# STAFF REPORT

**Case No.** 0417-02
**INFOR No.** 17ZN1008

**Planning Commission Hearing Date**: April 5, 2017

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| **Applicant & Legal Description** | **Owner:** Fun Season, LLC.-Series C<br>**Applicant/Representative:** Fun Season, LLC.-Series C<br>**Location:** 1221 Central Street<br>**Legal Description/Location:** Flour Bluff Center, Block 4, Lot 19, located on the east side of Central Street, south of South Padre Island Drive (State Highway 358) and north of Compton Road. |
| **Zoning Request** | **From**: "RS-6" Single-Family 6 District<br>**To**: "RS-6/PUD" Single-Family 6 District with a Planned Unit Development for a manufactured home<br>**Area**: 0.16 acres<br>**Purpose of Request**: To allow for the construction of a manufactured home. |

**Existing Zoning and Land Uses**

| | Existing Zoning District | Existing Land Use | Future Land Use |
|---|---|---|---|
| *Site* | "RS-6" Single-Family 6 and "RS-6/SP" Single-Family 6 with a Special Permit | Vacant | Low Density Residential |
| *North* | "RS-6" Single-Family 6 and "RS-TF" Two-Family | Low and Medium Density Residential | Low, Medium, and High Density Residential |
| *South* | "RS-6" Single-Family 6 | Vacant and Low Density Residential | Low and Medium Density Residential |
| *East* | "RS-6" Single-Family 6 | Low Density Residential | Low and Medium Density Residential |
| *West* | "RS-6/SP" Single-Family 6 with a Special Permit | Low and Medium Density Residential | Low and High Density Residential |

| | |
|---|---|
| **ADP, Map & Violations** | **Area Development Plan**: The subject property is located within the boundaries of the Flour Bluff Area Development Plan and is planned for permanent open space uses. The proposed rezoning to the "RS-6/PUD" Single-Family 6 District with a Planned Unit Development for a manufactured home is consistent with the adopted Future Land Use Map and the Flour Bluff Area Development Plan.<br>**Map No.**: 035032<br>**Zoning Violations**: None |

| | | | | | |
|---|---|---|---|---|---|
| **Transportation** | **Transportation and Circulation**: The subject property has approximately 50 feet along Central Street which is designated as a Local/Residential Street. | | | | |
| **Street R.O.W.** | **Street** | **Urban Transportation Plan Type** | **Proposed Section** | **Existing Section** | **Traffic Volume** |
| | Central Street | Local/Residential | 50’ ROW 28’ paved | 50’ ROW 17’ paved | N/A |

**Staff Summary**:

**Requested Zoning**: The applicant is requesting a rezoning from the “RS-6” Single-Family 6 District to the “RS-6/PUD” Single-Family 6 District with a Planned Unit Development for a manufactured home.

**Development Plan:** The subject property is comprised of 0.16 acres and is proposed to be developed as a single-family manufactured home. The applicant will adhere to the development plan and will demonstrate aesthetic compatibility with the neighborhood which contains existing single-family and multifamily residences.

The proposed single-family manufactured home will have exterior siding, roofing, roof pitch, foundation, fascia, and fenestration compatible with the single- or two-family dwellings in the neighborhood. Specifically, the proposed manufactured home and site will include the following:

- A single-family manufactured home that meets all Federal and State of Texas rules, regulations, and laws applicable at the time of construction.
- A pitched roof with three tab nail-down shingles of the same type that is commonly found in conventional construction.
- Panel siding covered in exterior-grade paint each of which are of the same type that is commonly found in conventional construction.
- Concrete foundation underneath piers and sidewalls consistent with a modular house structure and design.
- Framed skirt walls that are affixed to the foundation and the structure, consistent with manufactured home skirting design. The framed wall will be covered with engineered wood siding which shall span from the structure to the permanent foundation and shall be consistent with the panel design and finish of the dwelling.
- A screening fence of at least 5' in height that spans from the each side of the structure to the side property line. The role of the fencing is to screen the lower portion of the structure from street view.
- The area adjacent to the home, in front of the fence, shall have at least 50% of the linear exposed skirting obscured by planting beds, porches, landings, or

stairs. The planting beds shall contain shrubbery or plants with a typical growth height of at least 18".

- The front yard of the structure shall have at least one tree with a typical growth height of at least 6'. The proposed site plan conforms to “RS-6” Single-Family 6 District requirements with respect to setbacks, height restrictions, parking, open space, accessory building, and impervious cover standards.

**Existing Land Uses & Zoning**: The subject property is zoned “RS-6” Single-Family 6 District. The subject property is currently a vacant single-family lot. To the north are properties zoned “RS-6/SP” Single-Family 6 District with a Special Permit and a single property zoned “RS-TF” Two-Family District for a duplex. The Special Permit was adopted in 1983 as part of the Flour Bluff Area Development Plan. To the west are single-family residences zoned “RS-6/SP” Single-Family 6 District with a Special Permit as part of the enactment of the Flour Bluff Area Development Plan. Most recently properties across Central Street to the west are zoned “RS-6/SP” Single-Family 6 District with a Special Permit for the purposes of duplexes. To the east and south are vacant lots and single-family homes zoned “RS-6” Single-Family 6 District.

**AICUZ:** The subject property is **not** located in one of the Navy’s Air Installation Compatibility Use Zones (AICUZ).

**Plat Status:** The property is platted.

**PlanCC & Area Development Plan Consistency**: The subject property is located within the boundaries of the Flour Bluff Area Development Plan (ADP). The proposed rezoning to the “RS-6/PUD” Single-Family 6 District with a Planned Unit Development for a manufactured home is consistent with the adopted Flour Bluff ADP. The proposed rezoning is consistent with the following policies of the Comprehensive Plan:

- Encourage the protection and enhancement of residential neighborhoods (Future Land Use, Zoning, and Urban Design Policy Statement 1).
- Promote the stabilization, revitalization and redevelopment of older neighborhoods. (Future Land Use, Zoning, and Urban Design Policy Statement 1)
- Promote a balanced mix of land uses to accommodate continuous growth and promote the proper location of land uses based on compatibility, locational needs, and characteristics of each use (Future Land Use, Zoning, and Urban Design Policy Statement 1).
- Encourage residential infill development on vacant lots within or adjacent to existing neighborhoods. (Future Land Use, Zoning, and Urban Design Policy Statement 3).
- Placing low intensity activities next to single family uses (Policy Statement B.2.c).

**Department Comments**:

- Manufactured homes have not previously been allowed outside the “R-MH” Manufactured Home District.
- The Planned Unit Development (PUD) aesthetic requirements help address conformity with the general area. The manufactured home, however, does not

precisely comply with the construction methods (i.e. building codes) under which the general area follow.

**Proposed Planned Unit Development (PUD) Guidelines**:
A change of zoning from the "RS-6" Single-Family 6 District to the "RS-6/PUD" Single-Family 6 District with a Planned Unit Development for a manufactured home with the following conditions:

1. **Master Site Plan**: The Owner shall develop the Property in accordance with submitted Master Site Plan. The development of the Property is to consist of one single-family manufactured home. The manufactured home must meet all Housing and Urban Development (HUD) code requirements.

2. **Base Zoning**: The property shall meet all "RS-6" Single-Family 6 District requirements unless otherwise stated on the Master Site Plan.

3. **Design Elements**: The structure must be a new manufactured home. In addition to the Master Site Plan, the structure must have engineered wood siding, operable/traditionally sized windows, central air and heat, a three tab shingle roof, and a permanent concrete perimeter foundation. No utility pole shall be allowed between the street and the front face of the structure. Additionally, the structure will be required to meet wind zone three standards.

4. **Parking**: The property must have a minimum of 2 standard off-street parking spaces (9 feet wide by 18 feet long). Tandem parking is permitted.

5. **Driveway**: A concrete, concrete ribbon, asphalt, or gravel driveway must be installed.

6. **Porches**: A covered porch will be required over the front entrance to the structure.

7. **Landscaping**: Two canopy trees as identified within the species list of the Unified Development Code (UDC) must be installed in the front street yard and must be at least 2.5 inches in caliper size.

8. **Other Requirements**: The Planned Unit Development (PUD) conditions listed herein do not preclude compliance with other applicable UDC, Building, HUD, and Fire Code Requirements.

9. **Time Limit**: Construction of the development shall commence within 24 months from the date this modified Planned Unit Development ordinance is approved by the City Council.

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|---|---|
| **Public Notification** | Number of Notices Mailed – 29 within 200-foot notification area<br>6 outside notification area<br><br>***<u>As of March 31, 2017</u>:***<br>In Favor – 4 inside notification area<br>– 0 outside notification area<br><br>In Opposition – 4 inside notification area<br>– 0 outside notification area<br><br>Totaling 14.07% of the land within the 200-foot notification area in opposition. |

**Attachments**:

1. Location Map (Existing Zoning & Notice Area)
2. Master Site Plan
3. Public Comments Received (if any)

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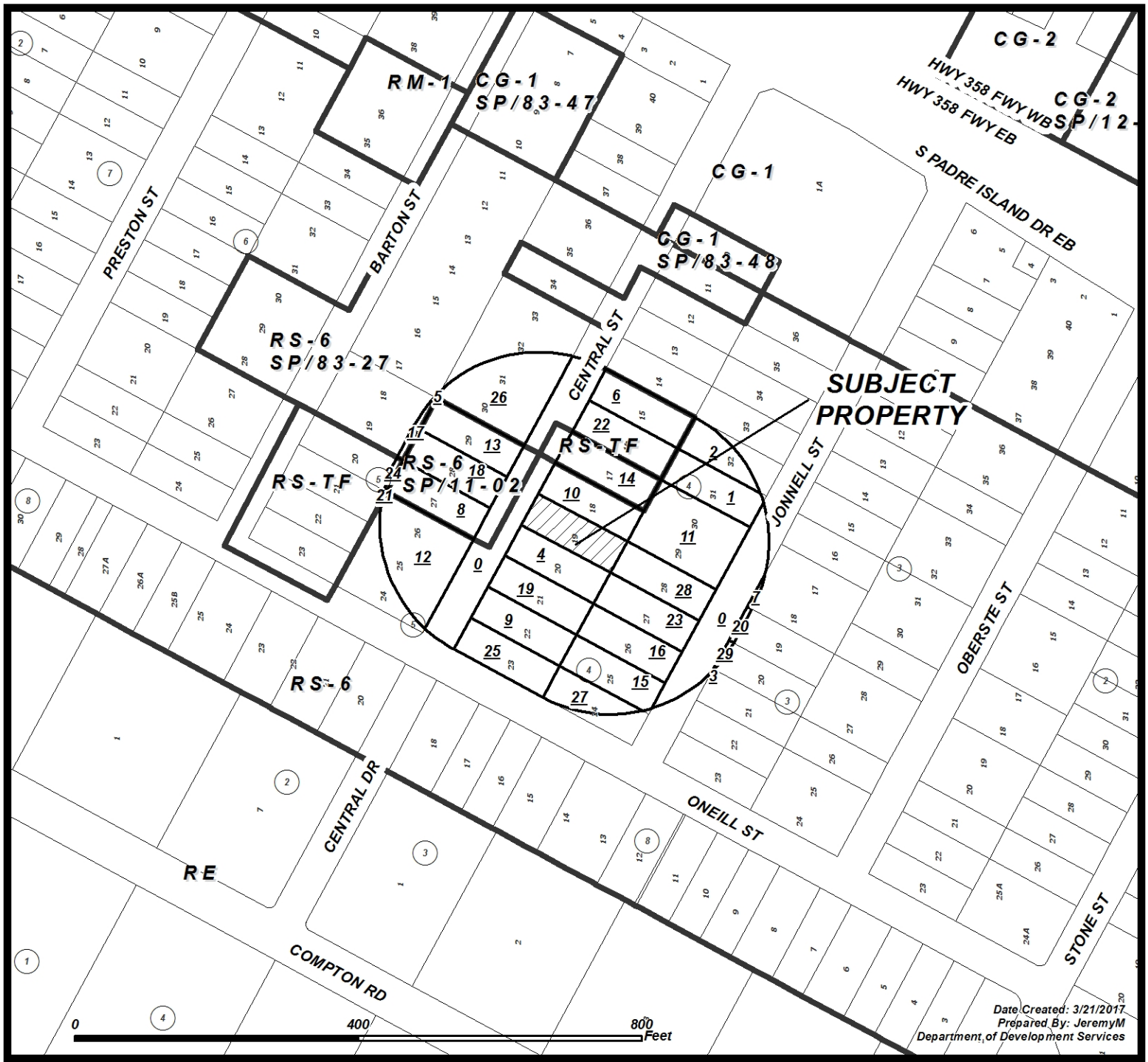



# CASE: 0417-02

## ZONING & NOTICE AREA

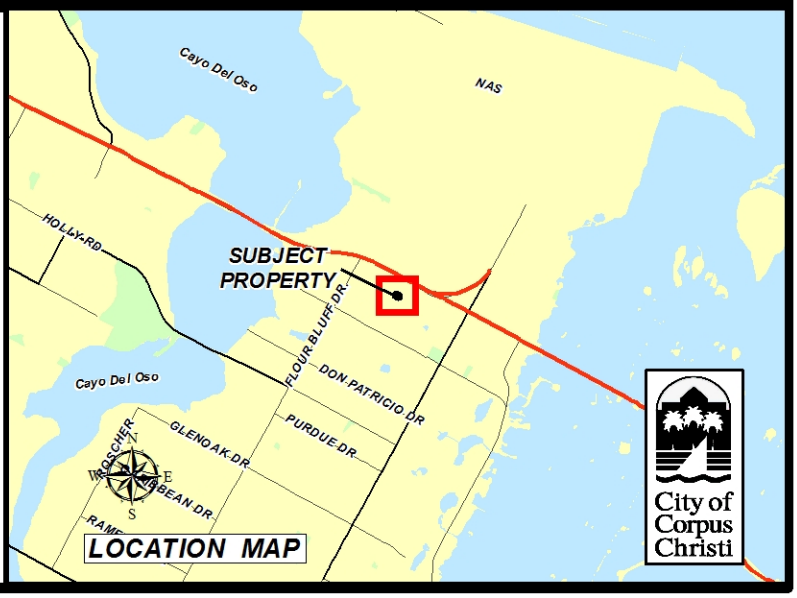
| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM-3 | Multifamily 3 | PUD | Planned Unit Dev. Overlay |
| ON | Professional Office | RS-10 | Single-Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS-TF | Two-Family |
| CR-1 | Resort Commercial | RS-15 | Single-Family 15 |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RMH | Manufactured Home |
| CR-3 | Resort Commercial | | |
| FR | Farm Rural | | |
| H | Historic Overlay | | |
| BP | Business Park | | |

