

STAFF REPORT

Case No. 0920-02

INFOR No. 20ZN1022

Planning Commission Hearing Date: September 30, 2020

Applicant & Legal Description	<p>Owner: GMG Partners, LP. Applicant: AmeriCasa – Corpus Christi, LLC. Location Address: 614, 702, 718 south Navigation Boulevard Legal Description: Being a tract of land compiled from two tracts of land, a 19.497 acre tract, described in Doc#2014004931, official public records of Nueces County, Texas and a 19.632 Acre Tract, described in Doc#2014004928, official public records of Nueces County, Texas, Both tracts of land are out of Lot 1, Block 10, J.C. Russell Farm Blocks, as shown on a map recorded in Volume 28, Pages 58-59, Map Records of Nueces County, Texas, located along the east side of south Navigation Boulevard, north of Bear Lane, west of Old Brownsville Road and south of Santa Elena Street.</p>			
Zoning Request	<p>From: “IL” Light Industrial District To: “RS-4.5/PUD” Single-Family District and a Planned Unit Development Overlay Area: 39.129 acres Purpose of Request: To allow for a master planned Single-Family Residential Community to be developed in a two-phase development consisting of 277 single-family residential units, a community center and recreational area, five (5) parks, and multiple open areas.</p>			
Existing Zoning and Land Uses		Existing Zoning District	Existing Land Use	Future Land Use
	<i>Site</i>	“IL” Light Industrial	Vacant	Medium Density Residential
	<i>North</i>	“IL” Light Industrial	Light Industrial	Medium Density Residential
	<i>South</i>	“IL” Light Industrial	Vacant	Medium Density Residential
	<i>East</i>	“RS-6” Single-Family 6	Vacant	Medium Density Residential
	<i>West</i>	“RS-6” Single-Family 6	Vacant	Medium Density Residential
ADP, Map & Violations	<p>Area Development Plan: The subject property is located within the boundaries of the Westside Area Development Plan and is planned for a Medium Density Residential use. The proposed rezoning to the “RS-4.5/PUD” Single-Family 4.5 District and a Planned Unit Development Overlay is consistent with the adopted Future Land Use Map. Map No.: 050042 City Council District: 3 Zoning Violations: None</p>			

Transportation	Transportation and Circulation: The subject property has approximately 1,100 feet of street frontage along south Navigation Boulevard which is designated as a “A1” Minor Arterial. According to the Urban Transportation Plan, “A1” Minor Arterial can convey a capacity between 15,000 to 24,000 Average Daily Trips (ADT).				
Street R.O.W.	Street	Urban Transportation Plan Type	Proposed Section	Existing Section	Traffic Volume
	South Navigation Boulevard	“A1” Minor Arterial	95’ ROW 64’ paved	76’ ROW 35’ paved	3,467 ADT (2012)

Staff Summary:

Requested Zoning: The applicant is requesting a rezoning from the “IL” Light Industrial District to the “RS-4.5/PUD” Single-Family District and a Planned Unit Development Overlay to allow for a master planned Single-Family Residential Community to be developed in a two-phase development consisting of 277 single-family residential units, a community center and recreational area, five (5) parks, and multiple open areas.

Development Plan: The subject property is 39.129 acres in size. The proposed use is a development consisting of 277 single-family residential units, a community center and recreational area, five (5) community parks, and multiple open areas. The La Villa Hermosa Planned Unit Development (PUD) is a Master Planned Community that is located on South Navigation Boulevard between Agnes Street and Old Brownsville Road. The Master Planned Community will consist of a community center, recreational area, and parks for the residents of custom manufactured homes. The community will be managed by on-site management. The residents will own the custom home allowing for the residents to have opportunities for the future.

The following table compares the proposed PUD development standards and the Unified Development Code (UDC) standards for the “RMH” Manufactured Home District, the “RS-4.5” Single-Family 4.5 District, and notes all necessary deviations from the UDC being requested by the applicant.

