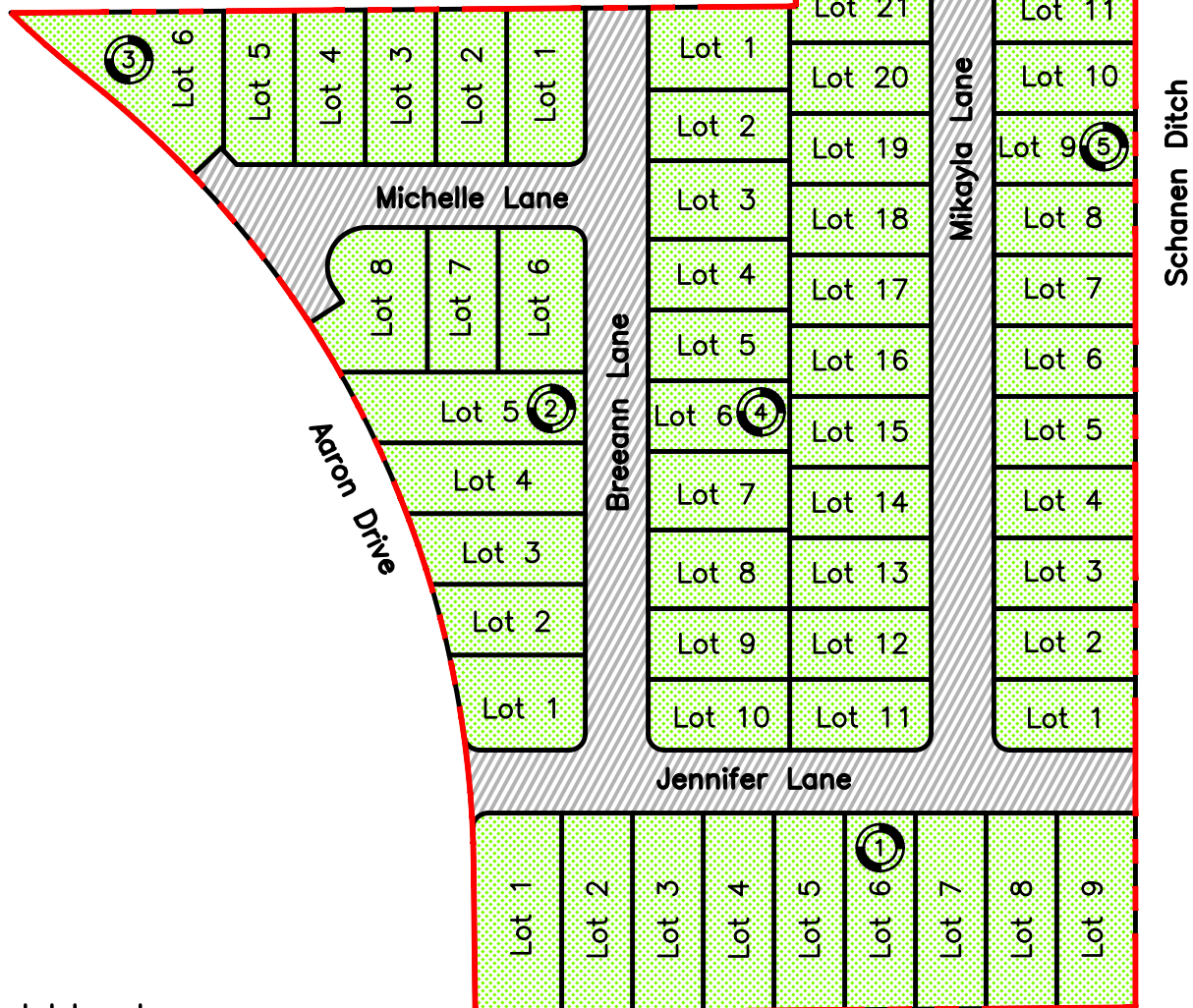
West – RS-6/Subdivision

Legend:

--- Planned Unit Development
(PUD) Boundary

Residential Lot

Streets

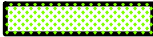
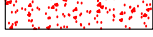


Lot Layout



Revised: 5/3/17
Submitted: 2/22/17
SCALE: 1"=120'
JOB NO.: 40706.B7.01
SHEET: 4 of 13
DRAWN BY: XG
urbansurvey1@urbaneng.com

Legend:

-  Planned Unit Development (PUD) Boundary
-  Residential Lot
-  Street Pavement
-  Proposed Sidewalk
-  Existing Sidewalk
-  Speed Hump



Vehicular and Pedestrian Access

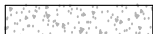
Vehicular Access will be provided via a 28' wide road from back of curb to back of curb. Pedestrian Access will be provided via 5' wide tied sidewalks located on one side of each street as shown.



2725 Swantner St., Corpus Christi, TX 78404
 TBPE Firm No. 145 TBPLS Firm No. 10032400
 PHONE: (361) 854-3101 FAX: (361) 854-6001

Revised: 5/3/17
 Submitted: 2/22/17
 SCALE: 1"=120'
 JOB NO.: 40706.B7.01
 SHEET: 5 of 13
 DRAWN BY: XG
 urbansurvey1@urbaneng.com

Legend:

-  Planned Unit Development (PUD) Boundary
 -  Residential Lot (2 On-site Parking Spaces)
 -  Street Pavement
 -  Proposed Sidewalk
 -  Existing Sidewalk
 -  Speed Hump
- Required Parking:** 2 Spaces Per Unit

