

Ordinance amending the Unified Development Code ("UDC"), upon application by Oceanic B.C., LLC ("Owner"), by changing the UDC Zoning Map in reference to Lot 21, Block 34, Island Fairway Estates, from the "RS-TH/PUD" Townhouse District with a Planned Unit Development Overlay to the "RS-TH/PUD" Townhouse District with a revised Planned Unit Development Overlay; amending the Comprehensive Plan to account for any deviations; and providing for a repealer clause and publication.

WHEREAS, the Planning Commission has forwarded to the City Council its final report and recommendation regarding the application by Oceanic B.C., LLC ("Owner"), for an amendment to the City of Corpus Christi's Unified Development Code ("UDC") and corresponding UDC Zoning Map;

WHEREAS, with proper notice to the public, public hearings were held on Wednesday, July 27, 2016, during a meeting of the Planning Commission when the Planning Commission recommended approval of the change of zoning from the "RS-TH/PUD" Townhouse District with a Planned Unit Development Overlay to the "RS-TH/PUD" Townhouse District with a revised Planned Unit Development Overlay, and on Tuesday, August 23, 2016, during a meeting of the City Council, during which all interested persons were allowed to appear and be heard; and

WHEREAS, the City Council has determined that this amendment would best serve the public health, necessity, convenience and general welfare of the City of Corpus Christi and its citizens.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORPUS CHRISTI, TEXAS:

SECTION 1. Upon application made by Oceanic B.C., LLC ("Owner"), the Unified Development Code ("UDC") of the City of Corpus Christi, Texas ("City"), is amended by changing the zoning in reference to Lot 21, Block 34, Island Fairway Estates, located west of South Padre Island Drive (Park Road 22) on the southern corner of Commodores Drive and Aquarius Street, from the "RS-TH/PUD" Townhouse District with a Planned Unit Development Overlay to the "RS-TH/PUD" Townhouse District with a revised Planned Unit Development Overlay (Zoning Map No. 029027) as shown in Exhibits "A" and "B". Exhibit A, which is a map of the Property, and Exhibit B, which is the Cape Commodore Planned Unit Development (PUD) Guidelines and Master Site Plan for the Property, are attached to and incorporated in this ordinance by reference as if fully set out herein in their entireties.

SECTION 2. The Planned Unit Development Overlay granted in Section 1 of this ordinance is subject to the following ten conditions:

1. **Master Site Plan:** The Owners shall develop the Property in accordance with the guidelines of the "Cape Commodore Planned Unit Development." The development of the Property is to consist of 20 townhouse units and 3 common areas and shall be

constructed in one phase. The PUD on this property would allow for daily rental townhomes.

2. **Density:** The number of dwelling units on the Property shall not exceed 20.
3. **Building Height:** The maximum height of any structure on the Property is 45 feet.
4. **Parking:** The Property must have a minimum of 63 standard parking spaces, including shared spaces and those within garages. Parking is prohibited along the private street and pedestrian walkways.
5. **Setbacks and Lot Width:** Minimum setbacks shall be as set forth in the PUD: front yard requirement shall be a minimum of 15 feet to the building and 20 feet to the garage; corner street yard shall be a minimum of 20 feet; side yard shall be 0 feet; and the rear yard shall be a minimum of 10 feet. The minimum building separation is 10 feet. The minimum lot width shall be 22 feet.
6. **Open Space:** The Property must maintain a minimum of 30% open space. Any surfaces constructed within the required open space must be constructed of pervious material.
7. **Private Street Access:** The Property shall provide the lots with access to a two-way private street with a width of not less than 20 feet with one-foot wide ribbon curbs on each side and a six-foot wide sidewalk on one side. The private streets shall be striped to indicate "Fire Lane/No Parking". The private street shall have access onto Commodores Drive only for emergency vehicles, and the driveway onto Commodores Drive shall be gated at all times and comply with Fire Department requirements to allow access.
8. **Pedestrian Access:** A minimum six-foot wide sidewalk shall be constructed along one side of the private street and the Owner shall construct a pedestrian access path from the parking areas to the pedestrian access.
9. **Dumpster Screening:** A minimum six-foot tall screening fence shall be constructed, maintained, and remain in place around a dumpster if placed in the street yard.
10. **Time Limit:** Construction of the development shall commence within 24 months from the date this modified Planned Unit Development ordinance is approved by the City Council.