Subject Property with 200' buffer

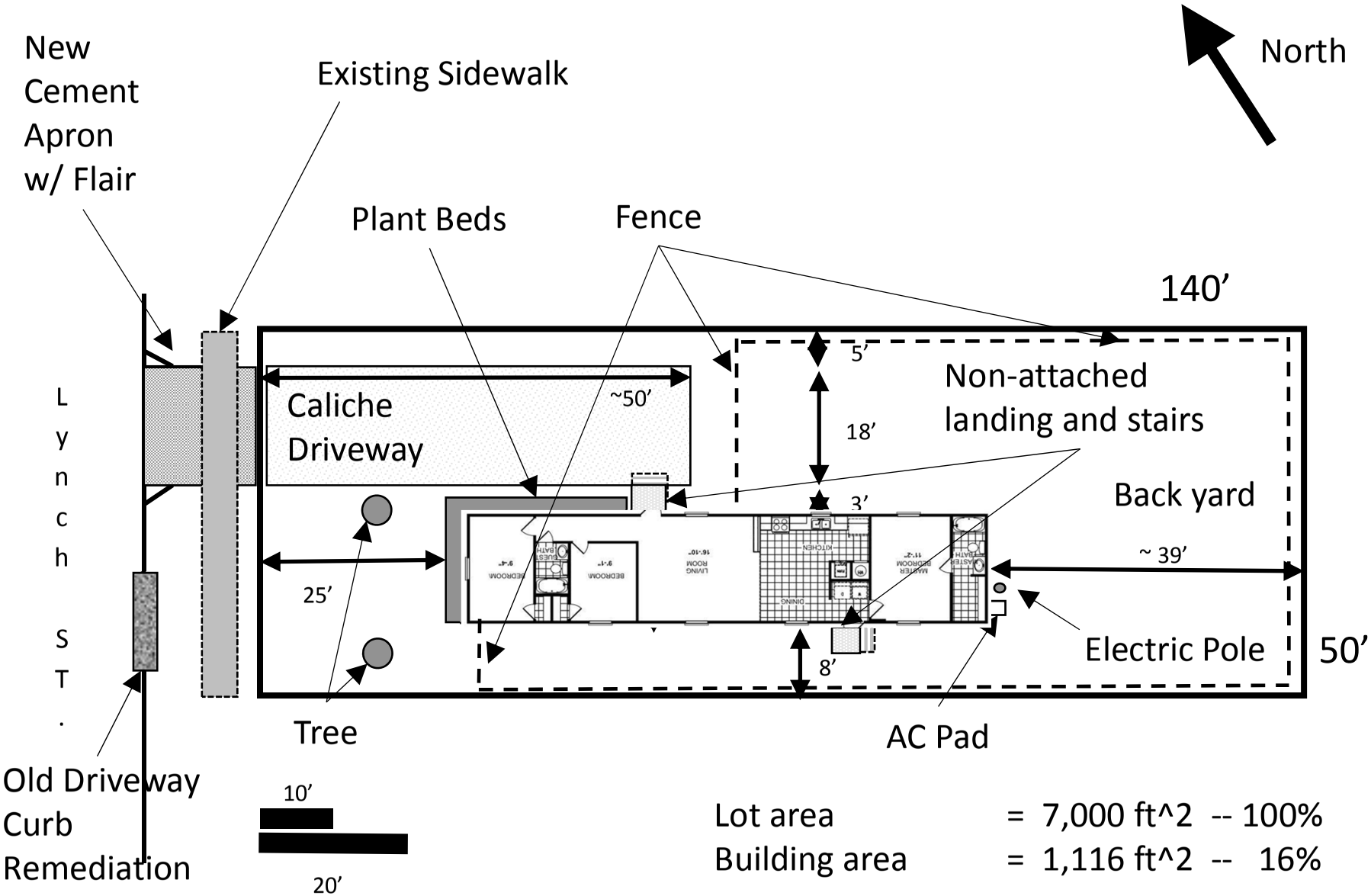
Owners in favor

4 Owners within 200' listed on attached ownership table

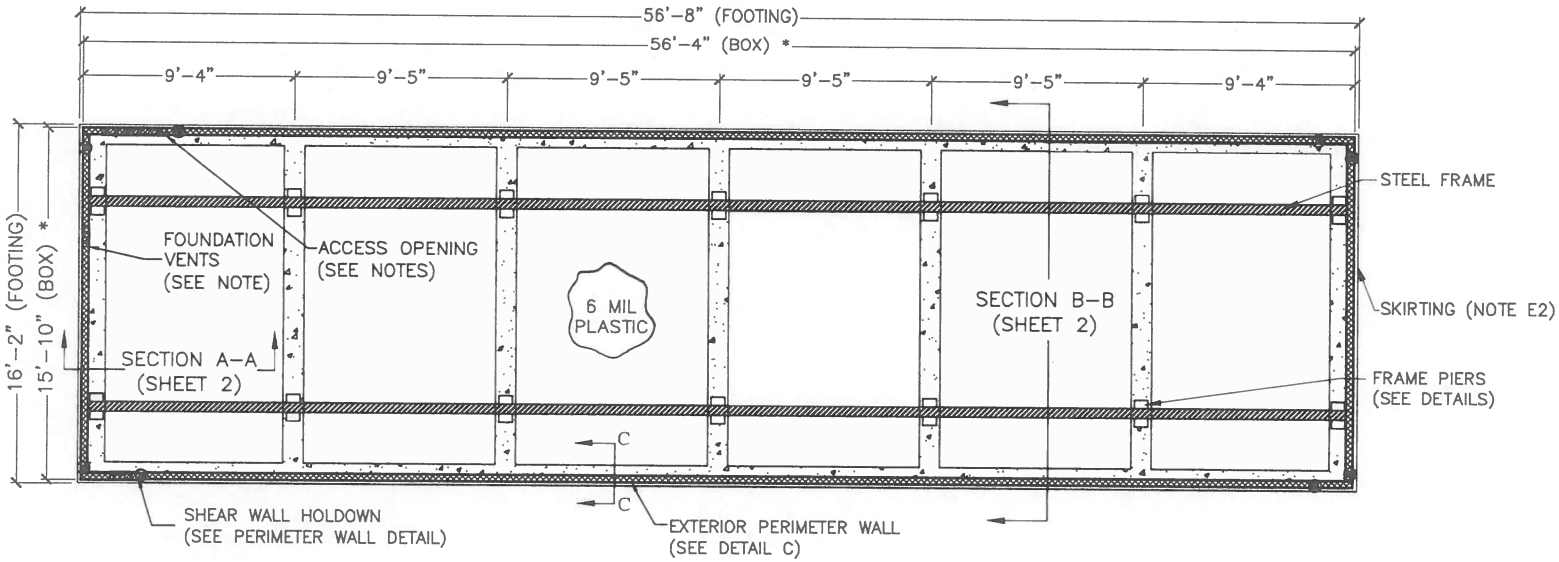
X Owners in opposition



# Site Plan For 2516 Lynch St.




Lot area = 7,000 ft^2 -- 100%
Building area = 1,116 ft^2 -- 16%




NOTE (*):
ADD 4" TO BOX DIMENSIONS TO ACCOUNT FOR 2x6 WALLS.

SITE EVALUATION & PREPARATION:
S1) REMOVAL OF VEGETATION FROM THE SITE IS REQUIRED. WHERE LARGE TREES ARE REMOVED, SPECIAL ATTENTION ON BACK FILL, COMPACTION AND SOIL MOISTURE IS REQUIRED. CONTACT RCS FOR ADDITIONAL INFORMATION.
S2) ALL BACK FILL BELOW THE FOOTINGS MUST BE MECHANICALLY COMPACTED TO A 95% (STANDARD PROCTOR DENSITY) IN 6" LAYERS USING AN ENGINEERED SELECT MATERIAL. THIS DESIGN IS VALID ON LOTS WITH A MAXIMUM SLOPE OF 4' OVER THE LENGTH OF THE HOME. IF UNUSUAL SITE CONDITIONS ARE PRESENT, RCS ENTERPRISES, LP MUST BE CONTACTED FOR FURTHER REVIEW.
S3) IN AREAS WITH ACTIVE CLAY SOIL, SOIL MOISTURE LEVELS BELOW THE FOUNDATION MUST BE WITHIN A MIDRANGE VALUE (GENERALLY ~ 18% - 28%) BEFORE POURING CONCRETE.
S4) IT IS THE RESPONSIBILITY OF OTHERS TO DETERMINE THE FLOOD POTENTIAL FOR THIS LOCATION. CONTACT RCS ENTERPRISES, LP FOR ADDITIONAL INFORMATION IF THIS SITE FALLS WITHIN THE 100 YEAR FLOOD ELEVATION, AS DETERMINED BY A LOCAL SURVEYOR.
S5) SITE PREPARATION:
1. SCRAPE/REMOVE 4" OF ORGANIC MATERIAL FROM SURFACE.
2. INSTALL ~20 YARDS OF NON-SANDY FILL AND OR CUT AND GRADE TO PAD BOX SIZE.

GENERAL NOTES:
G1) THE AXLES AND HITCHES MUST BE REMOVED AFTER INSTALLATION.
G2) DRYER VENTS AND HOT WATER HEATER PVC LINES (PAN AND T&P) ARE TO BE ROUTED OUTSIDE OF THE CRAWL SPACE ENCLOSURE.
G3) ALL EXTERIOR MATERIALS (WOOD, NAILS, CONNECTORS, ETC.) MUST BE CORROSION RESISTANT TO TDI REQUIREMENTS AND DESIGNED FOR THIS APPLICATION.
ALL CONNECTORS, PLATES, STRAPS, AND ANCHORAGE DEVICES IN CONTACT WITH PRESSURE TREATED LUMBER MUST BE CERTIFIED TO MEET ASTM A653 OR BE STAINLESS STEEL. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL MEET ASTM 153 OR BE STAINLESS STEEL. STAINLESS STEEL FASTENERS SHALL BE USED WITH STAINLESS STEEL CONNECTORS AND DEVICES.

DESIGN PARAMETERS:
DESIGN PARAMETERS: WIND-120 MPH 3 SEC GUST EXP C PER ASCE 7-05; TDI INLANDI I; MINIMUM SOIL BEARING CAPACITY OF 1500 PSF; SEISMIC - NONE. THIS FOUNDATION IS DESIGNED FOR USE IN EXPANSIVE CLAY SOILS. HOWEVER, PERIODIC RE-LEVELING MAY BE REQUIRED. SEE FOUNDATION MAINTENANCE AND DRAINAGE NOTES TO MINIMIZE THE SEASONAL AFFECTS.

THESE DIMENSIONS ARE FOR PERMIT PURPOSES ONLY. FINAL DIMENSIONS MUST BE OBTAINED FROM MANUFACTURER PRIOR TO CONSTRUCTION.

Jerry L. Helms
2014.09.02
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REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS – NO. 41625
RCS ENTERPRISES, LP F-2071

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THIS DESIGN WAS ORDERED BY: OAK CREEK HOMES #68

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400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572

JOHN ELMDAHL
414 SCOTLAND
CORPUS CHRISTI, TX 78418

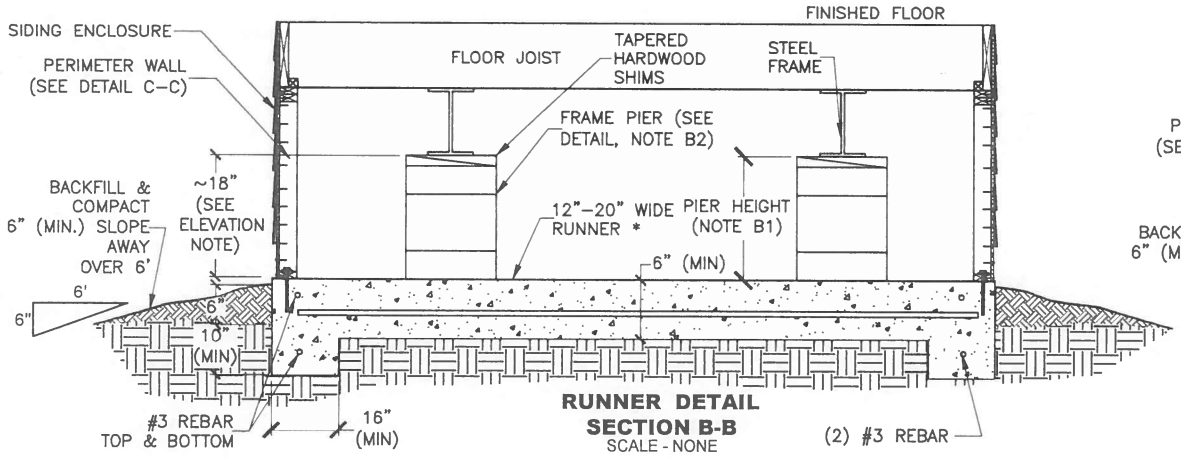
FILE NAME: RCS-TX-ON FRAME-COA
DRAWING NAME: MODULAR HOME FOUNDATION - COASTAL COUNTY RUNNER DESIGN

CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.

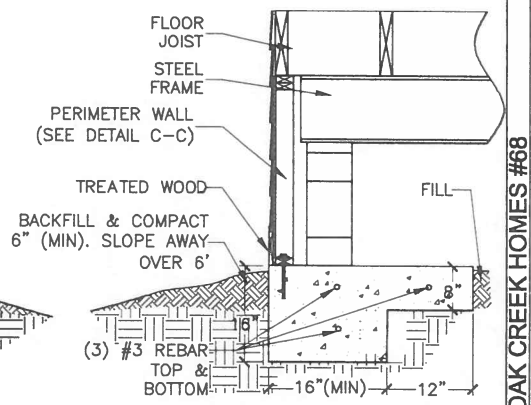
COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS

MODEL: 5602 BOX SIZE: 15'-6" X 56'-0"

SHEET NO. 1 OF 5 DWG ISSUE DATE: 09/02/14 REV NO. & DATE 0)




**RUNNER DETAIL**
**SECTION B-B**
SCALE - NONE




**FOUNDATION CUT VIEW**
**SECTION A-A**

FOOTING/CONCRETE NOTES(C):
C1) ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL AND GENERALLY ACCEPTED CODES, AND INCLUDING ACI-318.
C2) ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, WITH 1" MAXIMUM AGGREGATE SIZE, A MAXIMUM SLUMP OF 4", AND HAVE 3-5% AIR ENTRAINMENT.
C3) REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO A.S.T.M. "A-615 GRADE 40".
C4) ALL REBAR IS TO BE CONTINUOUS WHERE POSSIBLE.
C5) THE MINIMUM PERIMETER FOOTING DEPTH IS 12", INTO UNDISTURBED SOIL, OR TO THE FROST LINE, WHICHEVER IS GREATER.
C6) WHERE INSTALLATIONS MUST BE COMPLETED BEFORE THE CONCRETE IS 70% CURED (3 DAYS), FAST SETTING CONCRETES MUST BE USED.

DRAINAGE (D):
D1) POSITIVE AND EFFECTIVE DRAINAGE AWAY FROM THE FOUNDATION IS CRITICAL TO HELP MINIMIZE FOUNDATION MOVEMENT DUE TO CHANGING SOIL MOISTURE LEVELS AND TO ENSURE THE CRAWL SPACE AREA STAYS DRY. THERE SHOULD NOT BE ANY STANDING OR PONDING OF SURFACE WATER WITHIN 10' OF THE FOUNDATION.
D2) LOT GRADING AND SURFACE WATER RUN-OFF SHOULD BE CONSIDERED AND DEVELOPED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
D3) EROSION OF THE SOIL ALONG THE PERIMETER OF THE FOUNDATION SHOULD BE PREVENTED WITH USE OF SEEDING, SOD, OR OTHER MEANS. THIS IS GENERALLY THE HOMEOWNERS RESPONSIBILITY.
D4) RAIN GUTTERS ARE GENERALLY NOT REQUIRED, BUT CAN BE BENEFICIAL TO REDIRECT HIGH WATER FLOW AREAS.

FOUNDATION MAINTENANCE:
THIS IS A SHALLOW FOUNDATION DESIGN AND AS SUCH, IS SUBJECT TO MOVEMENT FROM EXPANDING AND CONTRACTING CLAY SOILS, IF SOIL MOISTURE LEVELS ARE ALLOWED TO FLUCTUATE. THUS, TO PREVENT FOUNDATION MOVEMENT (AND POTENTIALLY THE NEED FOR ADJUSTMENT/SHIMMING, OR MORE EXTENSIVE REPAIRS AT THE HOMEOWNERS EXPENSE) CONSISTENT SOIL MOISTURE LEVELS SHOULD BE MAINTAINED ON A YEAR-ROUND BASIS. GENERALLY THIS INVOLVES WATERING WITH A SOAKER HOSE OR SPRINKLER DURING THE DRY SUMMER MONTHS AND MAINTAINING GOOD DRAINAGE AWAY FROM THE FOUNDATION DURING THE WET WINTER MONTHS. ADDITIONALLY, SHRUBS & TREES GREATER THAN 2" IN TRUNK DIAMETER ARE NOT RECOMMENDED WITHIN THEIR MATURE HEIGHT FROM THE FOUNDATION IN AREAS WITH HIGH CLAY CONTENT SOIL AS THEY CONSUME LARGE VOLUMES OF WATER AND WILL IMPACT THE SOIL MOISTURE LEVELS. IN SOME CASES, ROOT BARRIERS OR OTHER MEANS CAN BE EFFECTIVE IN HELPING TO MANAGE SOIL MOISTURE LEVELS. AGAIN, IT IS IMPORTANT TO STRESS THE REQUIREMENT/RESPONSIBILITY FOR THE HOMEOWNER TO MAINTAIN SOIL MOISTURE LEVELS IN AREAS WITH CLAY SOIL TO PREVENT FOUNDATION MOVEMENT.

LIMITATIONS:
ALL MODIFICATIONS OR CHANGES SHALL BE IN WRITING AND NO VERBAL DEVIATIONS ARE PERMITTED. ANY CHANGES OR DEVIATIONS TO THIS PLAN CONSTITUTE A BREACH OF THIS PLAN AND RENDERS VOID TO THE ENGINEER'S CERTIFICATION AS WELL AS ALL EXPRESSED OR IMPLIED LIABILITY OR WARRANTY OF THIS DESIGN. RCS ENTERPRISES, LP LIABILITY FOR THIS DESIGN IS LIMITED TO $500. USE OF PART OF THIS DESIGN INDICATES ACCEPTANCE OF ALL OF THE REQUIREMENTS. THE WARRANTY OF THIS DESIGN IS LIMITED TO THIS PLAN AND DOES NOT INCLUDE WHAT MAY OR MAY NOT BE INSTALLED AT CONSTRUCTION. PLEASE CONTACT US IF YOU HAVE QUESTIONS ABOUT THIS DESIGN OR THE STIPULATIONS OF ITS USE. WE EXPRESSLY DENY ANY WARRANTY THAT THIS DESIGN WILL SATISFY THE PARTICULAR DESIRES OF A PARTICULAR CUSTOMER.