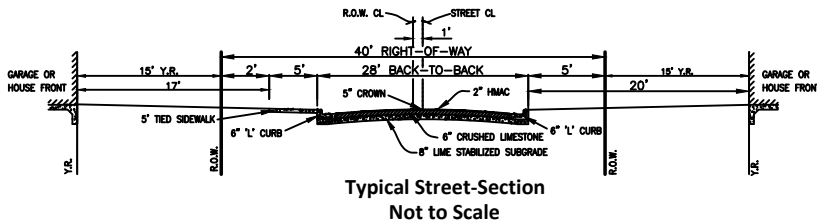


Revised: 5/3/17
 Submitted: 2/22/17
 SCALE: 1"=120'
 JOB NO.: 40706.B7.01
 SHEET: 6 of 13
 DRAWN BY: XG
 urbansurvey1@urbaneng.com

Legend:

- Planned Unit Development (PUD) Boundary
- Residential Lot
- Street Pavement
- Proposed Sidewalk
- Existing Sidewalk
- Speed Hump

Existing Sidewalk Acushnet Drive Existing Sidewalk



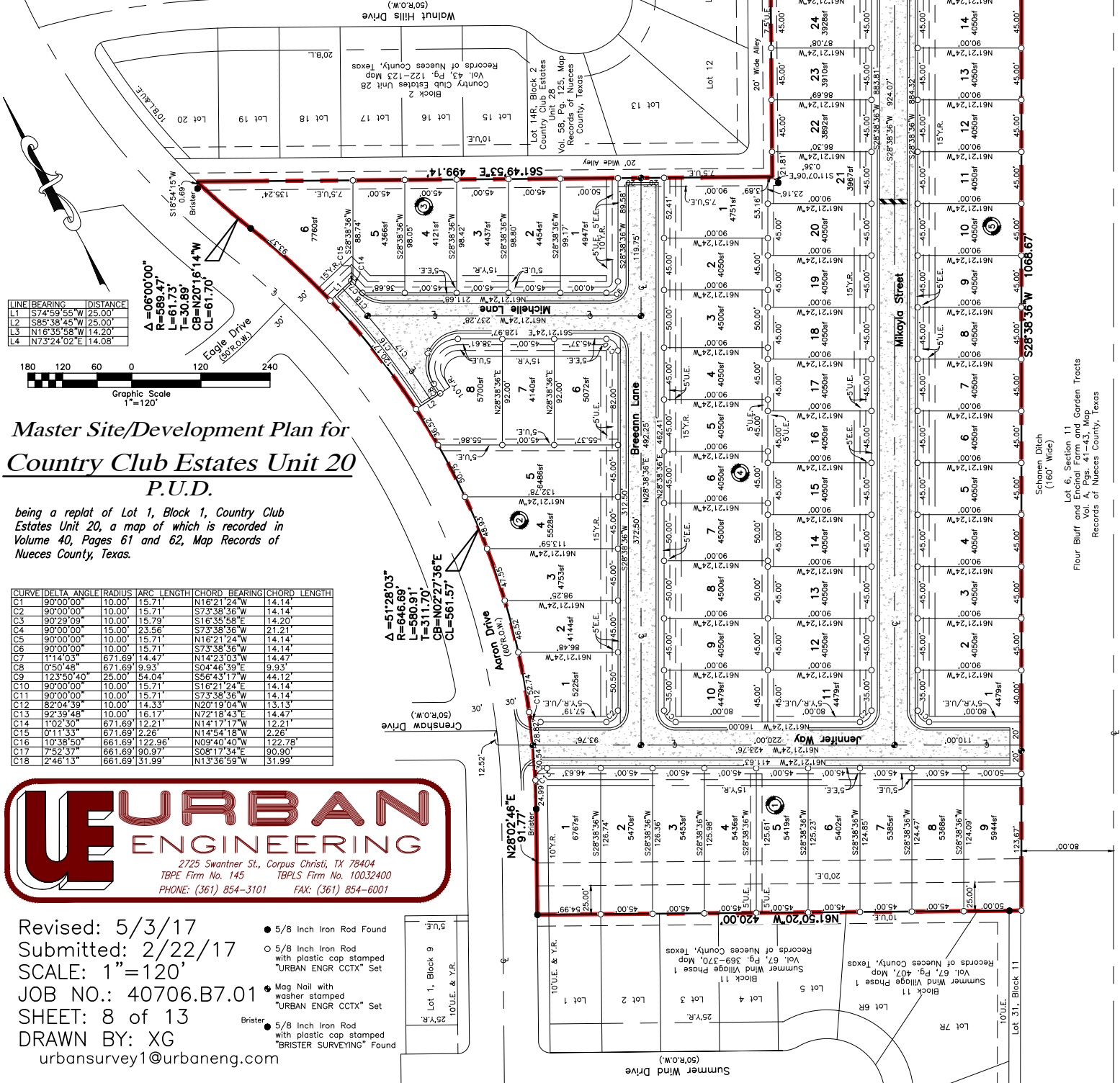
Revised: 5/3/17
Submitted: 2/22/17
SCALE: 1"=120'
JOB NO.: 40706.B7.01
SHEET: 7 of 13
DRAWN BY: XG
urbansurvey1@urbaneng.com

Legend:

Planned Unit Development
(PUD) Boundary

Notes:

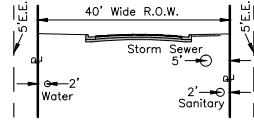
1. Total platted area contains 9.46 Acres of Land. (Includes Street Dedication)
2. The receiving water for the storm water runoff from this property is the Oso Creek. The TCEQ has not classified the aquatic life use for the Oso Creek, but it is recognized as an environmentally sensitive area. The Oso Creek flows directly into the Oso Bay. The TCEQ has classified the aquatic life use for the Oso Bay as "exceptional" and "oyster waters" and categorized the receiving water as "contact recreation" use.
3. Grid Bearings and Distances shown hereon are referenced to the Texas Coordinate System of 1983, Texas South Zone 4205, and are based on the North American Datum of 1983(2011) Epoch 2010.00.
4. By graphic plotting only, this property is in Zone "C" on Flood Insurance Rate Map, Community Panel No. 485464 0283 C, City of Corpus Christi, Texas, which bears an effective date of July 18, 1985 and it is not in a Special Flood Hazard Area.
5. The yard requirement, as depicted is a requirement of this Planned Unit Development and is subject to change as the zoning may change.
6. Access to Aaron Drive from Lot 1, Block 1, Lots 1, 2, 3, 4, 5, 8, Block 2 and Lot 6, Block 3 is prohibited. Access to Acushnet Drive from Lot 30, Block 4 and Lot 20, Block 5 is prohibited. Access to Lots 1 through 6, Block 3, Lot 1, Block 4 and Lots 21 through 28 to 20' Wide Alley is also prohibited.



