



Zoning Case #0417-02

Fun Season, LLC.-Series C

From: “RS-6” Single-Family 6 District

To: “RS-6/PUD” Single-Family 6 District
with a Planned Unit Development

Planning Commission Presentation
April 5, 2017

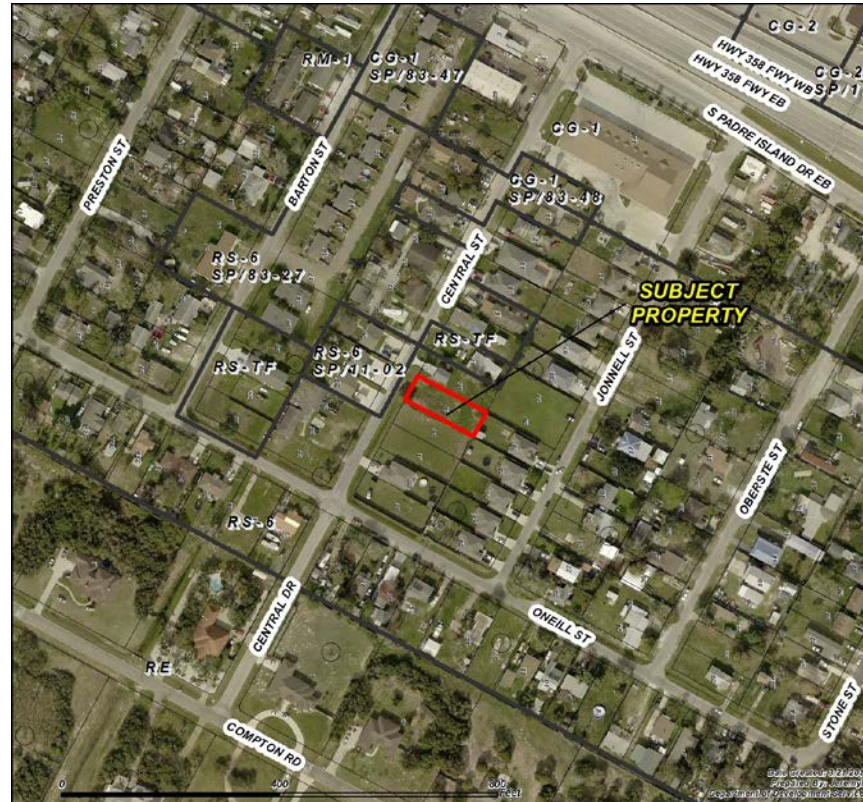


Aerial Overview



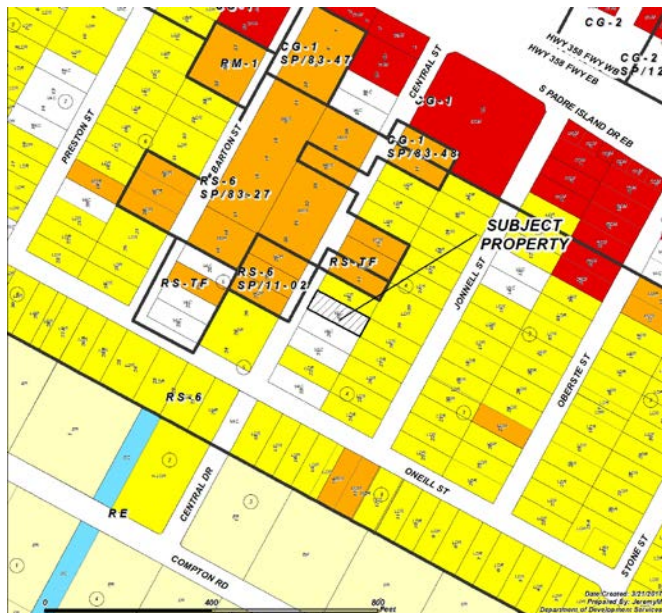


Subject Property at 1221 Central Street

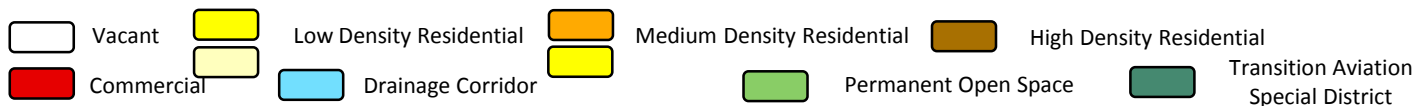
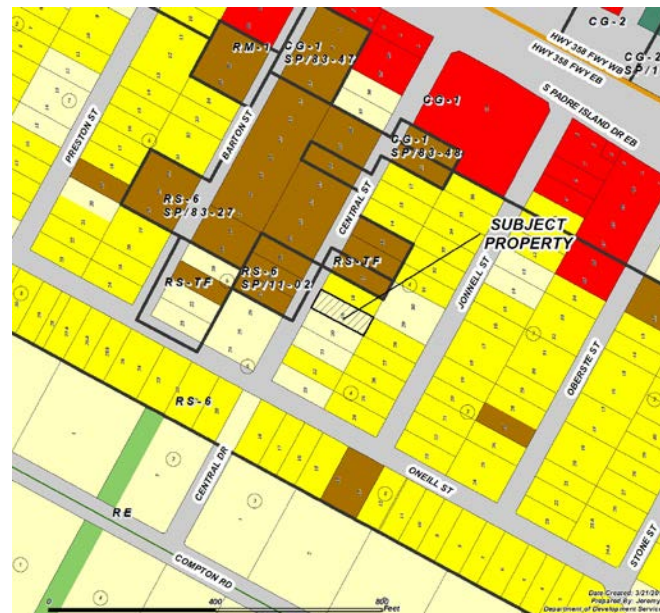