SECTION 3. The official UDC Zoning Map of the City is amended to reflect changes made to the UDC by Section 1 of this ordinance.

SECTION 4. The UDC and corresponding UDC Zoning Map of the City, made effective July 1, 2011, and as amended from time to time, except as changed by this ordinance, both remain in full force and effect.

SECTION 5. The change of zoning does not result in an amendment to the Future Land Use Map, an element of the Comprehensive Plan.

SECTION 6. All ordinances or parts of ordinances specifically pertaining to the zoning of the Property and that are in conflict with this ordinance are hereby expressly repealed.

SECTION 7. Publication shall be made in the City's official publication as required by the City's Charter.

The foregoing ordinance was read for the first time and passed to its second reading on this the _____ day of _____, 20____, by the following vote:

Nelda Martinez	_____	Brian Rosas	_____
Rudy Garza	_____	Lucy Rubio	_____
Michael Hunter	_____	Mark Scott	_____
Chad Magill	_____	Carolyn Vaughn	_____
Colleen McIntyre	_____		

The foregoing ordinance was read for the second time and passed finally on this the _____ day of _____, 20____, by the following vote:

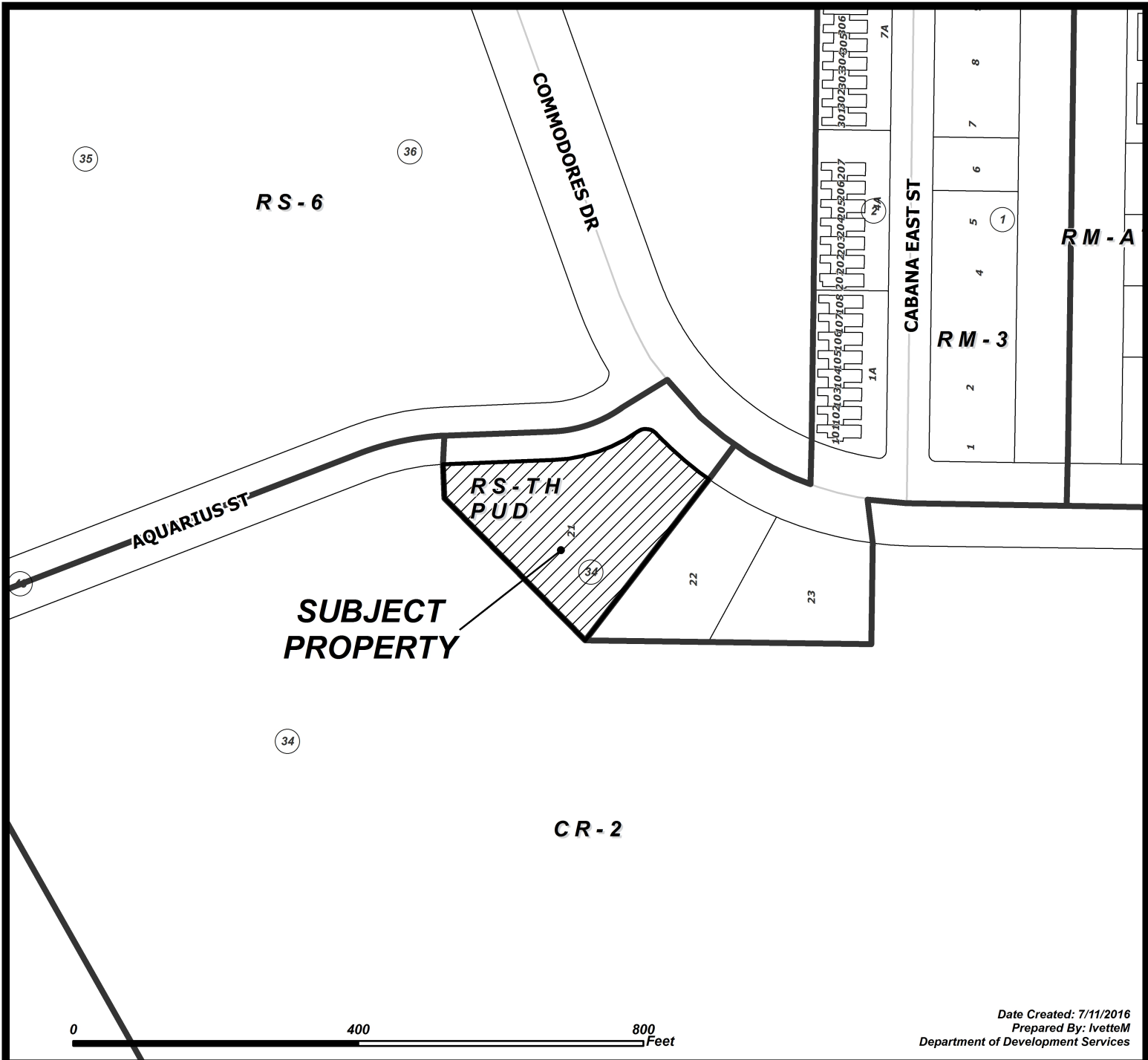
Nelda Martinez	_____	Brian Rosas	_____
Rudy Garza	_____	Lucy Rubio	_____
Michael Hunter	_____	Mark Scott	_____
Chad Magill	_____	Carolyn Vaughn	_____
Colleen McIntyre	_____		