Legend:

Planned Unit Development (PUD) Boundary

- Proposed Storm Sewer Line
- Proposed Slot Inlet
- ⊙ Proposed Storm Sewer Manhole
- Proposed Water Line
- Proposed Sanitary Sewer Line
- Proposed Sanitary Sewer Manhole
- Proposed Fire Hydrant
- Existing Storm Sewer Line (GIS)
- Existing Slot Inlet
- Existing Storm Sewer Manhole
- Existing Waterline (GIS)
- Existing Sanitary Sewer Line (GIS)
- Existing Gas Line (GIS)
- Existing Fire Hydrant
- Existing Sanitary Sewer Manhole



LINE BEARING	DISTANCE
L1 S74°59'55" W	25.00'
L2 S85°38'45" W	25.00'
L3 N16°35'58" W	14.20'
L4 N73°24'02" E	14.08'

$$\Delta = 66^{\circ}00'00''$$

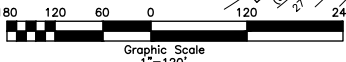
$$R = 589.47'$$

$$L = 61.73'$$

$$T = 30.89'$$

$$CB = N20^{\circ}16'14'' W$$

$$CL = 61.70'$$



Utility Plan

Country Club Estates Unit 20 P.U.D.

being a replat of Lot 1, Block 1, Country Club Estates Unit 20, a map of which is recorded in Volume 40, Pages 61 and 62, Map Records of Nueces County, Texas.

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	90°00'00"	10.00'	15.71'	N16°21'24" W	14.14'
C2	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C3	90°29'09"	10.00'	15.79'	S16°35'58" E	14.20'
C4	90°00'00"	10.00'	23.56'	S73°38'36" W	21.21'
C5	90°00'00"	10.00'	15.71'	N16°21'24" W	14.14'
C6	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C7	11°14'03"	671.69'	14.47'	N14°23'03" W	14.47'
C8	0°50'48"	671.69'	9.93'	S04°46'39" E	9.93'
C9	12°35'40"	25.00'	64.04'	S56°43'17" W	44.12'
C10	90°00'00"	10.00'	15.71'	S16°21'24" E	14.14'
C11	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C12	10°14'03"	671.69'	14.47'	N14°23'03" W	14.47'
C13	0°50'48"	671.69'	9.93'	S04°46'39" E	9.93'
C14	12°35'40"	25.00'	64.04'	S56°43'17" W	44.12'
C15	10°14'03"	671.69'	14.47'	N14°23'03" W	14.47'
C16	10°38'50"	661.69'	122.96'	N06°50'40" W	122.78'
C17	75°52'37"	661.69'	90.97'	N17°17'34" E	90.90'
C18	2°46'13"	661.69'	31.99'	N13°36'36" W	31.99'