WINDBORNE DEBRIS PROTECTION: PROTECTIVE PANELS MUST BE PROVIDED FOR EACH GLAZED OPENING.
a) PANELS SHALL BE PRECUT FROM 15/32" (MIN) PLYWOOD (NO OSB).
b) PANELS MUST BE SIZED TO COVER THE OPENINGS 2" PAST EACH SIDE OF OPENING.
c) EACH PANEL SHALL BE LABELED WITH THE OPENING IT IS TO COVER.
d) PANELS ARE TO BE SECURED WITH SUFFICIENT QUANTITY OF ATTACHMENT HARDWARE TO BE PROVIDED WITH EACH PANEL: – #8 SCREWS WITH WASHERS AT 12" ON CENTER.
e) STORAGE: PANELS MUST BE STORED ON SITE IN A WEATHER RESISTANT LOCATION

ELEVATION NOTE:
REFERENCE ELEVATION CERTIFICATE FOR THIS PROPERTY, IF IN THE 100 YEAR FLOOD ZONE, TO ENSURE THE FINISHED FLOOR IS AT LEAST 18" ABOVE THE BFE.
ALL ELEVATION MEASUREMENTS MUST REFERENCE THE SURVEY BENCHMARK

Jerry L. Helms
2014.09.02
'00'05- 11:22:41

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*STATE OF TEXAS – NO. 41625*
*RCS ENTERPRISES, LP F-2071*

STATE OF TEXAS
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THIS DESIGN WAS ORDERED BY: OAK CREEK HOMES #68

**RCS Enterprises, LP**
400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572

*JOHN ELMDAHL*
*414 SCOTLAND*
*CORPUS CHRISTI, TX 78418*

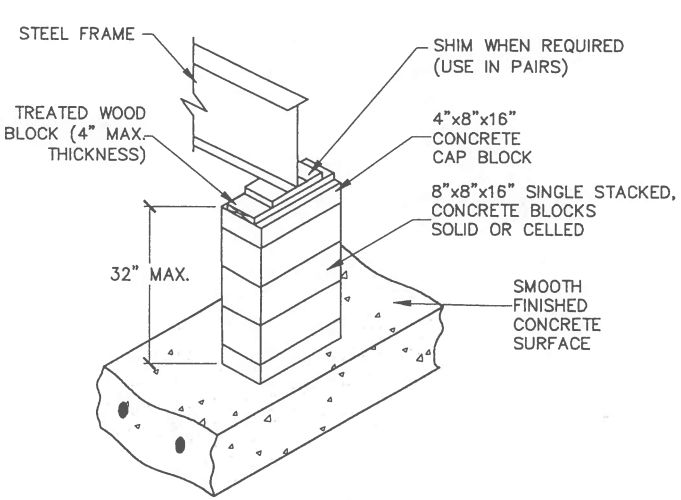
FILE NAME: RCS-TX-ON FRAME-COA
DRAWING NAME: MODULAR HOME FOUNDATION - COASTAL COUNTY

CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.

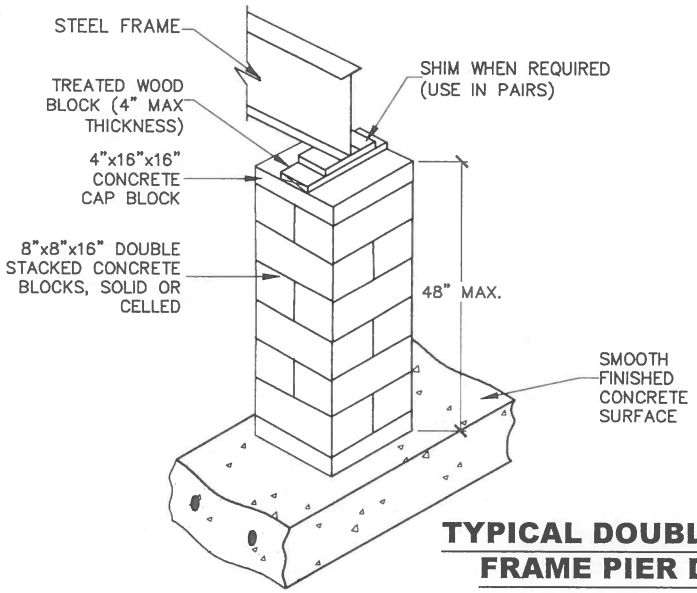
COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS

MODEL: **5602** BOX SIZE: **15'-6" X 56'-0"**

SHEET NO. 2 OF 5 DWG ISSUE DATE: **09/02/14** REV NO. & DATE 0)




**TYPICAL SINGLE BLOCK FRAME PIER DESIGN**




**TYPICAL DOUBLE BLOCK FRAME PIER DESIGN**

BLOCKING NOTES (B):

B1) THE MINIMUM BLOCK HEIGHT UNDER THE FRAME IS 12" (18" UNDER FLOOR JOIST) AND THE MAXIMUM IS 48" FOR THIS DESIGN.

B2) USE 8"x8"x16" HOLLOW CELL MASONRY UNITS; 1-1/4" FACE SHELL THICKNESS; 1" WEB THICKNESS; 18,720 LB. LOAD-BEARING CAPACITY WITH 4" SOLID CAP BLOCK. ALL MASONRY PIERS & WALLS MUST HAVE MORTARED OR EPOXY BONDED JOINTS. ALL BLOCKS MUST BE POSITIONED TO ENSURE A 2" MIN FOOTING PROJECTION.

B3) BLOCKING IS REQD ON ALL HOMES AS REFLECTED ON SHEET 1 UNDER FRAME, PERIMETER, MARRIAGE, AND PORCHES. INSTALL BLOCKING ON RUNNERS OR 20"x20"x8" CONCRETE FOOTINGS.

Jerry L. Helms
2014.09.02
'00'05- 11:22:36

*JERRY L. HELMS*
*REGISTERED PROFESSIONAL ENGINEER*
*STATE OF TEXAS – NO. 41625*
*RCS ENTERPRISES, LP F-2071*

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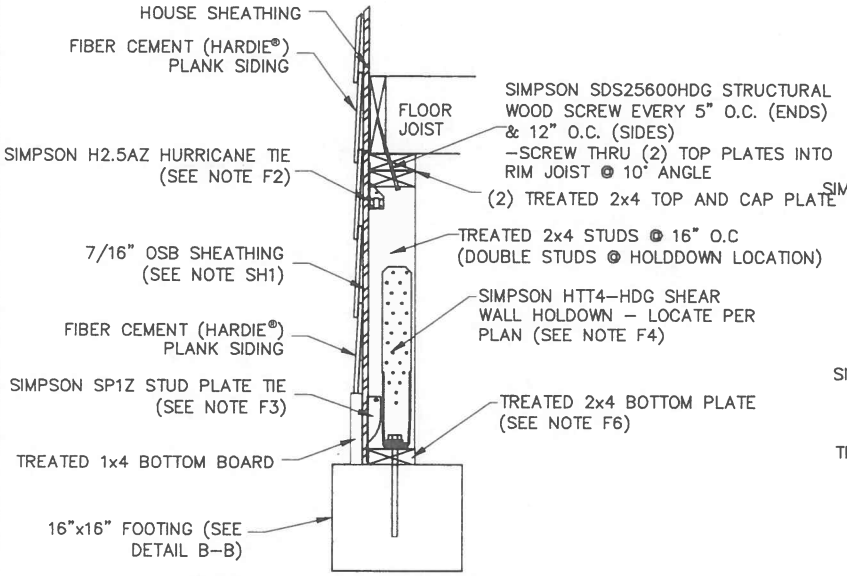
*JOHN ELMDAHL*
*414 SCOTLAND*
*CORPUS CHRISTI, TX 78418*

FILE NAME: RCS-TX-ON FRAME-COA
DRAWING NAME: MODULAR HOME FOUNDATION - COASTAL COUNTY BLOCKING DETAILS

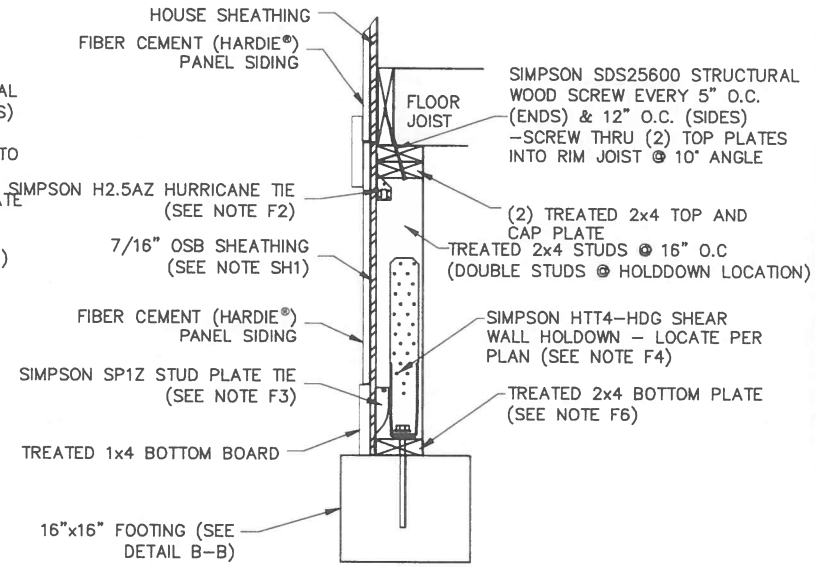
CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.

COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS

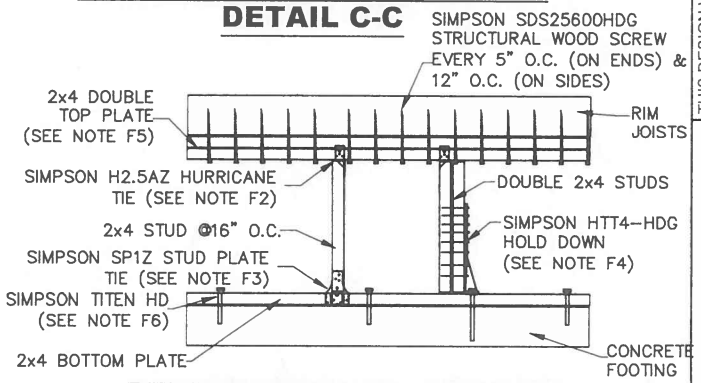
MODEL: 5602 BOX SIZE: 15'-6" X 56'-0"
SHEET NO. 3 OF 5 DWG ISSUE DATE: 09/02/14 REV NO. & DATE 0)




## FIBER CEMENT PLANK PERIMETER OR PORCH WALL DETAIL C-C




## FIBER CEMENT PANEL PERIMETER OR PORCH WALL DETAIL C-C




## PERIMETER WALL FRAMING SIDE VIEW

FASTENER NOTES (F):

F1) SIMPSON H2.5AZ HURRICANE TIE; ATTACH AT EACH STUD TO DOUBLE TOP PLATE w/ (10) 8d NAILS
F2) SIMPSON SP1Z STUD PLATE TIE; ATTACH AT EACH STUD TO BOTTOM PLATE w/ (10) 10d NAILS
F3) SIMPSON HTT4-HDG SHEAR WALL HOLDOWN (LOCATE PER PLAN) - ATTACH TO DOUBLE 2x STUDS w/ (18) 16d NAILS & TO FOOTING w/5/8"Ø SIMPSON SSTB16 ANCHOR BOLT (13" EMBEDMENT)
F4) ATTACH CAP PLATE TO FLOOR RIM JOIST AND TOP PLATE TO CAP PLATE W/SIMPSON SDS25600HDG STRUCTURAL SCREWS @ 5" O.C. ON THE ENDS & 12" O.C. ON THE SIDES. END JOINTS / SPLICES IN TOP PLATES SHALL BE OFFSET AT LEAST 24" O.C. .
F5) TREATED 2x4 BOTTOM PLATE; ATTACH TO FOOTING w/ 1/2" x 6" SIMPSON TITEN HD ANCHOR BOLTS w/ 2" SQUARE WASHER 4' O.C. ALONG PERIMETER WALL AND WITHIN 12" OF PLATE CORNERS AND SPLICES

SHEATHING NOTES (SH):

SH1) PERIMETER WALL TO BE SHEATHED WITH 7/16" OSB WITH 8d NAILS AT 4" SPACING AT PANEL EDGES, 12" ON INTERMEDIATE SUPPORTS WITH MINIMUM PENETRATION OF 1 1/2" INTO FRAMING.
SH2) TOTAL SHEAR WALL LENGTH SHALL NOT INCLUDE AREAS WITH OPENINGS IN THE PERIMETER WALL
SH3) A HOLDOWN SHALL BE PROVIDED AT EACH END OF EACH SHEAR WALL SEGMENT
SH4) SIMPSON CONNECTORS, BRACKETS, AND STRAPS MAY BE SUBSTITUTED WITH AN EQUIVALENT RATED COMPONENT

ENCLOSURE NOTES (E):

E1) THE MINIMUM CRAWL SPACE CLEARANCE BETWEEN GRADE AND THE SUPPORT BEAMS IS 12" AND THE MINIMUM TO THE FLOOR JOIST IS 18". A MINIMUM 16"x24" ACCESS DOOR IS REQD INTO THE CRAWL SPACE AREA.
E2) A CONTINUOUS ENCLOSURE/SKIRTING OF THE CRAWL SPACE IS REQUIRED. IT MUST BE OF A PERMANENT MATERIALS AND BE SUPPORTED AT GRADE BY WOOD, STEEL OR CONCRETE PIER/FOOTINGS THAT EXTEND TO THE FROST LINE.
E3) A MINIMUM OF 1 SQFT OF CRAWL SPACE VENT AREA IS REQUIRED FOR EVERY 150 SQFT OF LIVING SPACE. ONE VENT MUST BE LOCATED WITHIN 3' OF EACH CORNER AND HAVE A MAX 1/4" OPENING MESH. VENTS TO BE LOCATED ON SIDE OF FOUNDATION ONLY, NOT ON END.
E4) ENCLOSED AREAS BELOW THE BASE FLOOD ELEVATION SHALL BE PROVIDED WITH FLOOD OPENINGS WITH A TOTAL NET AREA OF AT LEAST 1 SQUARE INCH PER SQUARE FOOT OF ENCLOSE AREA. THE BOTTOM OF EACH OPENING SHALL BE 1 FOOT OR LESS ABOVE ADJACENT GRADE LEVEL.OPENINGS SHALL BE A MINIMUM OF 3 INCHES IN DIAMETER. FLOOD OPENINGS CAN PROVIDE REQUIRED VENTILATION.
E5) SEE JAMES HARDIE INSTALLATION REQUIREMENTS FOR ANY ADDITIONAL REQUIREMENTS. INSTALLATION MUST MEET DESIGN WIND PRESSURES OF 44 P.S.F. (WINDSPEED: 120 MPH EXP. C - 17' ROOF HEIGHT)

Jerry L. Helms
2014.09.02
'00'05- 11:22:27

STATE OF TEXAS
JERRY L. HELMS
41625
REGISTERED
PROFESSIONAL ENGINEER

*JERRY L. HELMS*
*REGISTERED PROFESSIONAL ENGINEER*
*STATE OF TEXAS – NO. 41625*
*RCS ENTERPRISES, LP F-2071*

THIS DESIGN WAS ORDERED BY: OAK CREEK HOMES #68

**RCS Enterprises, LP**
400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572

*JOHN ELMDAHL*
*414 SCOTLAND*
*CORPUS CHRISTI, TX 78418*

FILE NAME: RCS-TX-ON FRAME-COA
DRAWING NAME: PERIMETER DETAILS

CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.

COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS

MODEL: 5602 BOX SIZE: 15'-6" X 56'-0"
SHEET NO. 4 OF 5 DWG ISSUE DATE: 09/02/14 REV NO. & DATE 0)

Texas Department of Insurance (TDI) Connector & Fastener Minimal Corrosion Resistance Requirements

| TDI Location Classification | Min. Corrosion Rating For TDI "Open" Areas * | Min. Corrosion Rating For TDI "Vented or Enclosed" Areas** | Min. Corrosion Rating For TDI "Conditioned" Areas*** |
|---|---|---|---|
| Seaward | Stainless Steel per ASTM A167 or Steel per ASTM A123, A153 or A653 | Steel per ASTM A641, B695 or B633 (All Seaward "Open" Coatings Can Also Be Used) | No Minimum Corrosion Resistance Requirement |
| Inland I | Steel per ASTM A641, B695 or B633 (All Seaward "Open" Coatings Can Also Be Used) | Steel per ASTM A899 (All Seaward/Inland I "Open" Coatings Can Also Be Used) | No Minimum Corrosion Resistance Requirement |
| Inland II | Steel per ASTM A641, B695 or B633 (All Seaward "Open" Coatings Can Also Be Used) | No Minimum Corrosion Resistance Requirement | No Minimum Corrosion Resistance Requirement |

TDI Area Definitions*

"Open" areas include: porches, decks, carports, exterior wall coverings, roof coverings (including vent and skylight attachments), brick/stone ties, undersides of elevated structures, mech. equip. anchors, garage door attachments, and hurricane shutter a

"Vented or Enclosed" areas include: attics, exterior wall stud cavities, crawl spaces, window & exterior door attachments, roof sheathing, wall sheathing.

"Conditioned" areas include: heated and cooled living areas.

Corrosion Resistance Requirement Notes

Note 1: 1/2" diameter or greater steel bolts in all areas or location classifications do not have to be corrosion resisstance coated.

Note 2: ASTM A167 - Stainless Steel, ASTM A123 or ASTM A153 - Hot Dip Galvanized Steel, ASTM A653 - Hot Dip Galvanized or Galvannealed Steel (Prior to Fabrication)

Note 3: ASTM A641 - Hot Dip Galvanied or Electro Galvanized Steel, B695 - Mechanically Deposited Zinc Coated Steel, ASTM B633 - Electrodeposited Zinc Coated Steel

Note 4: ASTM A899 - Epoxy Coated Steel

Note 5: Metal connectors include fabricated straps, brackets, ties, hangers, etc. etc. Connectors include bolts, screws, washers, nuts, etc.

Note 6: Refer to Design Parameters notes to determine if this home is located in a TDI Seaward, Inland I, or Inland II location classification.

Jerry L. Helms
2014.09.02
11:22:19
'00'05-

STATE OF TEXAS
JERRY L. HELMS
41625
REGISTERED
PROFESSIONAL ENGINEER

*JERRY L. HELMS*
*REGISTERED PROFESSIONAL ENGINEER*
*STATE OF TEXAS – NO. 41625*
*RCS ENTERPRISES, LP F-2071*

THIS DESIGN WAS ORDERED BY: OAK CREEK HOMES #68

**RCS Enterprises, LP**
400 N. Allen Dr. Suite #205 Allen, TX 75013 (972)727-8572

*JOHN ELMDAHL*
*414 SCOTLAND*
*CORPUS CHRISTI, TX 78418*

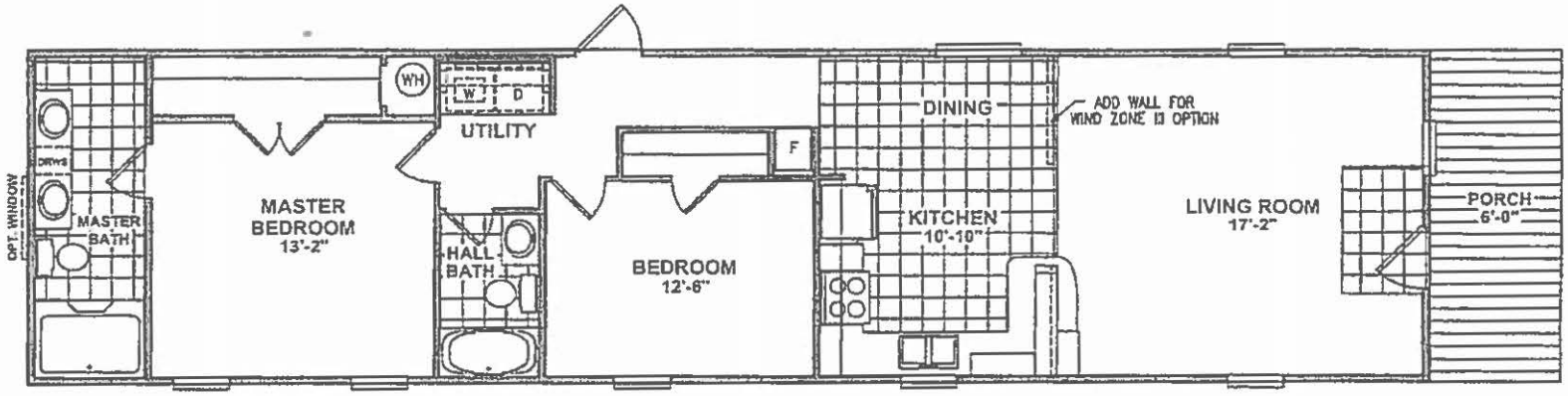
FILE NAME: RCS-TX-ON FRAME-COA
DRAWING NAME: SHEAR WALL PLAN

CONTRACTOR MUST FIELD VERIFY ACTUAL DIMENSIONS WITH MANUFACTURER PRIOR TO BEGINNING CONSTRUCTION.

COMPANY NAME IS BLUE IN COLOR ON ORIGINAL DRAWINGS

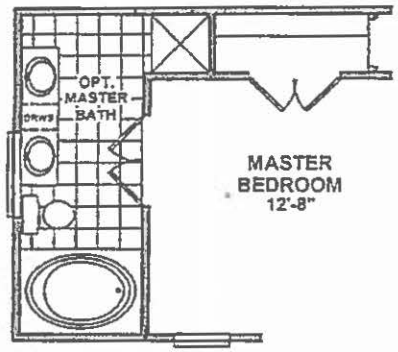
MODEL: 5602 BOX SIZE: 15'-6" X 56'-0"

SHEET NO. 5 OF 5 DWG ISSUE DATE: 09/02/14 REV NO. & DATE 0)

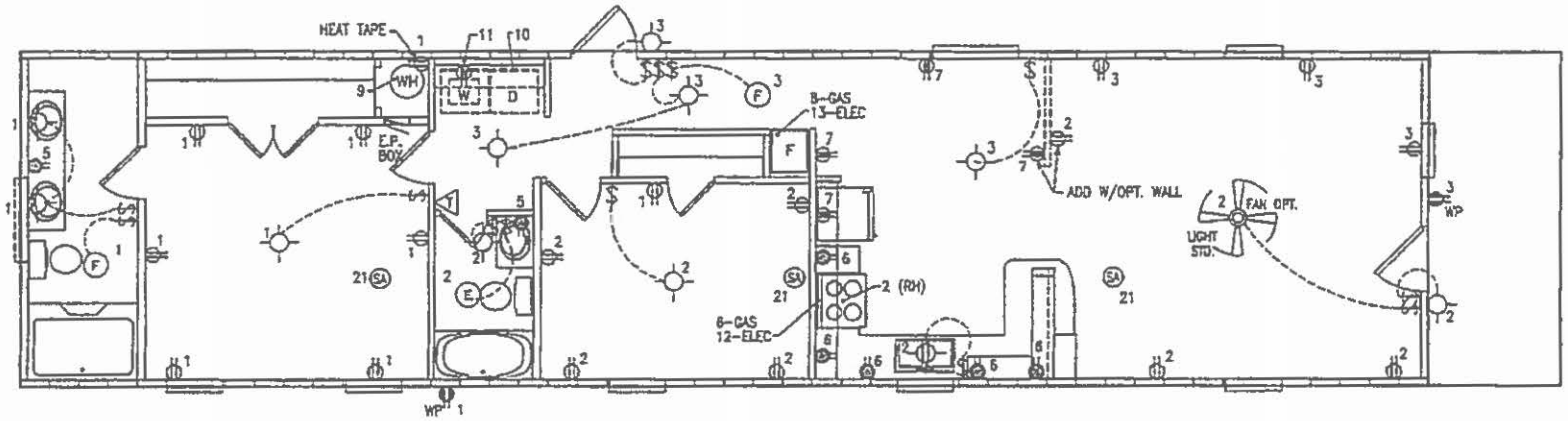


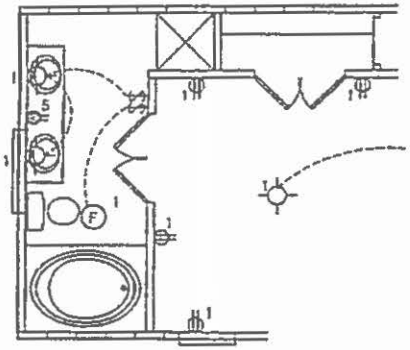

# MODEL: HS314PP

16 x 70' (74' OVERALL)
APPROX. 992 SQ. FT.
2 BEDROOMS, 2 BATHS




| | | | |
|---|---|---|---|
| OAK CREEK HOMES OF LANCASTER | | | |
| LITERATURE | | | |
| DAN ROBINSON | | | |
| 01/20/10 | 3/16" = 1'-0" | | |
| HS314P | 1 | | |

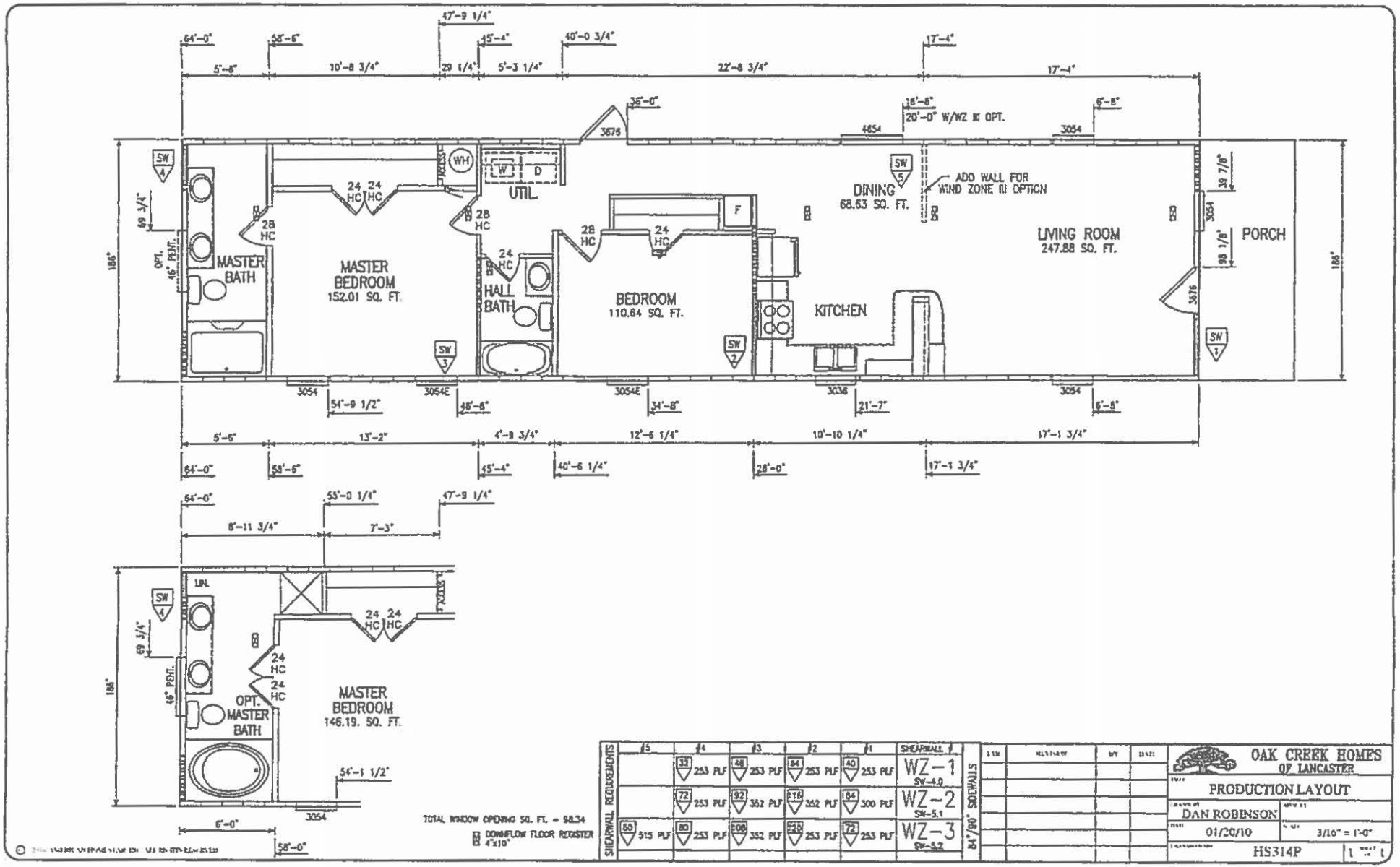


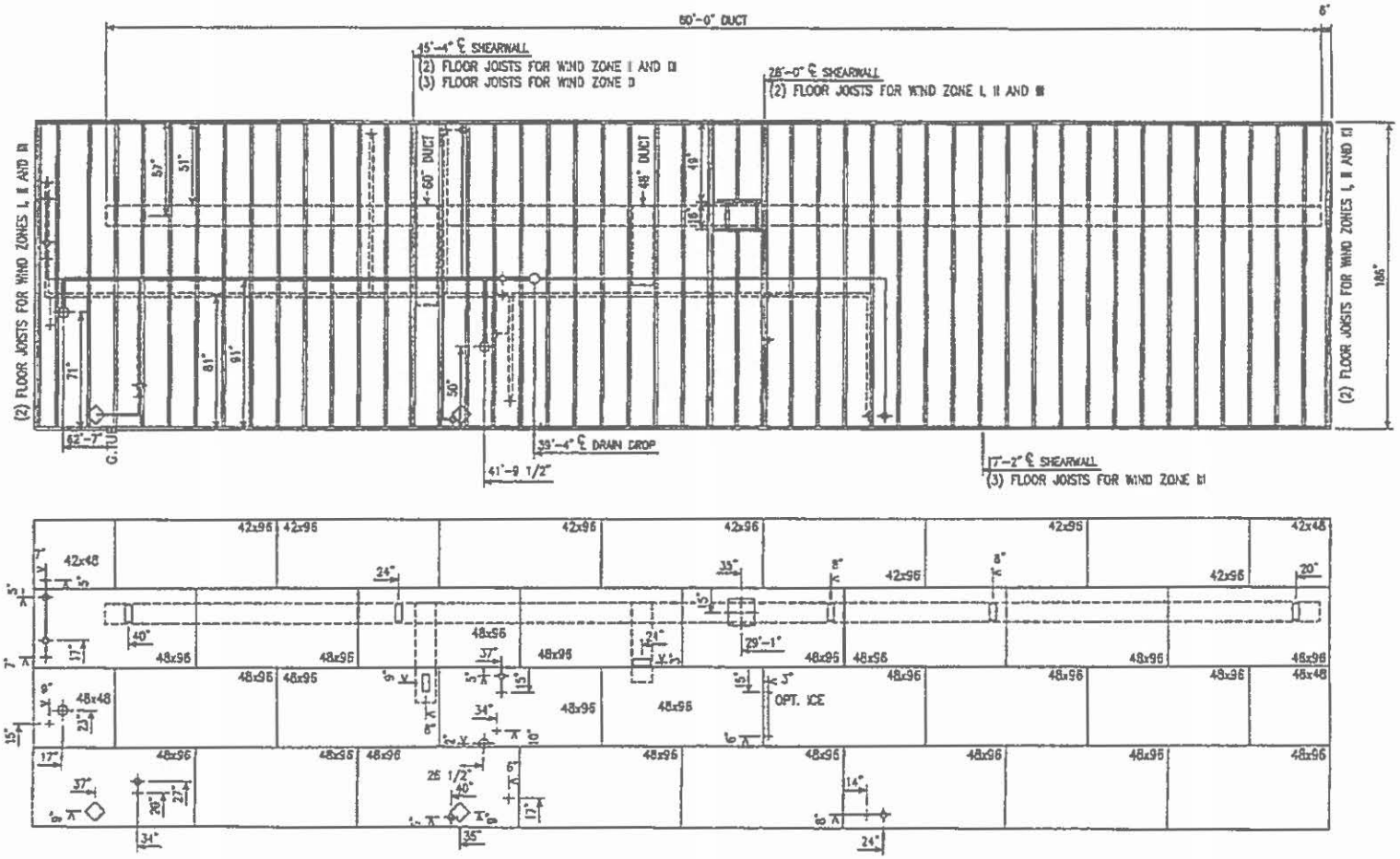



NOTES:

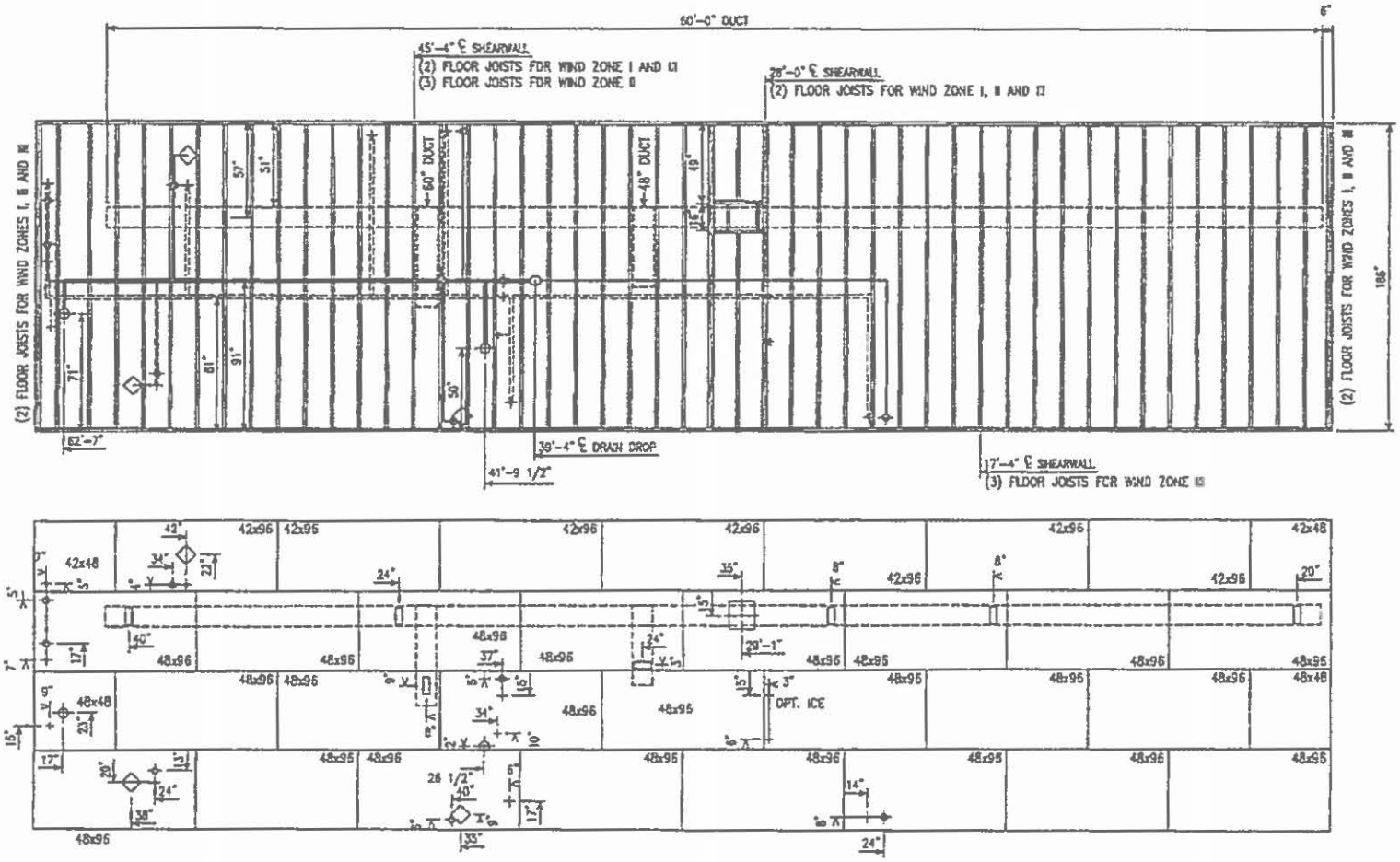
1. REFER TO SCM DRAWING EL-2.1 FOR CIRCUIT DIRECTORY AND ELECTRICAL SYMBOLS
2. WIRE PER MANUFACTURES INSTRUCTIONS FOR AN OPTIONAL GAS DRYER.

| | | | | |
|---|---|---|---|---|
| | | | | OAK CREEK HOMES OF LANCASTER |
| | | | | ELECTRICAL LAYOUT |
| | | | | DAN ROBINSON |
| | | | | 01/20/10 — 3/16" = 1'-0" |
| | | | | HS314P |


MASTER BATH
MASTER BEDROOM
152.01 SQ. FT.
UTIL.
HALL BATH
BEDROOM
110.64 SQ. FT.
KITCHEN
DINING
68.63 SQ. FT.
ADD WALL FOR WIND ZONE III OPTION
LIVING ROOM
247.88 SQ. FT.
PORCH
OPT. MASTER BATH
MASTER BEDROOM
146.19. SQ. FT.
TOTAL WINDOW OPENING SQ. FT. = 98.34
DOWNFLOW FLOOR REGISTER 4"x10"
SHEARWALL REQUIREMENTS
SHEARWALL
WZ-1
WZ-2
WZ-3
SIDEWALLS
OAK CREEK HOMES OF LANCASTER
PRODUCTION LAYOUT
DAN ROBINSON
01/20/10
3/16" = 1'-0"
HS314P




| | | | |
|---|---|---|---|
| OAK CREEK HOMES OF LANCASTER | | | |
| FLOOR LAYOUT | | | |
| DAN ROBINSON | | | |
| 01/20/10 | 3/16" = 1'-0" | | |
| HS314P | | | |




| LTR | REVISIONS | BY | DATE |
|---|---|---|---|
| | | | |

OAK CREEK HOMES OF LANCASTER

OPT. FLOOR LAYOUT

DAN ROBINSON

01/20/10

3/16" = 1'-0"

HS314P

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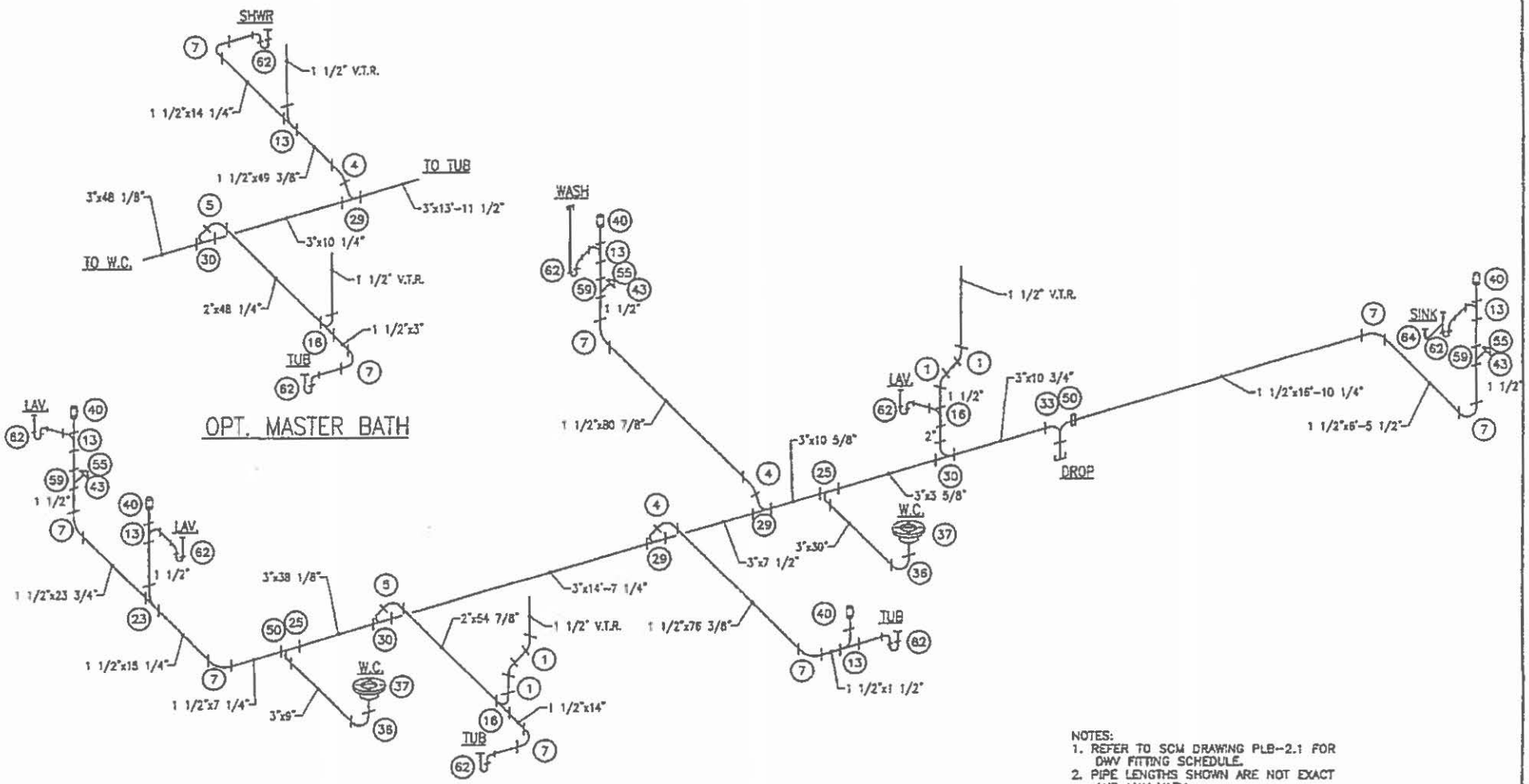


NOTES:
1. REFER TO SCM DRAWING PLB-2.1 FOR DWV FITTING SCHEDULE.
2. PIPE LENGTHS SHOWN ARE NOT EXACT AND MAY VARY.

| ITEM | REVISION | BY | DATE |
|---|---|---|---|
| | | | |

OAK CREEK HOMES OF LANCASTER

TITLE: DWV SYSTEM

DRAWN BY: DAN ROBINSON

APPR. BY:

DATE: 01/20/10

SCALE: 3/16" = 1'-0"

DRAWING NO: HS314P

SHEET 1 OF 1

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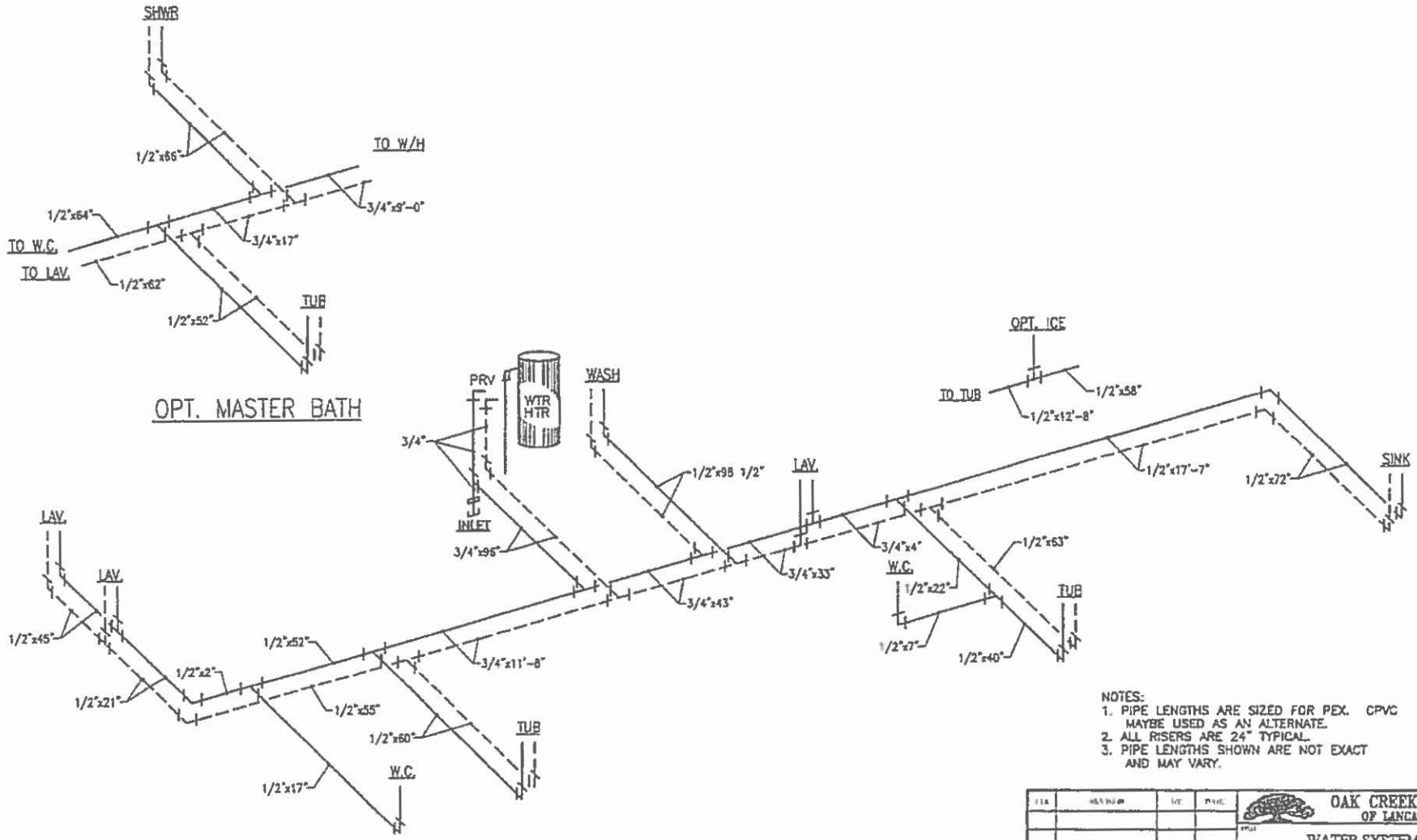
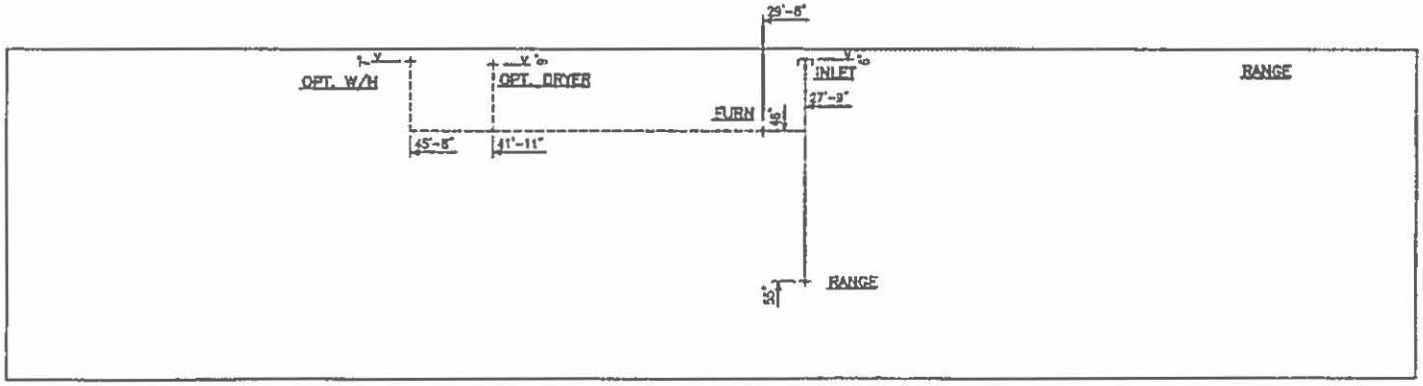
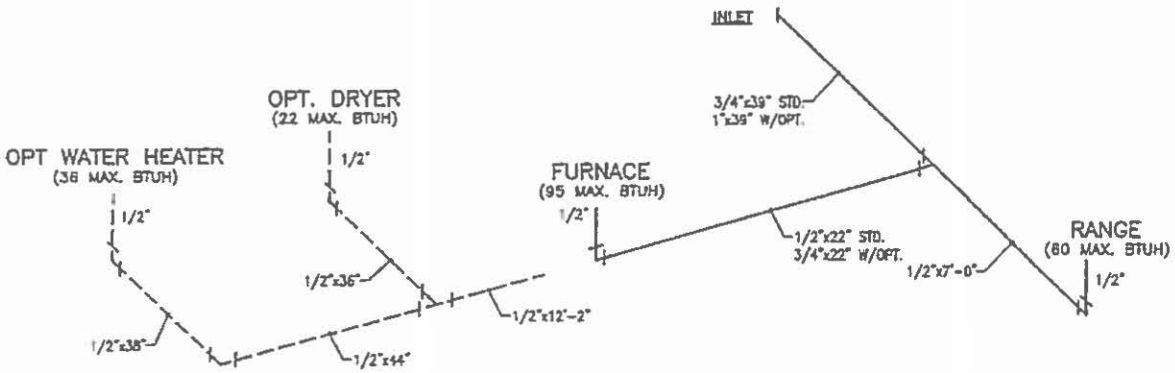



NOTES:
1. PIPE LENGTHS ARE SIZED FOR PEX. CPVC MAYBE USED AS AN ALTERNATE.
2. ALL RISERS ARE 24" TYPICAL.
3. PIPE LENGTHS SHOWN ARE NOT EXACT AND MAY VARY.

| | | | | |
|---|---|---|---|---|
| | | | | OAK CREEK HOMES OF LANCASTER |
| | | | | WATER SYSTEM |
| | | | | DAN ROBINSON |
| | | | | 01/20/10 — 3/16" = 1'-0" |
| | | | | HS314P — 1 |




## NOTES:

1. MAXIMUM STANDARD DEVELOPED LENGTH = 20'-0"
2. MAXIMUM OPTIONAL DEVELOPED LENGTH = 30'-0"
3. PIPE LENGTHS AND HOLE LOCATIONS ARE NOT EXACT AND MAY VARY.
4. TOTAL STANDARD B.T.U./HOUR = 155,000
5. TOTAL OPTIONAL B.T.U./HOUR = 213,000

| | | | | |
|---|---|---|---|---|
| | | | | OAK CREEK HOMES OF LANCASTER |
| | | | | OPT. GAS SYSTEM |
| | | | | DAN ROBINSON |
| | | | | 01/20/10 — 3/16" = 1'-0" |
| | | | | HS314P — 1 of 1 |

I disabilities planning to attend this meeting, who may require special services, are requested to contact the ment Services Department at least 48 hours in advance at (361) 826-3240. Personas con incapacidades, que e a intención de asistir a esta junta y que requieren servicios especiales, se les suplica que den aviso 48 horas an s de la junta llamando al departamento de servicios de desarrollo, al número (361) 826-3240.