PASSED AND APPROVED this the _____ day of _____, 20____

ATTEST:

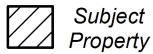
Rebecca Huerta
City Secretary

Nelda Martinez
Mayor

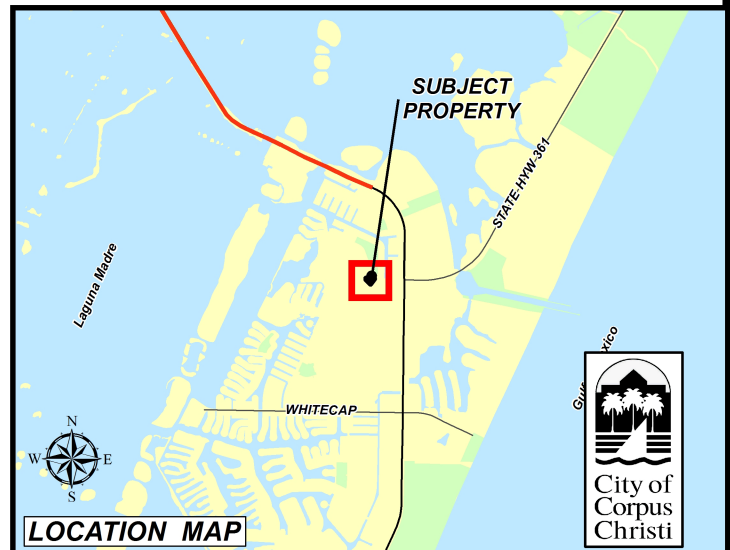


CASE: 0716-05

SUBJECT PROPERTY WITH ZONING



RM-1 Multifamily 1	IL Light Industrial
RM-2 Multifamily 2	IH Heavy Industrial
RM-3 Multifamily 3	PUD Planned Unit Dev. Overlay
ON Professional Office	RS-10 Single-Family 10
RM-AT Multifamily AT	RS-6 Single-Family 6
CN-1 Neighborhood Commercial	RS-4.5 Single-Family 4.5
CN-2 Neighborhood Commercial	RS-TF Two-Family
CR-1 Resort Commercial	RS-15 Single-Family 15
CR-2 Resort Commercial	RE Residential Estate
CG-1 General Commercial	RS-TH Townhouse
CG-2 General Commercial	SP Special Permit
CI Intensive Commercial	RV Recreational Vehicle Park
CBD Downtown Commercial	RMH Manufactured Home
CR-3 Resort Commercial	
FR Farm Rural	
H Historic Overlay	
BP Business Park	



CAPE COMMODORE PLANNED UNIT DEVELOPMENT (PUD)

PADRE ISLAND, CORPUS CHRISTI, TEXAS

OWNER

OCEANIC B.C., LLC

SUBMITTED BY

**NAISMITH ENGINEERING, INC.
ENGINEER: CRAIG B. THOMPSON, P.E.**

**SOUTH TEXAS PRIME DESIGN GROUP, INC.
DESIGNER: JON HALL**

JUNE 2016

NEI: 9188



NaismithEngineering,Inc
ARCHITECTURE ■ ENGINEERING ■ ENVIRONMENTAL ■ SURVEYING

...
ESTABLISHED 1949

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DEVELOPMENT DESCRIPTION

The Cape Commodore Planned Unit Development (PUD) consists of a Master Site Plan of 1.32 Acres of a Re-Plat of Lot 21, of Block 34, Island Fairway Estates, at the intersection of Commodores Dr. and Aquarius St. on Padre Island. The development is a planned community that will consist of 20 single-family units and 3 common areas. The property currently sits on vacant land and is zoned at RS-TH/PUD. The applicant proposes a new PUD. The Future Land Use Plan designates the property for Medium Density Residential uses, less than 22 units per acre.