$$\Delta = 51^{\circ}28'03''$$

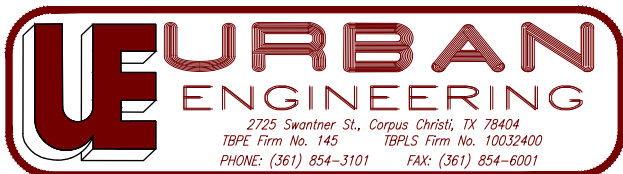
$$R = 646.69'$$

$$L = 580.91'$$

$$T = 311.70'$$

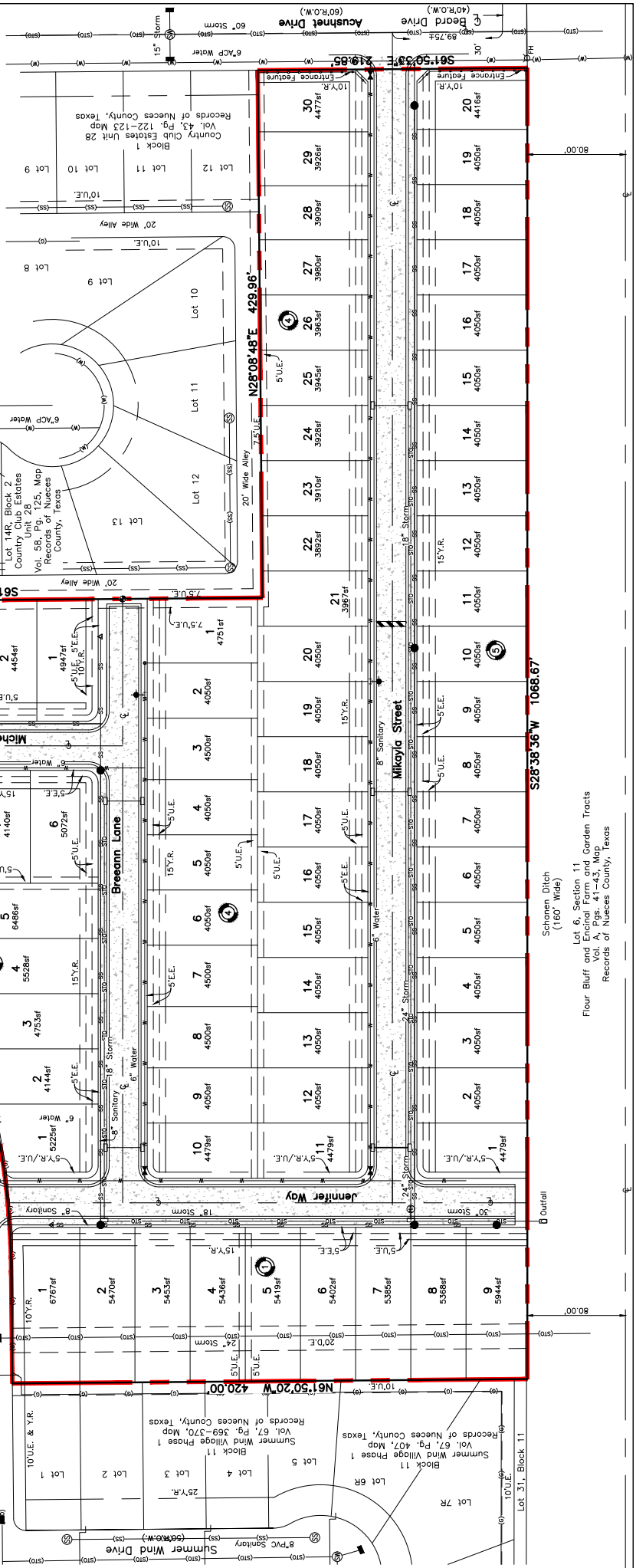
$$CB = N02^{\circ}27'36'' E$$

$$CL = 561.57'$$



Revised: 5/3/17
Submitted: 2/22/17
SCALE: 1"=120'
JOB NO.: 40706.B7.01
SHEET: 9 of 13
DRAWN BY: XG
urbansurvey1@urbaneng.com

- 5/8" Inch Iron Rod Found
- 5/8" Inch Iron Rod with plastic cap stamped "URBAN ENGR CCTX" Set
- Mag Nail with washer stamped "URBAN ENGR CCTX" Set
- Brister
- 5/8" Inch Iron Rod with plastic cap stamped "BRISTER SURVEYING" Found



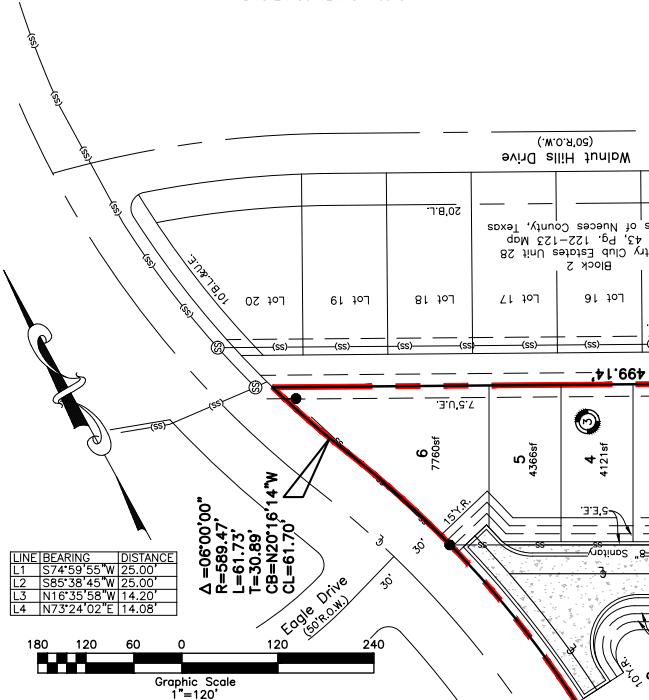
Schollen Ditch
(160' Wide)

Lot 6, Section 11, Garden Tracts
Flour Bluff and Emerald Farm and
Vol. 44, Map 44, Map Records of
Nueces County, Texas

Legend:

Planned Unit Development
(PUD) Boundary

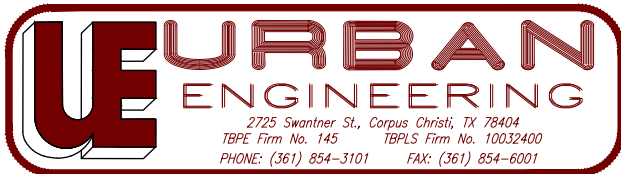
- Proposed Sanitary Sewer Line
- Proposed Sanitary Sewer Manhole
- Existing Sanitary Sewer Line
- ⊙ Existing Sanitary Sewer Manhole
- 5/8 Inch Iron Rod Found
- 5/8 Inch Iron Rod with plastic cap stamped "URBAN ENGR CCTX" Set
- Mag Nail with washer stamped "URBAN ENGR CCTX" Set
- 5/8 Inch Iron Rod with plastic cap stamped "BRISTER SURVEYING" Found



Utility Plan - Sanitary Country Club Estates Unit 20 P.U.D.