Existing Land Use



Future Land Use





Subject Property, East on Central Street





Central Street, South of Subject Property





Central Street, West of Subject Property





Central Street, North of Subject Property





Public Notification

29 Notices mailed inside 200' buffer

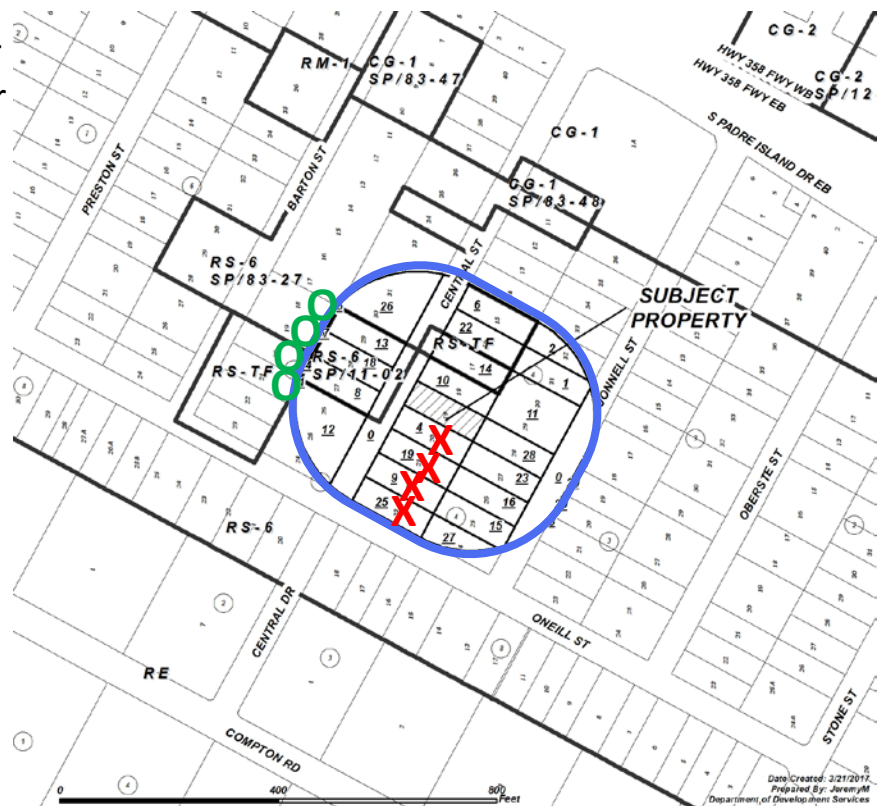
6 Notices mailed outside 200' buffer

Notification Area

Opposed: 4 (14.07%)