DEVELOPMENT LOCATION MAP



ADJACENT LAND USE AND ZONING

The following table indicates the Adjacent Land Use and Zoning at the time of the PUD:

	CURRENT LAND USE	ZONING
North of Property	Vacant and Public/Semi Public	RS-6
South of Property	Commercial	CR-2
East of Property	Commercial	RM-3
West of Property	Commercial	CR-2

The following is the Lot Layout for the development:



DEVELOPMENT DEVIATIONS

The following table indicates the Development Deviations:

DESCRIPTION		ZONING / PLATTING ORDINANCE REQUIREMENT (RS-TH)	PUD REQUIREMENTS
Lot Area in Square Feet		Minimum = 2,600 Maximum = N/A	Minimum = 1,230 Maximum = 1,600
Lot Width at Front in Feet		Minimum = 26 Maximum = N/A	Minimum = 22 Maximum = N/A
Right-of-way / Access Easement		50 feet	28 feet
Pavement Width in Feet		Minimum = 28	Minimum = 22 Maximum = N/A
Yard Requirements (Minimum in Feet)	Street – Non-Corner	10	Building = 15 Garage Door = 20
	Street – Corner	10	20
	Side – Single	0	0
	Side – Total	0	0
	Rear	5	10
Open Space – Percent Minimum		30	30
Building Height – Maximum in Feet		45	45
Building Spacing – Minimum in Feet		10	10
Parking Requirement Per Unit		2 per unit	2 per unit
Curb Type		Standard 6" Curb and Gutter	1' Ribbon Curb
Sidewalk		5' width on both sides	6' width on one side of road

DEVELOPMENT GUIDELINES

The following tables indicate the Development Guidelines for each lot type within the development:

DEVELOPMENT LOTS	DESCRIPTION	BLOCK NUMBER ^{*1}	LOT NUMBERS
	Residential Lot(s) ^{*1}	1	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20
	Commercial Lot(s) ^{*1}	N/A	N/A
	Common Area Lot(s) ^{*1}	1	21, 22, 23
^{*1} – AS PER MASTER SITE PLAN			

RESIDENTIAL LOTS	DESCRIPTION		REQUIREMENTS
	Usage		Residential
	Lot Area in Square Feet		Minimum = 1,230 Maximum = 1,600
	Lot Width at Front in Feet		Minimum = 22 Maximum = N/A
	Yard Requirements (Minimum in Feet)	Street – Non-Corner	Building – 15 Garage – 20
		Street – Corner	20
		Side – Single	0
		Side – Total	0
		Rear	10
	Building Height – Maximum in Feet		45
	Building Spacing – Minimum in Feet		As per International Building Code
	Parking Requirement Per Unit		2
	Maintenance		Lot Owner and/or Home Owners Association (HOA)
	Improvements Allowed		Residential structure(s) and support structure(s) including decks, porches, pavements, fencing, landscaping, etc.
	Improvements Placement		Shall not protrude into the yard or easement(s), or beyond the property line (whichever is applicable) except for pavements, fencing, and landscaping.
	Rental		Daily, weekly, and monthly rentals are allowed