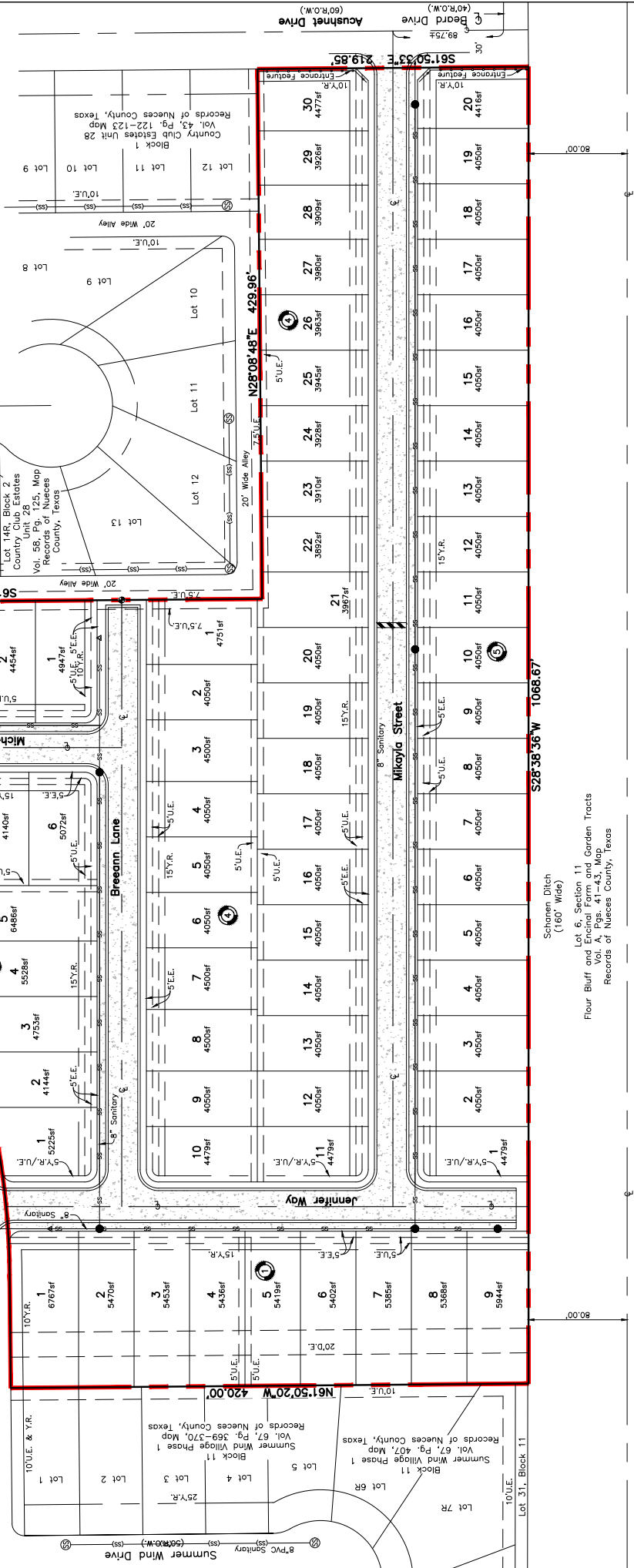
being a replat of Lot 1, Block 1, Country Club Estates Unit 20, a map of which is recorded in Volume 40, Pages 61 and 62, Map Records of Nueces County, Texas.

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	90°00'00"	10.00'	15.71'	N16°21'24" W	14.14'
C2	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C3	90°29'09"	10.00'	15.79'	S16°35'58" E	14.20'
C4	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C5	90°00'00"	10.00'	15.71'	N16°21'24" W	14.14'
C6	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C7	1°14'03"	671.69'	14.47'	N14°23'03" W	14.47'
C8	0°50'48"	671.69'	9.93'	S04°46'39" E	9.93'
C9	12°35'04"	25.00'	64.04'	S56°43'17" W	44.12'
C10	90°00'00"	10.00'	15.71'	S16°21'24" E	14.14'
C11	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C12	10°14'03"	10.00'	14.33'	N02°04'36" W	13.13'
C13	0°50'48"	671.69'	16.17'	S04°46'39" E	14.47'
C14	1°02'30"	671.69'	12.21'	N14°17'17" W	12.21'
C15	10°13'33"	671.69'	2.26'	N14°54'18" W	2.26'
C16	10°38'50"	671.69'	122.96'	N06°04'40" W	122.78'
C17	7°52'37"	661.69'	90.97'	S08°05'34" E	90.90'
C18	2°46'13"	661.69'	31.99'	N13°36'36" W	31.99'



Revised: 5/3/17
Submitted: 2/22/17
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- 5/8 Inch Iron Rod Found
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- Mag Nail with washer stamped "URBAN ENGR CCTX" Set
- 5/8 Inch Iron Rod with plastic cap stamped "BRISTER SURVEYING" Found

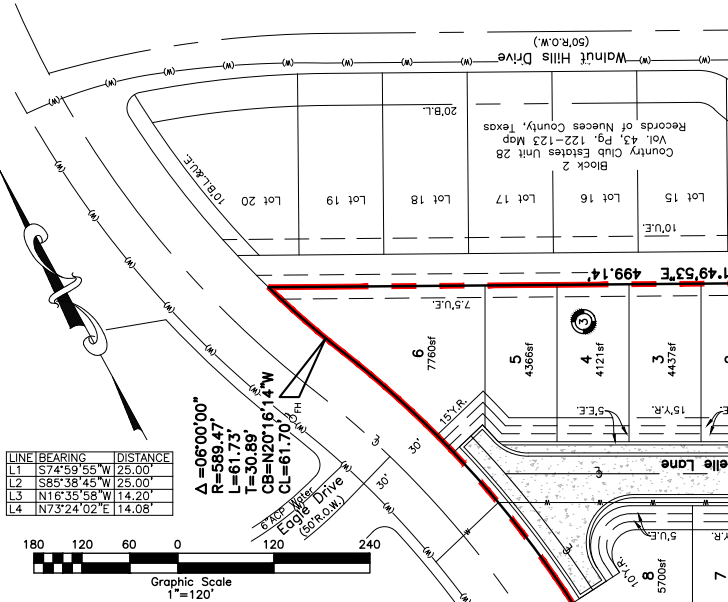


Flour Bluff and Etrial Farm and Vol. 44, Map Records of Nueces County, Texas

Legend:

Planned Unit Development
(PUD) Boundary

- Proposed Water Line
- Proposed Fire Hydrant
- Existing Waterline (GIS)
- Existing Fire Hydrant

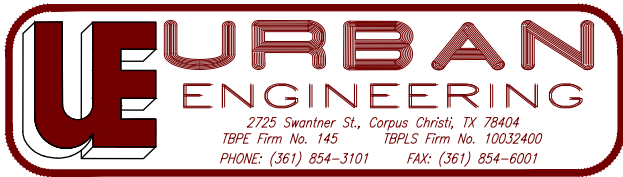


Utility Plan - Water

Country Club Estates Unit 20 P.U.D.