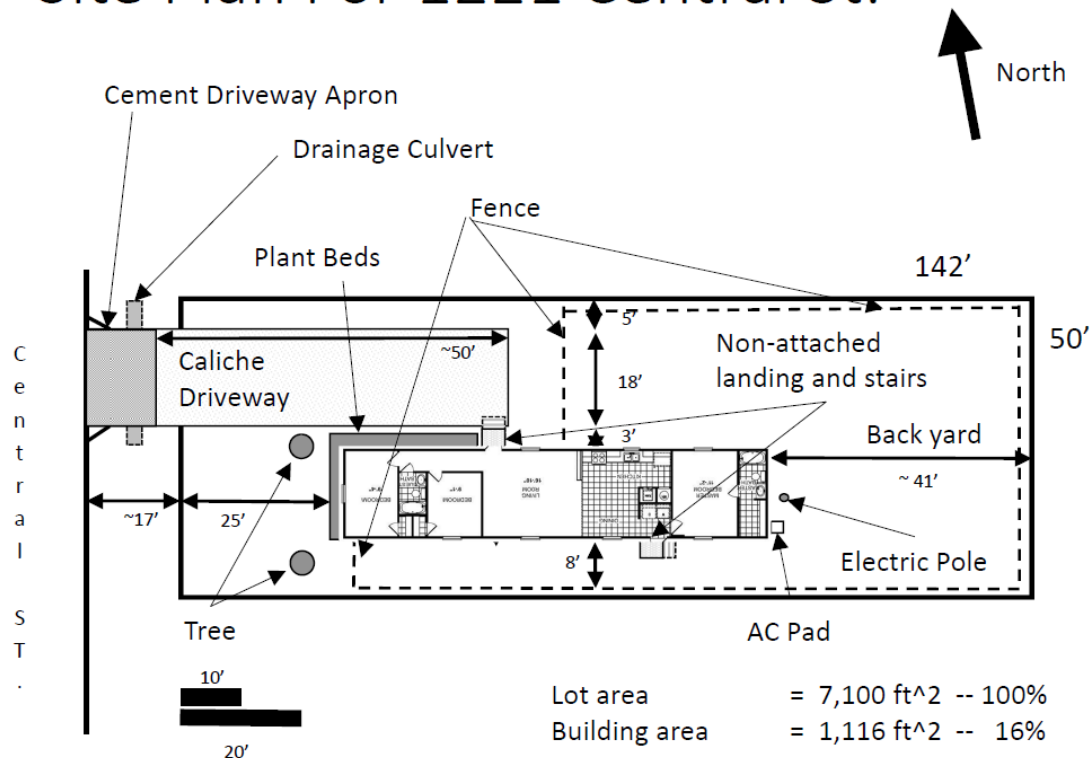
In Favor: 4





Site Plan

Site Plan For 1221 Central St.





Manufactured Home Requirements

- Allowed only in the “R-MH” Manufacture Home District.
- Either Manufactured Home Park (MHP) or Manufactured Home Subdivision (MHS).
- MHP Standards: Density, Setbacks, and Building Separation.
- MHS Standards: Density, Lot Size, and Setbacks.



“RS-6” Single-Family District Compliance

- ✓ Setbacks
- ✓ Density
- ✓ Lot Size
- ✓ Height
- ✓ Open Space
- ✓ Driveway



Additional Site Provisions

- The structure must be a new manufactured home, the structure must have engineered wood siding, operable/traditionally sized windows, central air and heat, a three tab shingle roof, and a permanent concrete perimeter foundation. Additionally no utility pole shall be allowed between the street and the front face of the structure.
- A concrete, concrete ribbon, asphalt, or gravel driveway must be installed.
- A covered porch will be required over the front entrance to the structure.
- Two canopy trees as identified within the species list of the Unified Development Code (UDC) must be installed in the front street yard and must be at least 2.5 inches in caliper size.
- The structure will be required to meet wind zone three standards.



Staff Comments

- Manufactured homes have not previously been allowed outside the “R-MH” Manufactured Home District.
 - The Planned Unit Development (PUD) aesthetic requirements help address conformity with the general area. The manufactured home, however, does not precisely comply with the construction methods (i.e. building codes) under which the general area follow.
-