COMMON AREA LOTS	DESCRIPTION		REQUIREMENTS
	Usage		Non-Residential Structures supporting the Community
	Lot Area in Square Feet		Minimum = N/A Maximum = N/A
	Lot Width at Front in Feet		Minimum = N/A Maximum = N/A
	Yard Requirements (Minimum in Feet)	Street – Non-Corner	10
		Street – Corner	10
		Side – Single	5
		Side – Total	10
		Rear	10
	Building Height – Maximum in Feet		1-story
	Building Spacing – Minimum in Feet		As per International Building Code
	Parking Requirement		1 per 15,000 SF * ¹
	Landscape Requirement		Common Lots 21, 22, and 23 will be landscaped per UDC 7.3 and the design shall be done by an authorized designer.
	Maintenance		Home Owners Association (HOA)
	Improvements Allowed		Community structures and support structures including decks, pool, porches, pavements, fencing, landscaping, utilities, etc.
	Improvements Placement		Shall not protrude into the yard or easement(s), or beyond the property line (whichever is applicable) except for pavements, fencing, landscaping, utilities.
	^{*1} – The development is a designed to be walkable and the common areas are intended for the residences only; The parking and landscape requirement is for lots 21 and 22 only.		

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The following is the Open Space Layout for the development:

OPEN SPACE CALCULATION		QUANTITY (SQUARE FEET)	QUANTITY (ACRE)	PERCENT OF AREA
Total Area of PUD		57,513	1.32	
Impervious Area	Total Residential Buildable Area ¹	18,124	0.42	
	Total Residential Driveway Area ²	7,646	0.17	
	Access Area ³	14,347	0.33	
Total Non-Open Space (Impervious Area)		40,207	0.92	70%
Total Open Space (Pervious Area) ⁴		17,306	0.40	30%

¹ Maximum area that can be constructed

² Area from YR to Back of curb excluding sidewalk area

³ Area of all Pavement and Sidewalk

⁴ Minimum Open Space required is 30%



VEHICULAR AND PEDESTRIAN ACCESS

The Vehicular and Pedestrian Access for the development is indicated below. The entrance into the development will provide a 24 foot clear entrance/exit for emergency vehicles. The private drive within the development will be a minimum of 22' wide from edge of pavement throughout with fire land striping and signage installed. The development will provide a sidewalk and additional sidewalks may be provided to promote walkability and access to amenities that are not indicated.



PARKING REQUIREMENTS

The following is the Parking Requirements for the development:

LOT TYPE	REQUIREMENTS	QUANTITY OF LOTS	QUANTITY OF PARKING REQUIRED	QUANTITY OF PARKING PROVIDED
Residential ^{1 2 5}	2 per unit	20	40	40
Guest Parking ²	1 per 5 units	20	4	19
Common Area ⁴	1 per 15,000 SF ³	2	1	3
Total:			45	63

¹ – Each Residential unit shall have a Garage capable of holding one (1) common sized vehicle.

² – Each Residential unit will have a driveway capable of holding two (2) common sized vehicles, with one (1) being for guest common sized vehicle.

³ – Parking can be provided within the unit or anywhere within the limits of the development.

⁴ – Lot 21 & 22 SQFT 9,253.94

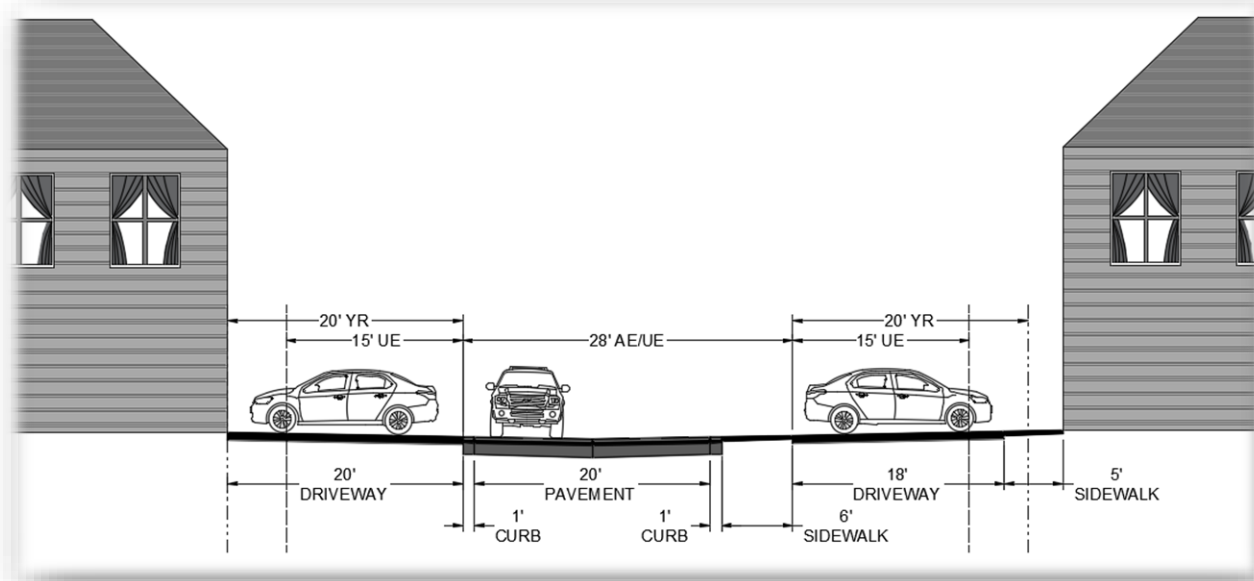
⁵ – Lot 18 shall be required not to have a garage and be required to have only 2 parking spaces and no guest parking requirement.