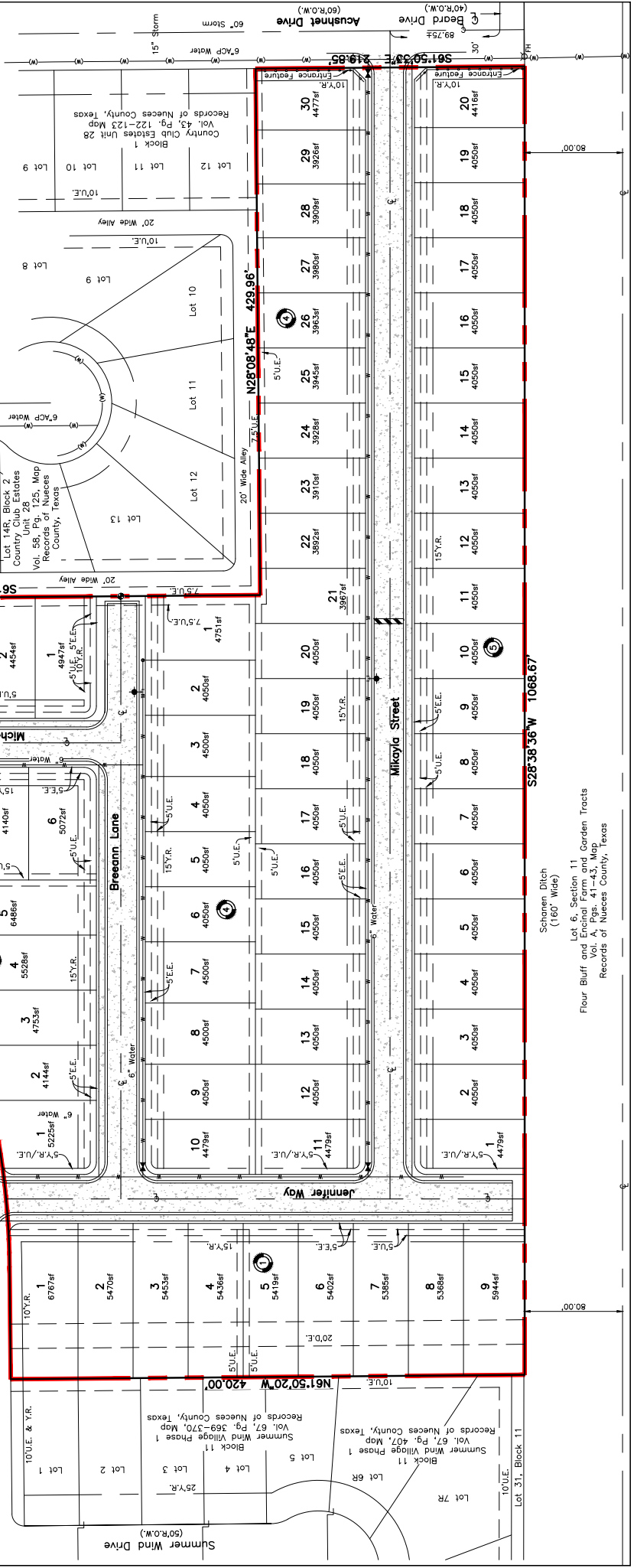
being a replat of Lot 1, Block 1, Country Club
Estates Unit 20, a map of which is recorded in
Volume 40, Pages 61 and 62, Map Records of
Nueces County, Texas.

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C2	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C3	90°29'09"	10.00'	15.79'	S16°35'58" E	14.20'
C4	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C5	90°00'00"	10.00'	15.71'	N16°21'24" W	14.14'
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C8	0°50'48"	671.69'	9.93'	S04°46'39" E	9.93'
C9	12°35'40"	25.00'	64.04'	S56°43'17" W	44.12'
C10	90°00'00"	10.00'	15.71'	N16°21'24" E	14.14'
C11	90°00'00"	10.00'	15.71'	S73°38'36" W	14.14'
C12	10°00'00"	10.00'	14.33'	N04°02'02" W	13.13'
C13	8°56'48"	86.69'	16.17'	N72°18'43" E	14.47'
C14	1°02'30"	671.69'	12.21'	N14°17'17" W	12.21'
C15	1°10'33"	671.69'	2.26'	N14°54'18" W	2.26'
C16	1°03'38"	671.69'	122.96'	N06°50'40" W	122.78'
C17	7°52'37"	661.69'	90.97'	S08°17'34" E	90.90'
C18	2°46'13"	661.69'	31.99'	N13°36'55" W	31.99'



Revised: 5/3/17
Submitted: 2/22/17
SCALE: 1"=120'
JOB NO.: 40706.B7.01
SHEET: 11 of 13
DRAWN BY: XG
urbansurvey1@urbaneng.com

- 5/8" Inch Iron Rod Found
- 5/8" Inch Iron Rod with plastic cap stamped "URBAN ENGR CCTX" Set
- Mag Nail with washer stamped "URBAN ENGR CCTX" Set
- 5/8" Inch Iron Rod with plastic cap stamped "BRISTER SURVEYING" Found