If you wish to address the Commission during the meeting and your English is limited, please call the Development Services Department at (361) 826-3240 at least 48 hours in advance to request an interpreter be present during the meeting. Si usted desea dirigirse a la commission durante la junta y su inglés es limitado, favor de llamar al departamento de servicios de desarrollo al número (361) 826-3240 al menos 48 horas antes de la junta para solicitar un intérprete ser presente durante la junta.

## *CITY PLANNING COMMISSION*
## *PUBLIC HEARING NOTICE*
## *Rezoning Case No. 0417-02*

**Fun Season, LLC.-Series C** has petitioned the City of Corpus Christi to consider a change of zoning from the **"RS-6" Single-Family 6 District** to the **"RS-6/PUD" Single-Family 6 District with a Planned Unit Development for a manufactured home, not resulting in a change to the Future Land Use Map.** The property to be rezoned is described as:

**Flour Bluff Center, Block 4, Lot 19, located on the east side of Central Street, south of South Padre Island Drive (State Highway 358) and north of Compton Road.**

The Planning Commission may recommend to City Council approval or denial, or approval of an intermediate zoning classification and/or Special Permit. Approval of a change of zoning, if inconsistent with the City's Comprehensive Plan, will also have the effect of amending the Comprehensive Plan to reflect the approved zoning.

The Planning Commission will conduct a public hearing for this rezoning request to discuss and formulate a recommendation to the City Council. The public hearing will be held on **Wednesday, March 22, 2017,** during one of the Planning Commission's regular meetings, which begins at **5:30 p.m.,** in the City Council Chambers, 1201 Leopard Street. You are invited to attend this public hearing to express your views on this rezoning request. For more information, please call (361) 826-3240.

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE DEVELOPMENT SERVICES DEPARTMENT, P. O. BOX 9277, CORPUS CHRISTI, TEXAS 78469-9277. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

**NOTE: In accordance with the Planning Commission By-Laws, no discussion shall be held by a member or members of this Commission with an applicant or appellant concerning an application or appeal, either at home or office, or in person, by telephone call or by letter.**

Printed Name: Toben and Carmia Hill

Address: 1233 Central St City/State: CC TX

( ) IN FAVOR (X) IN OPPOSITION Phone: 770-900-7806

REASON:
displacement of water
depreciating property value
flooding

Signature

*SEE MAP ON REVERSE SIDE*
Property Owner ID: 4
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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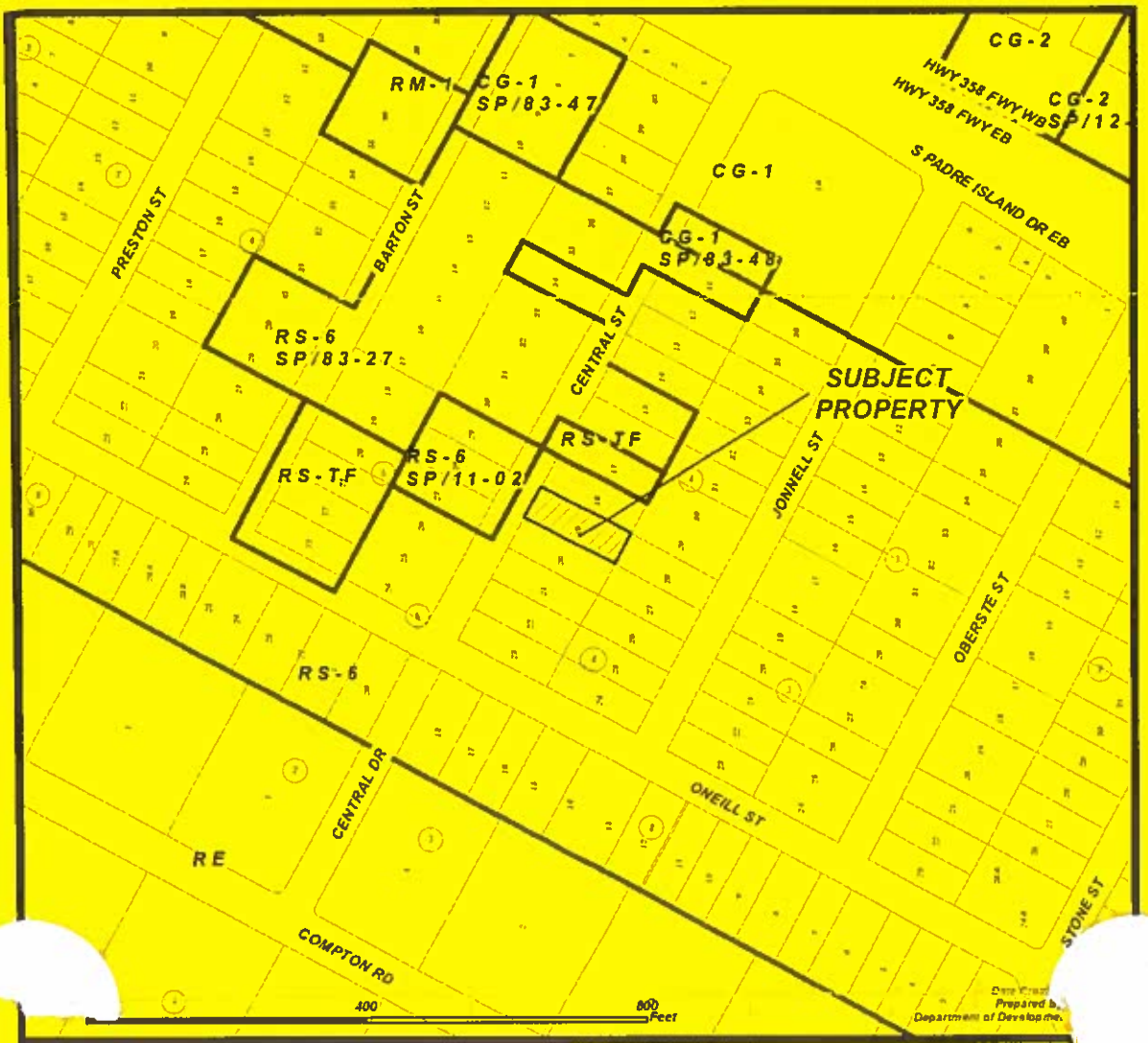
CARMIN HILL
1233 CENTRAL ST
Corpus Christi, TX 78418

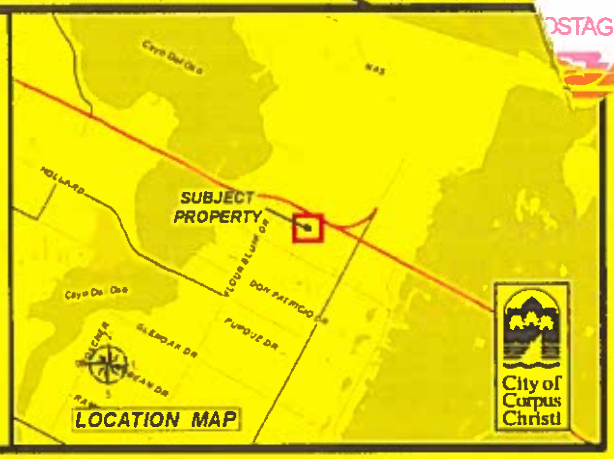



# CASE: 0417-02

## SUBJECT PROPERTY WITH ZONING

Subject Property

| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM-3 | Multifamily 3 | PUD | Planned Unit Dev Overlay |
| ON | Professional Office | RS-10 | Single Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS-TF | Two-Family |
| CR-1 | Resort Commercial | RS-15 | Single-Family 15 |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RMH | Manufactured Home |
| CR-3 | Resort Commercial | | |
| FR | Farm Rural | | |
| H | Historic Overlay | | |
| BP | Business Park | | |



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## *CITY PLANNING COMMISSION*
## *PUBLIC HEARING NOTICE*
## *Rezoning Case No. 0417-02*

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**NOTE: In accordance with the Planning Commission By-Laws, no discussion shall be held by a member or members of this Commission with an applicant or appellant concerning an application or appeal, either at home or office, or in person, by telephone call or by letter.**

Printed Name: Winona Villas LLC & Winona Terrace LLC

Address: 5601 SPID #D-204 City/State: Corpus Christi, TX

☒ IN FAVOR ( ) IN OPPOSITION Phone: affordable4infill@gmail.com

REASON:

Signature [signature], for Winona Villas LLC and Winona Terrace LLC

*SEE MAP ON REVERSE SIDE*
Property Owner ID: 5
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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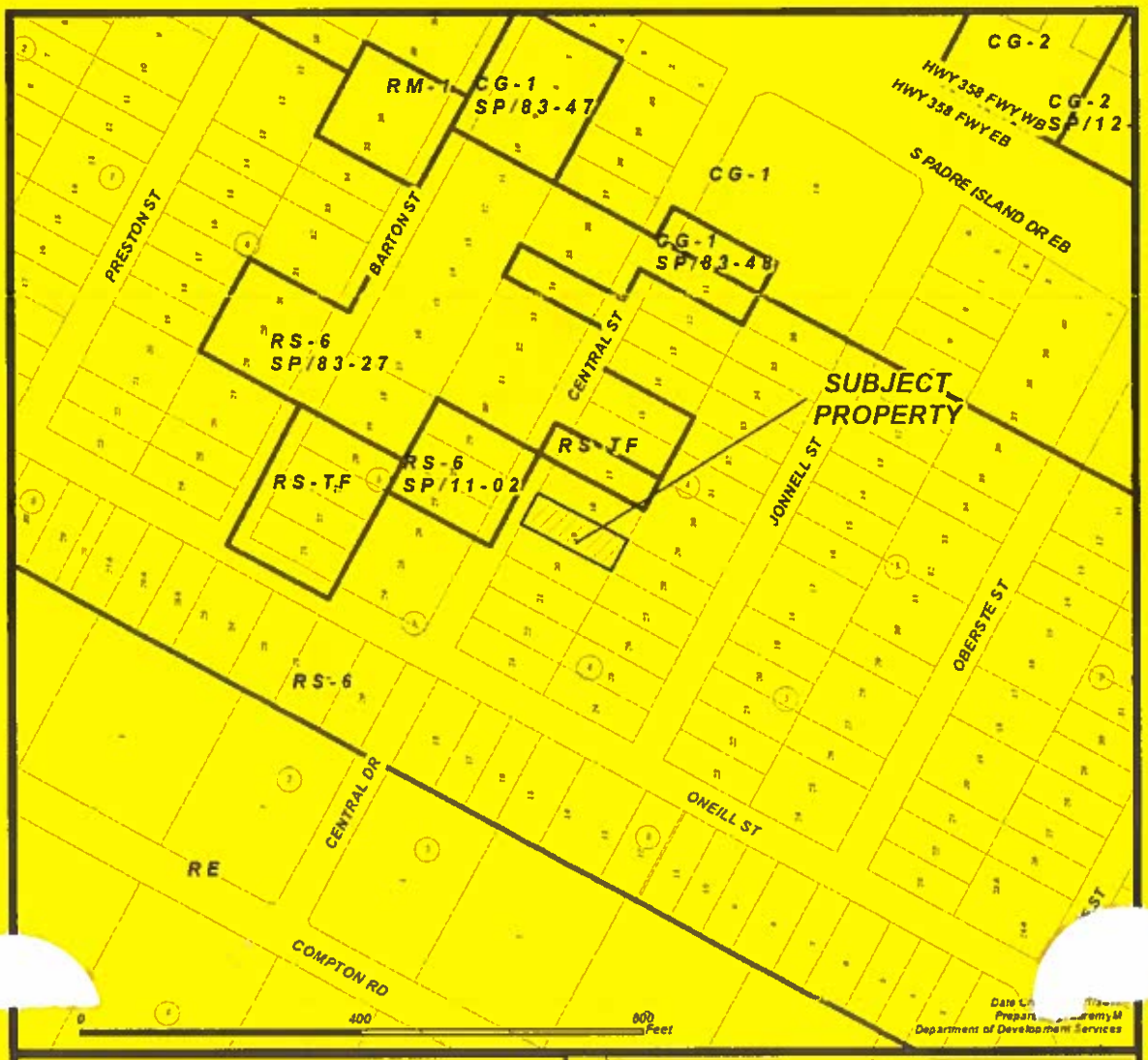
WINONA VILLAS, LLC
WINONA TERRACE, LLC
5601 S Padre Island Dr D-
Corpus Christi, TX 78412




# CASE: 0417-02

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| | | | |
|---|---|---|---|
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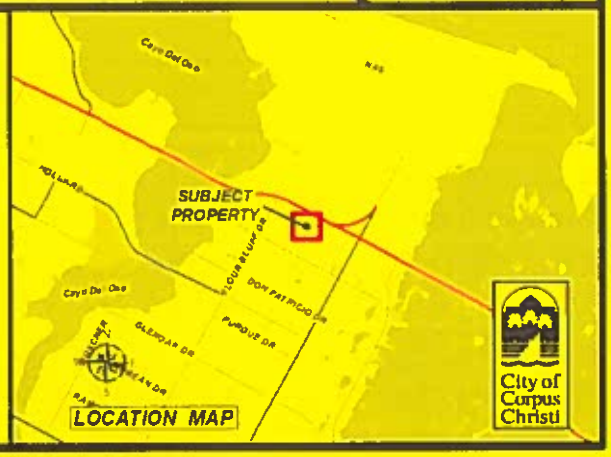
| H | Historic Overlay | | |
| BP | Business Park | | |



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## *CITY PLANNING COMMISSION*
## *PUBLIC HEARING NOTICE*
## *Rezoning Case No. 0417-02*

**Fun Season, LLC.-Series C** has petitioned the City of Corpus Christi to consider a change of zoning from the **"RS-6" Single-Family 6 District** to the **"RS-6/PUD" Single-Family 6 District with a Planned Unit Development for a manufactured home, not resulting in a change to the Future Land Use Map.** The property to be rezoned is described as:

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Printed Name: Tobin and Carmin Hill