TYPICAL CROSS SECTION

The following are Typical Cross Section(s) for the development:

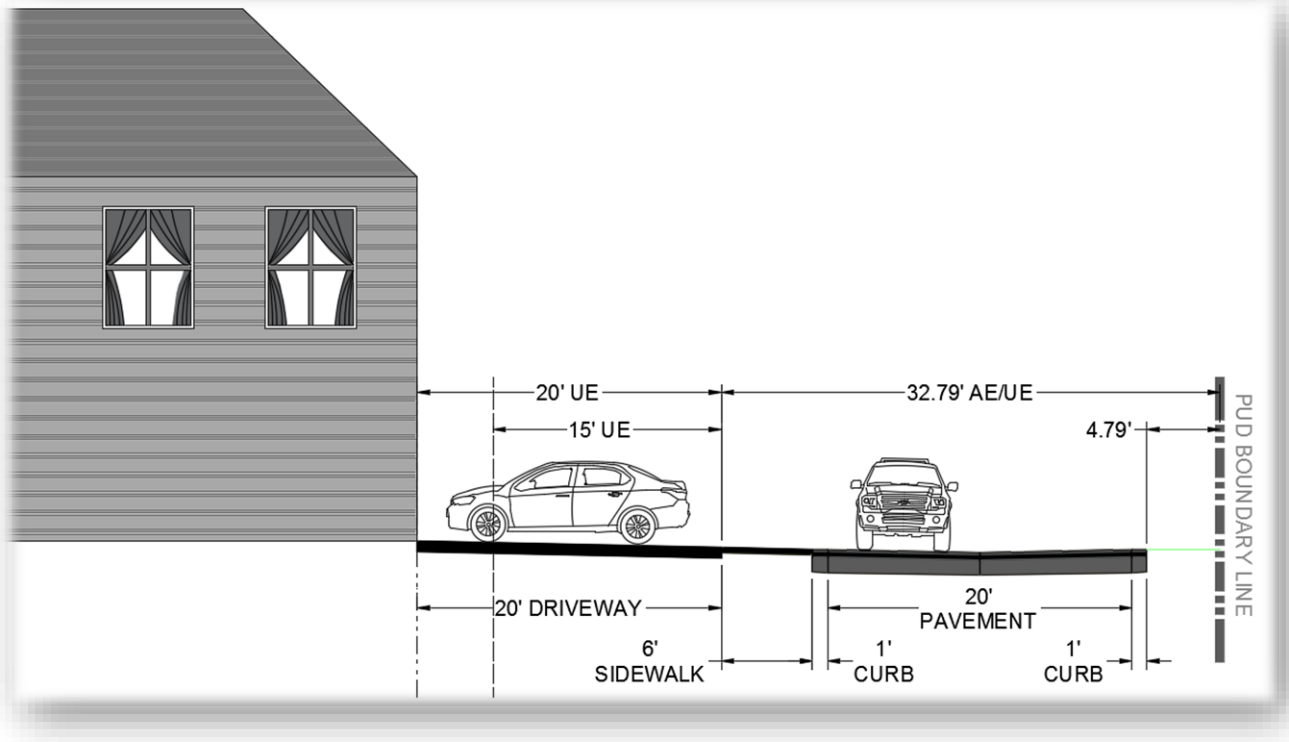


Cross Section A



For illustration purposes only. Residential structures may vary.

Cross Section B



For illustration purposes only. Residential structures may vary.