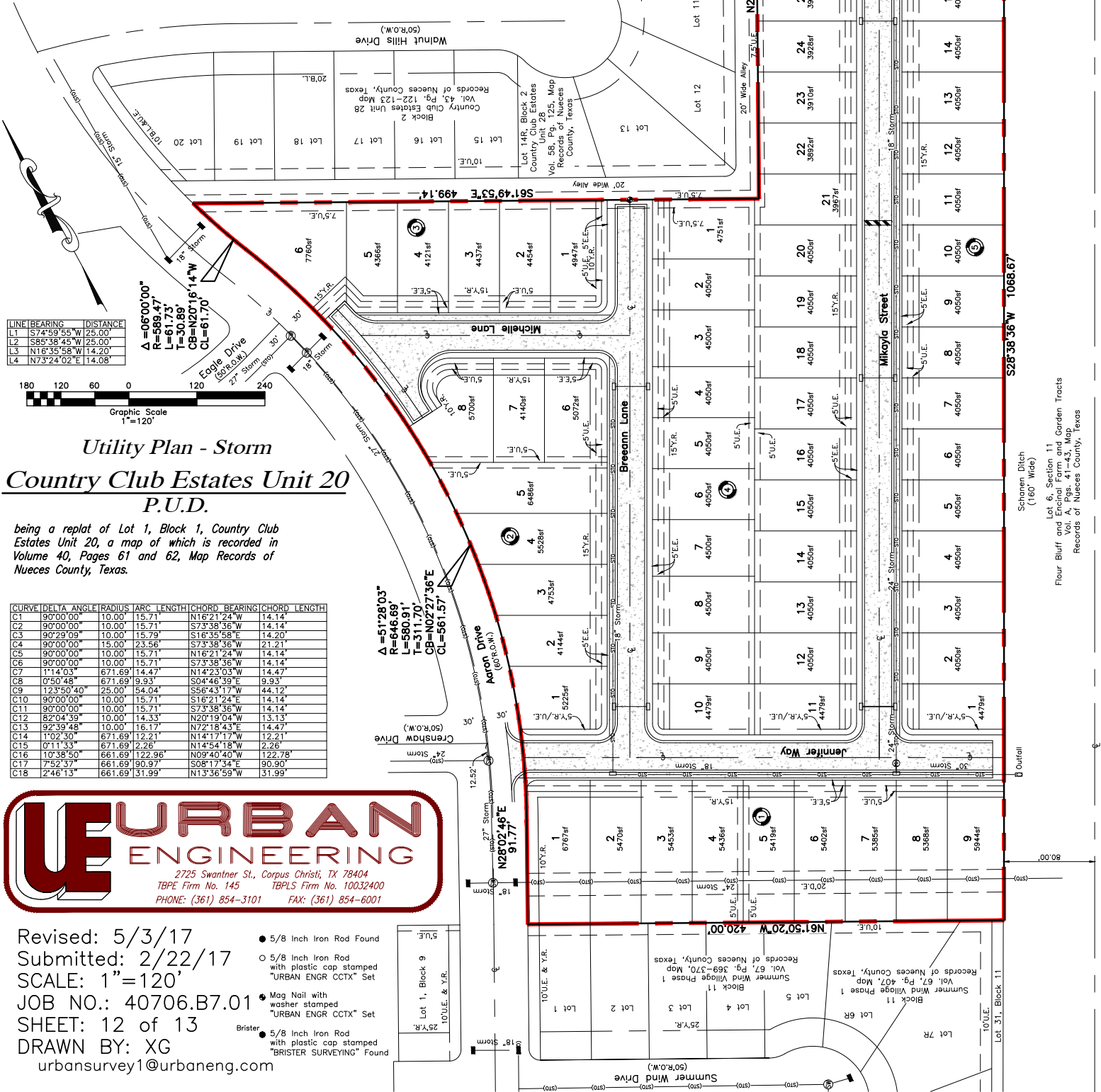


Schen Ditch
(160' Wide)
Flour Bluff and Eriador Farm and
Vol. 44, Map
Records of Nueces County, Texas

Legend:

Planned Unit Development
(PUD) Boundary

- Proposed Storm Sewer Line
- Proposed Slot Inlet
- ⊙ Proposed Storm Sewer Manhole
- Existing Storm Sewer Line (GIS)
- Existing Slot Inlet
- ⊙ Existing Storm Sewer Manhole



LINE	BEARING	DISTANCE
L1	S74°59'55"W	25.00'
L2	S85°38'45"W	25.00'
L3	N16°35'58"W	14.20'
L4	N73°24'02"E	14.08'

Δ=6°00'00"
R=589.47'
L=61.73'
T=30.89'
CB=N20°16'14"W
CL=61.70'

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	90°00'00"	10.00'	15.71'	N16°21'24"W	14.14'
C2	90°00'00"	10.00'	15.71'	S73°38'36"W	14.14'
C3	90°29'09"	10.00'	15.79'	S16°35'58"E	14.20'
C4	90°00'00"	15.00'	23.56'	S73°38'36"W	21.21'
C5	90°00'00"	10.00'	15.71'	N16°21'24"W	14.14'
C6	90°00'00"	10.00'	15.71'	S73°38'36"W	14.14'
C7	1°14'03"	671.69'	14.47'	N14°23'03"W	14.47'
C8	0°50'48"	671.69'	9.93'	S04°46'39"E	9.93'
C9	12°35'40"	25.00'	64.04'	S56°43'17"W	44.12'
C10	90°00'00"	10.00'	15.71'	S16°21'24"E	14.14'
C11	90°00'00"	10.00'	15.71'	S73°38'36"W	14.14'
C12	16°04'36"	10.00'	14.33'	N20°10'04"W	13.13'
C13	8°36'26"	10.00'	16.17'	S72°18'43"E	14.47'
C14	1°02'30"	671.69'	12.21'	N14°17'17"W	12.21'
C15	10°11'33"	671.69'	2.26'	N14°54'18"E	2.26'
C16	1°03'38"	671.69'	122.96'	N09°40'40"E	122.78'
C17	7°52'37"	661.69'	90.97'	S05°17'34"E	90.90'
C18	2°46'13"	661.69'	31.99'	N13°36'36"W	31.99'