Address: 1233 Central St City/State: CC TX

( ) IN FAVOR (X) IN OPPOSITION Phone: 770-900-7506

REASON:
displacement of water
depreciating property values
flooding

Signature CHill

*SEE MAP ON REVERSE SIDE*
Property Owner ID: 9
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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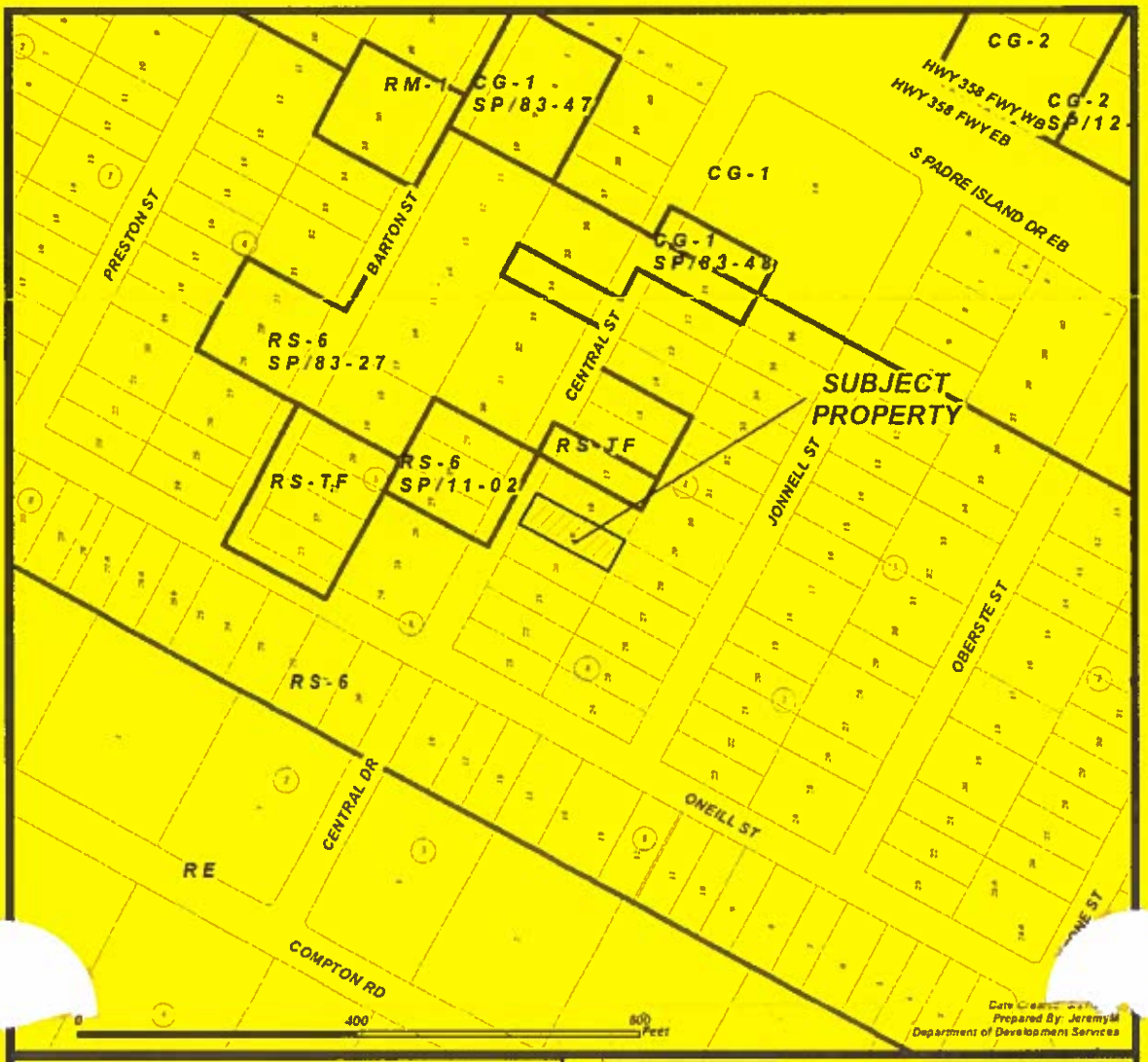
9 248100040225
HILL TOBEN AND WF
CARMIN HILL
1233 CENTRAL ST
Corpus Christi, TX 78418




# CASE: 0417-02

## SUBJECT PROPERTY WITH ZONING

Subject Property

| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM-3 | Multifamily 3 | PUD | Planned Unit Dev Overlay |
| ON | Professional Office | RS-10 | Single-Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS-TF | Two Family |
| CR-1 | Resort Commercial | RS-15 | Single-Family 15 |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RMH | Manufactured Home |
| CR-3 | Resort Commercial | | |
| FR | Farm Rural | | |
| H | Historic Overlay | | |
| BP | Business Park | | |

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## *CITY PLANNING COMMISSION*
## *PUBLIC HEARING NOTICE*
## *Rezoning Case No. 0417-02*

**Fun Season, LLC.-Series C** has petitioned the City of Corpus Christi to consider a change of zoning from the **"RS-6" Single-Family 6 District** to the **"RS-6/PUD" Single-Family 6 District with a Planned Unit Development for a manufactured home, not resulting in a change to the Future Land Use Map.** The property to be rezoned is described as:

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Printed Name: Winona Villas LLC and Winona Terrace LLC

Address: 5601 SPID #D-204 City/State: Corpus Christi, TX

☒ IN FAVOR ( ) IN OPPOSITION Phone: affordable4infill@gmail.com

REASON:

Signature: for Winona Villas LLC and Winona Terrace LLC

*SEE MAP ON REVERSE SIDE*
Property Owner ID: **17**
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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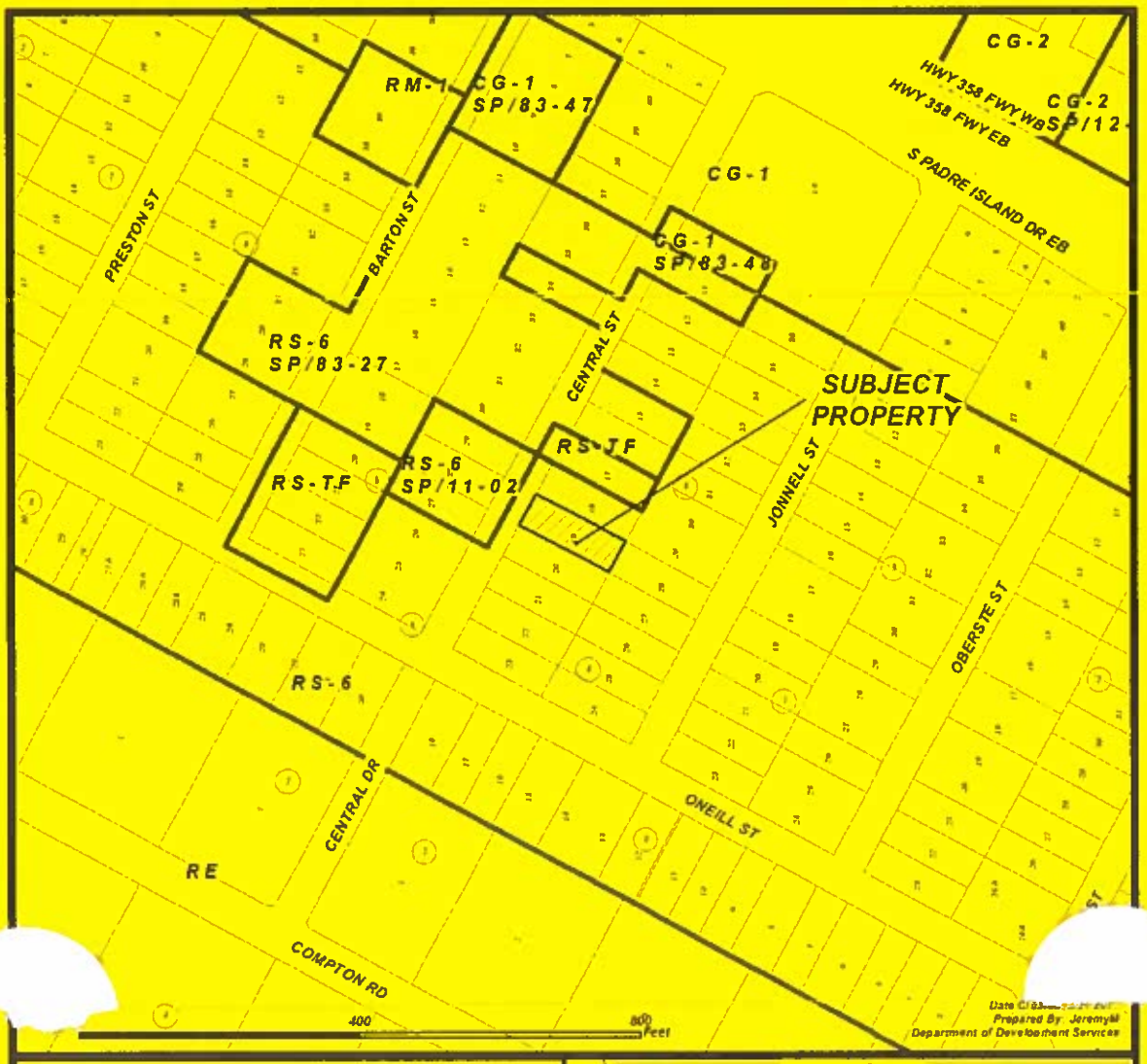
17 248100050180
WINONA VILLAS, LLC
WINONA TERRACE, LLC
5601 S Padre Island Dr D-
Corpus Christi, TX 78412




# CASE: 0417-02

## SUBJECT PROPERTY WITH ZONING

Subject Property

| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM-3 | Multifamily 3 | PUD | Planned Unit Dev Overlay |
| ON | Professional Office | RS-10 | Single-Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS-TF | Two Family |
| CR-1 | Resort Commercial | RS-15 | Single-Family 15 |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RMH | Manufactured Home |
| CR-3 | Resort Commercial | | |
| FR | Farm Rural | | |
| H | Historic Overlay | | |
| BP | Business Park | | |

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## *CITY PLANNING COMMISSION*
## *PUBLIC HEARING NOTICE*
## *Rezoning Case No. 0417-02*

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Printed Name: Toben and Carmin Hill

Address: 1233 Central St City/State: CC, TX

( ) IN FAVOR (X) IN OPPOSITION Phone: 210-900-7506

REASON:
displacement of water
depreciated property values
flooding

Signature

*SEE MAP ON REVERSE SIDE*
Property Owner ID: **19**
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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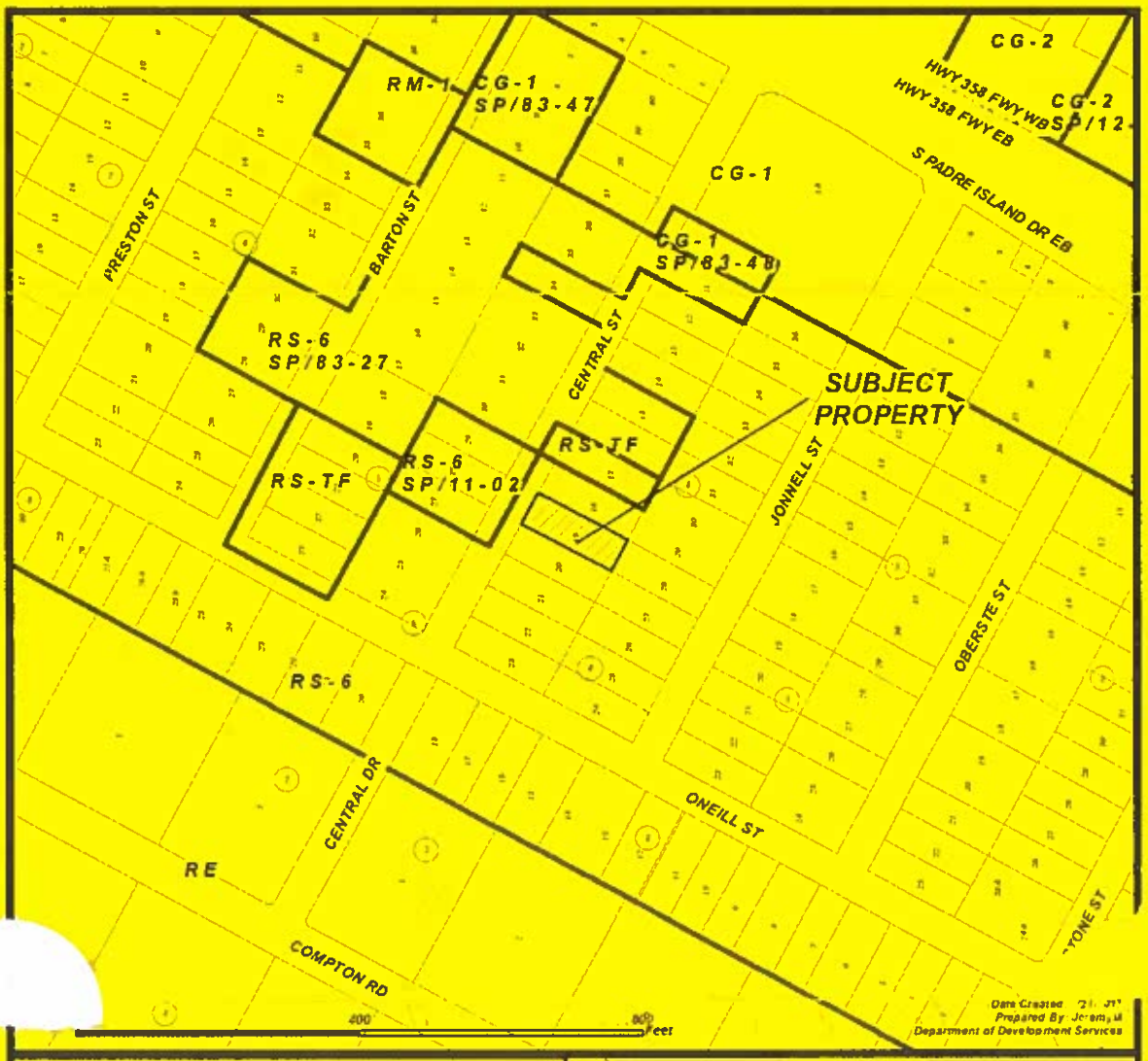
CARMIN HILL
1233 CENTRAL ST
Corpus Christi, TX 78418

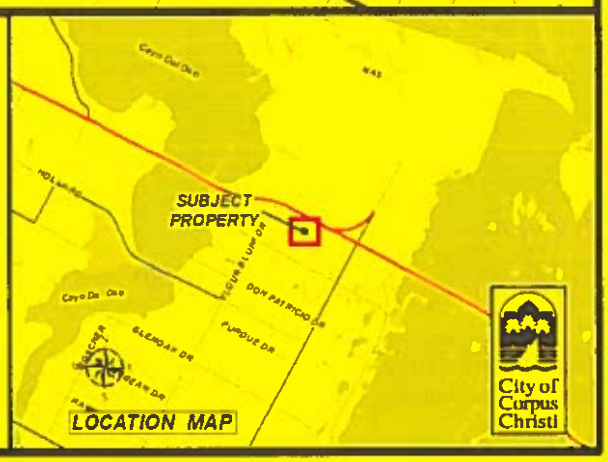



# CASE: 0417-02

## SUBJECT PROPERTY WITH ZONING

Subject Property

| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM-3 | Multifamily 3 | PUD | Planned Unit Dev Overlay |
| ON | Professional Office | RS-10 | Single-Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS-TF | Two-Family |
| CR-1 | Resort Commercial | RS-15 | Single-Family 15 |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RMH | Manufactured Home |
| CR-3 | Resort Commercial | | |
| FR | Farm Rural | | |
| H | Historic Overlay | | |
| BP | Business Park | | |



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## *CITY PLANNING COMMISSION*
## *PUBLIC HEARING NOTICE*
## *Rezoning Case No. 0417-02*

**Fun Season, LLC.-Series C** has petitioned the City of Corpus Christi to consider a change of zoning from the **"RS-6" Single-Family 6 District** to the **"RS-6/PUD" Single-Family 6 District with a Planned Unit Development for a manufactured home, not resulting in a change to the Future Land Use Map.** The property to be rezoned is described as:

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Printed Name: Winona Terrace LLC and Winona Villas LLC

Address: 5601 SPID #D-204 City/State: Corpus Christi, TX

(X) IN FAVOR ( ) IN OPPOSITION Phone: affordable4infill@gmail.com

REASON:

Signature for Winona Terrace LLC and Winona Villas LLC

*SEE MAP ON REVERSE SIDE*
Property Owner ID: **21**
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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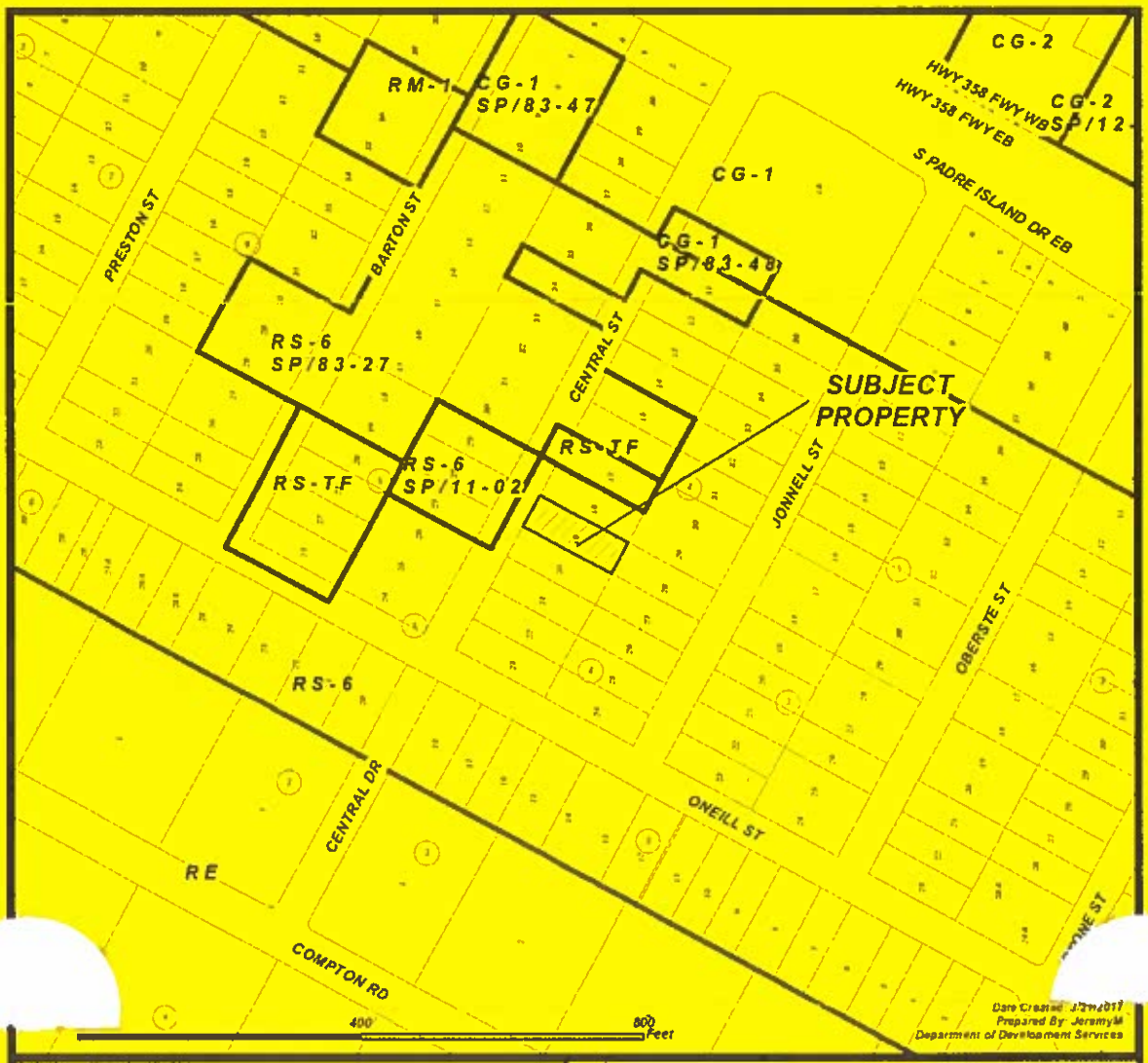
21 248100050210
WINONA TERRACE LLC AND
WINONA VILLAS LLC
5601 S Padre Island Dr #
Corpus Christi, TX 78412

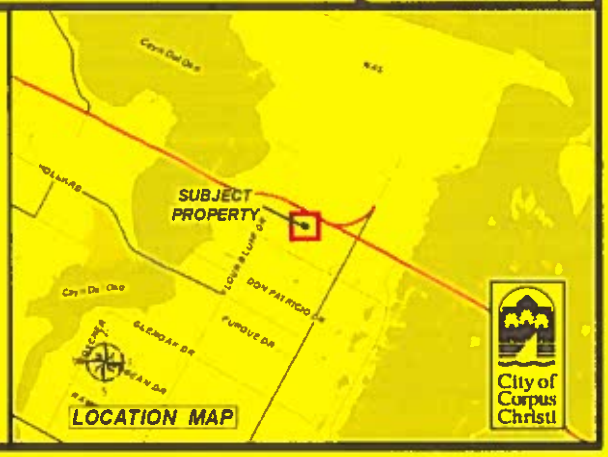



# CASE: 0417-02

## SUBJECT PROPERTY WITH ZONING

Subject Property

| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM 3 | Multifamily 3 | PUD | Planned Unit Dev Overlay |
| ON | Professional Office | RS 10 | Single Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS-TF | Two-Family |
| CR-1 | Resort Commercial | RS-TS | Single-Family TS |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RMH | Manufactured Home |
| CR-3 | Resort Commercial | | |
| FR | Farm Rural | | |
| H | Historic Overlay | | |
| BP | Business Park | | |



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## *PUBLIC HEARING NOTICE*
## *Rezoning Case No. 0417-02*

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Printed Name: Winona Terrace LLC and Winona Villas LLC

Address: 5601 SPID #D-204 City/State: Corpus Christi, TX

☒ IN FAVOR ( ) IN OPPOSITION Phone: affordable4infill@gmail.com

REASON:

Signature for Winona Terrace LLC and Winona Villas LLC

*SEE MAP ON REVERSE SIDE*
Property Owner ID: **24**
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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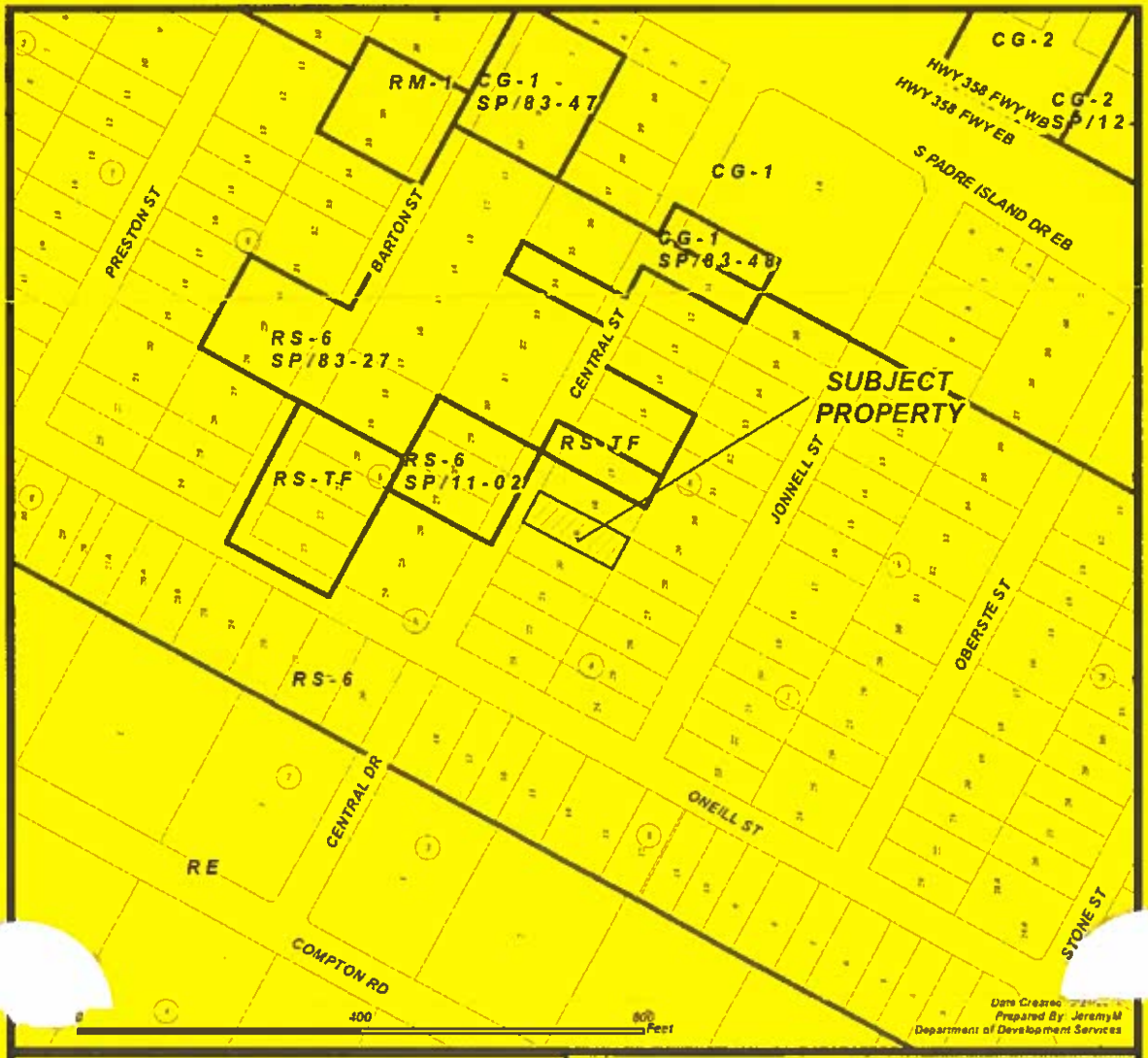
24 248100050200
WINONA TERRACE LLC AND
WINONA VILLAS LLC
5601 S Padre Island Dr #
Corpus Christi, TX 78412




# CASE: 0417-02

## SUBJECT PROPERTY WITH ZONING

Subject Property

| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM-3 | Multifamily 3 | PUD | Planned Unit Dev Overlay |
| ON | Professional Office | RS 10 | Single Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS TF | Two-Family |
| CR-1 | Resort Commercial | RS 15 | Single-Family 15 |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RS/H | Manufactured Home |
| CR-3 | Resort Commercial | | |
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**Flour Bluff Center, Block 4, Lot 19, located on the east side of Central Street, south of South Padre Island Drive (State Highway 358) and north of Compton Road.**

The Planning Commission may recommend to City Council approval or denial, or approval of an intermediate zoning classification and/or Special Permit. Approval of a change of zoning, if inconsistent with the City's Comprehensive Plan, will also have the effect of amending the Comprehensive Plan to reflect the approved zoning.

The Planning Commission will conduct a public hearing for this rezoning request to discuss and formulate a recommendation to the City Council. The public hearing will be held on **Wednesday, March 22, 2017,** during one of the Planning Commission's regular meetings, which begins at **5:30 p.m.,** in the City Council Chambers, 1201 Leopard Street. You are invited to attend this public hearing to express your views on this rezoning request. For more information, please call (361) 826-3240.

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE DEVELOPMENT SERVICES DEPARTMENT, P. O. BOX 9277, CORPUS CHRISTI, TEXAS 78469-9277. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

**NOTE: In accordance with the Planning Commission By-Laws, no discussion shall be held by a member or members of this Commission with an applicant or appellant concerning an application or appeal, either at home or office, or in person, by telephone call or by letter.**

Printed Name: Toben and Carmin Hill

Address: 1233 Central St City/State: CC, TX

( ) IN FAVOR (X) IN OPPOSITION Phone: ~~78418~~ 770-900-7806

REASON:
Displacement of water
depreciated property values
flooding

C Hill
Signature

*SEE MAP ON REVERSE SIDE*
Property Owner ID: **25**
INFOR Case No.: 17ZN1008

Case No. 0417-02
Project Manager: Andrew Dimas

City of Corpus Christi
Development Services Dept.
P.O. Box 9277
Corpus Christi, Texas 78469

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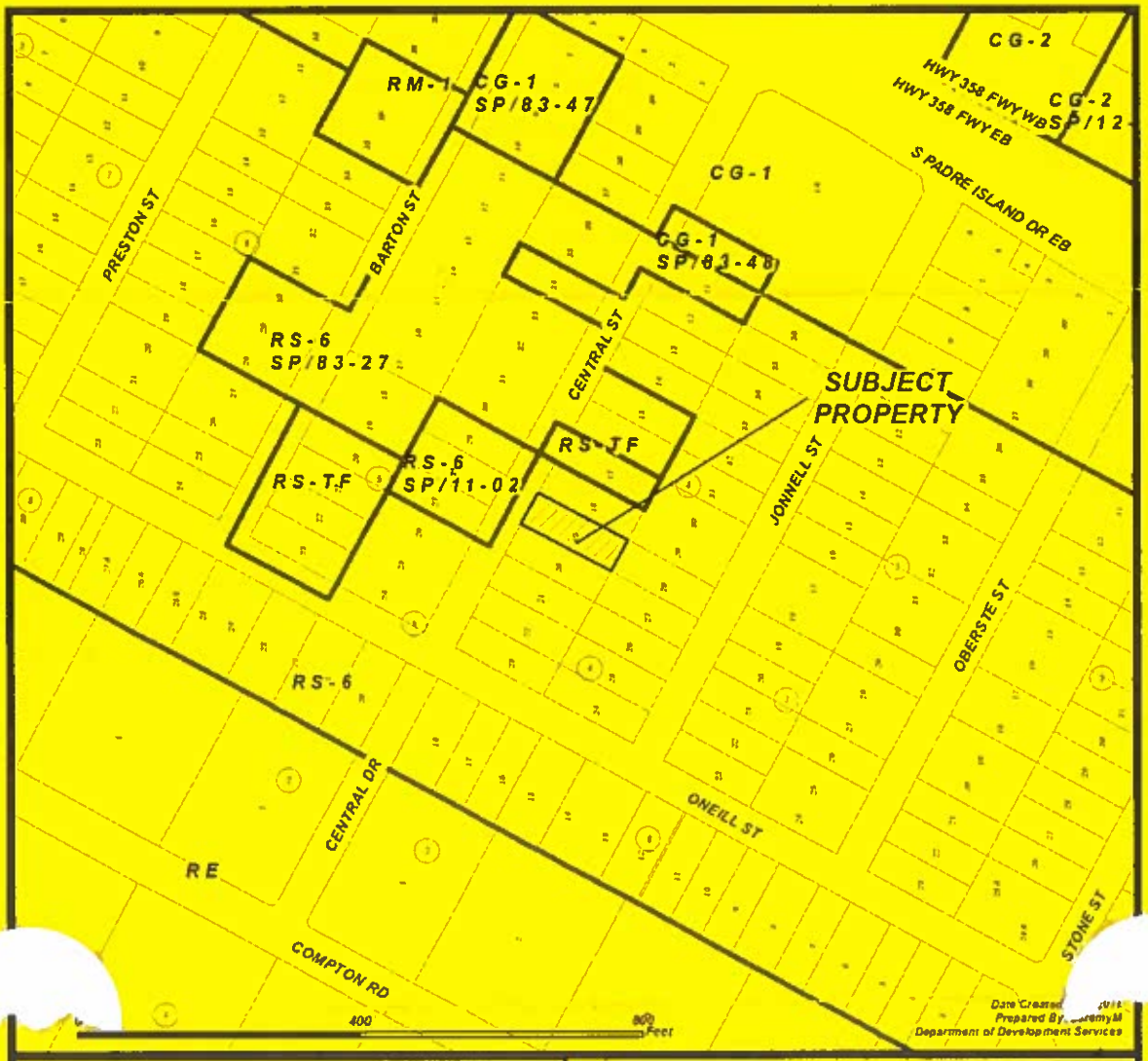
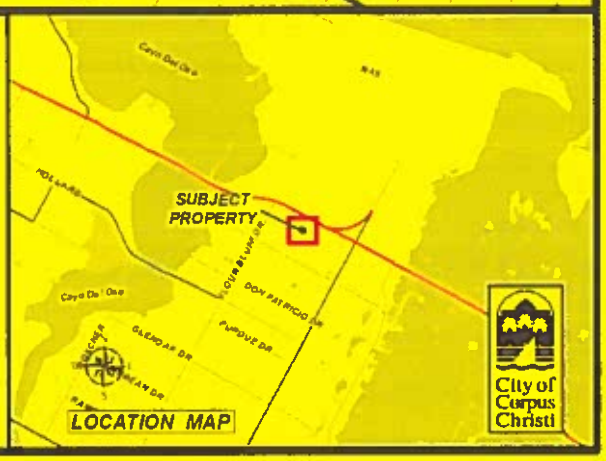
CARMIN HILL
1233 CENTRAL ST
Corpus Christi, TX 78418




# CASE: 0417-02

## SUBJECT PROPERTY WITH ZONING

Subject Property

| | | | |
|---|---|---|---|
| RM-1 | Multifamily 1 | IL | Light Industrial |
| RM-2 | Multifamily 2 | IH | Heavy Industrial |
| RM-3 | Multifamily 3 | PUD | Planned Unit Dev Overlay |
| ON | Professional Office | RS-10 | Single-Family 10 |
| RM-AT | Multifamily AT | RS-6 | Single-Family 6 |
| CN-1 | Neighborhood Commercial | RS-4.5 | Single-Family 4.5 |
| CN-2 | Neighborhood Commercial | RS-TF | Two-Family |
| CR-1 | Resort Commercial | RS-15 | Single-Family 15 |
| CR-2 | Resort Commercial | RE | Residential Estate |
| CG-1 | General Commercial | RS-TH | Townhouse |
| CG-2 | General Commercial | SP | Special Permit |
| CI | Intensive Commercial | RV | Recreational Vehicle Park |
| CBD | Downtown Commercial | RMH | Manufactured Home |
| CR-3 | Resort Commercial | | |
| FR | Farm Rural | | |
| H | Historic Overlay | | |
| BP | Business Park | | |