Δ=51°28'03"
R=646.69'
L=580.91'
T=311.70'
CB=N02°27'36"E
CL=561.57'

URBAN ENGINEERING

2725 Swannier St., Corpus Christi, TX 78404
 TBPE Firm No. 145 TBPLS Firm No. 10032400
 PHONE: (361) 854-3101 FAX: (361) 854-6001

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- Mag Nail with washer stamped "URBAN ENGR CCTX" Set
- Brister
- 5/8" Inch Iron Rod with plastic cap stamped "BRISTER SURVEYING" Found

Flour Bluff and Garden Tracts
 Vol. 43, Pg. 122-123 Map
 Records of Nueces County, Texas

Schenen Ditch
 (160' Wide)

Open Space Calculations:

Total area of residential Lots 325,832sf

73 Total Units

$325,832\text{sf}/73 = 4463.45\text{sf}$ (average of total area per lot)

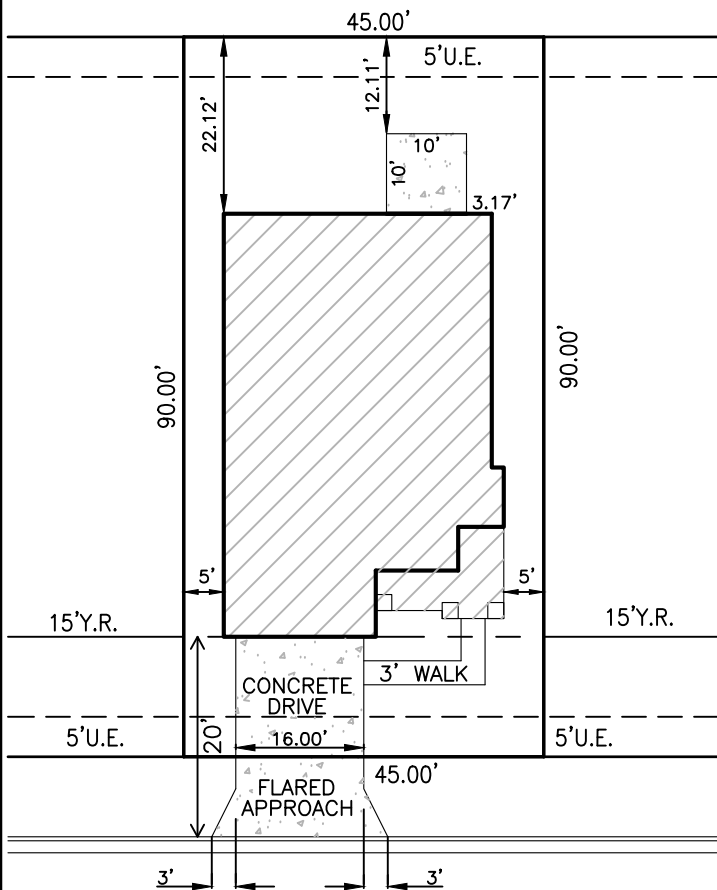
Average of developed area per footprints below = 2279.50sf

2279.50 amounts to 51.07% open space

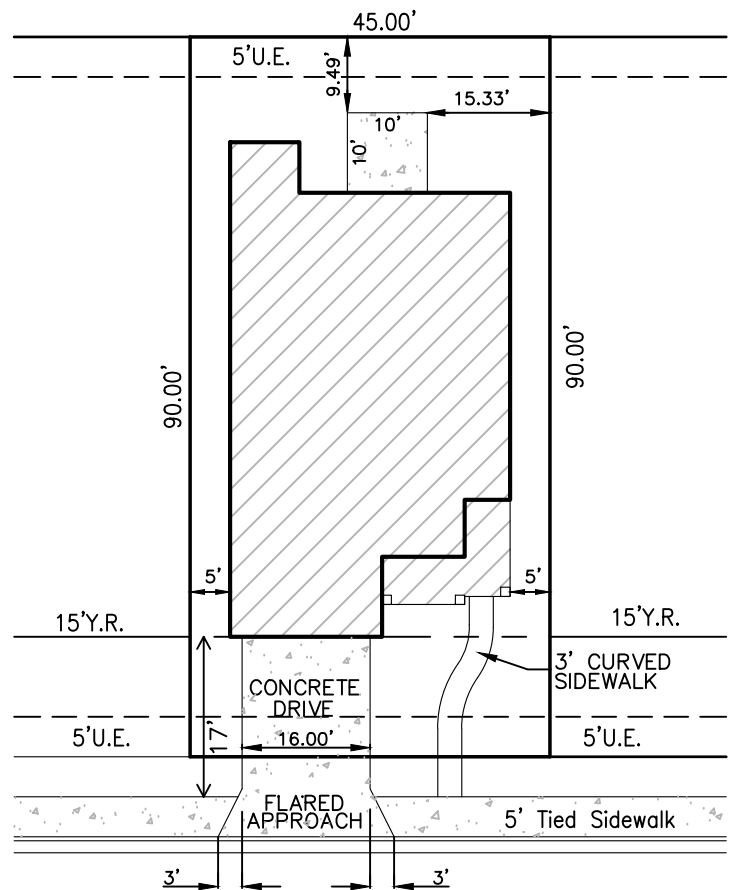
Required open space is 30%

Total Area of Development = 9.46 acres

Density of Development is 7.71 units per acre



Typical House Plan 'A'



Typical House Plan 'B'

Typical House Plans
1"=5'



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