Minimum Dimensions	“RMH” District Standards	“RS-4.5” District Standards	Proposed PUD	Deviation
Maximum Density (Units / Gross Acre)	8	-	7.08	Yes
Minimum Site Area (Acre)	8	-	8	No
Minimum Site Width	300 ft.	-	-	No
Minimum Lot Area	4,500 sf.	4,500 sf.	Residential = 3,200 sf. Other = 0	Yes

Minimum Lot Width	-	45 ft.	Residential = 40 ft. Other = 0	Yes
Minimum Street Yard	20 ft.	20 ft.	20 ft.	No
Minimum Street Yard (Corner) Back -to-Back	20 ft.	10 ft.	10 ft.	No
Minimum Street Yard (Corner) Back -to-Face	20 ft.	20 ft.	10 ft.	Yes
Minimum Side Yard Single	6 ft.	5 ft.	2 ft.	Yes
Minimum Side Yard Total	20 ft.	10 ft.	10 ft.	No
Minimum Rear Yard	10 ft.	5 ft.	5 ft.	No
Minimum Open Space	-	30%	30%	No
Maximum Height	35 ft.	35 ft.	35 ft.	No
Paved Street Width	28 ft.	28 ft.	20 ft. Edge to Edge	Yes
R.O.W. Width	50 ft.	50 ft.	26 ft.	Yes
Curb Type	6-in. curb & gutter	6-in. curb & gutter	-	Yes
Parking Requirement	2 spaces per unit	2 spaces per unit	3 spaces per unit	Yes
Sidewalks	4 ft. on both sides	4 ft. on both sides	5 ft. on one side	Yes
Buffer Yard	Type D (20-feet and 20-points)	Type D (20-feet and 20-points)	20-feet and a 7-foot wooden screening fence	Yes

Existing Land Uses & Zoning: The subject property is currently zoned “IL” Light Industrial District and consists of vacant property and has remained undeveloped since annexation in 1954. To the north is a vacant property zoned “IL” Light Industrial District. To the south are vacant properties zoned “IL” Light Industrial District. Further to the south is an apartment complex (Navigation Point Apartments) and a single family subdivision Village on the Green). To the west across south Navigation boulevard is a vacant property zoned “RS-6” Single-Family 6. To the west are vacant properties zoned “RS-6” Single-Family 6.

AICUZ: The subject property is not located in one of the Navy’s Air Installation Compatibility Use Zones (AICUZ).

Plat Status: The property is platted. However, the property will be replatted as part of the Planned Unit Development (PUD) rezoning process.

Utilities:

Water: 12-inch PVC line located along south Navigation Boulevard.

Wastewater: 24-inch CIPP line located along the rear property line.

Gas: 6-inch service line located along south Navigation Boulevard.

Storm Water: 42-inch line along the north and south side of the property line.

Plan CC & Area Development Plan Consistency: The subject property is located within the boundaries of the Westside Area Development Plan and is planned for a Medium Density Residential use. The proposed rezoning to the “RS-4.5/PUD” Single-Family 4.5 District and Planned Unit Development Overlay is consistent with the adopted Westside ADP. The proposed rezoning is consistent with the following policies of the Comprehensive Plan (Plan CC):

- Encourage orderly growth of new residential, commercial, and industrial areas (Future Land Use, Zoning, and Urban Design Policy Statement 1).
- Promote a balanced mix of land uses to accommodate continuous growth and promote the proper location of land uses based on compatibility, locational needs, and characteristics of each use. (Future Land Use, Zoning, and Urban Design Policy Statement 1).
- Encourage residential infill development on vacant lots within or adjacent to existing neighborhoods (Future Land Use, Zoning, and Urban Design Policy Statement 3).

Department Comments:

- The proposed rezoning is consistent with the adopted Comprehensive Plan (Plan CC) and the Westside Area Development Plan. The proposed rezoning is also compatible with the future land use and does not have a negative impact upon the adjacent properties.
- The subject property is suitable for the uses proposed by this rezoning.
- This PUD utilizes decreased lot sizes and right-of-way width, while still observing maximum building heights, and open space requirements.
- The property is designated as per the future land use as medium density residential. As per Plan CC, medium density residential consists of between 4 and 13 units per acre. The proposed PUD is set as approximately 7.08 units per acre and is therefore in compliance with the future land use designation.
- The average lot size is approximately:
 - Lot Type A: 3,998 square feet
 - Lot Type B: 3,200 square feet
 - Lot Type C: 3,676 square feet
- The typical street standard for a local/residential street is a 50 foot wide right-of-way with a 28 foot wide paved street surface. The applicant is requesting a reduced right-of-way width of 26 feet with a 20 foot wide paved street surface.
- The PUD has been reviewed by the Technical Review Committee (TRC). Staff finds that the proposed deviations are acceptable.

Staff Recommendation:

Approval of the change of zoning from the “IL” Light Industrial District to the “RS-4.5/PUD” Single-Family 4.5 District and Planned Unit Development Overlay with the following conditions:

1. **Planned Unit Development Guidelines and Master Site Plan:** The Owners shall develop the Property in accordance with The La Villa Hermosa Planned Unit Development (PUD) Guidelines and Master Site Plan. The development of the

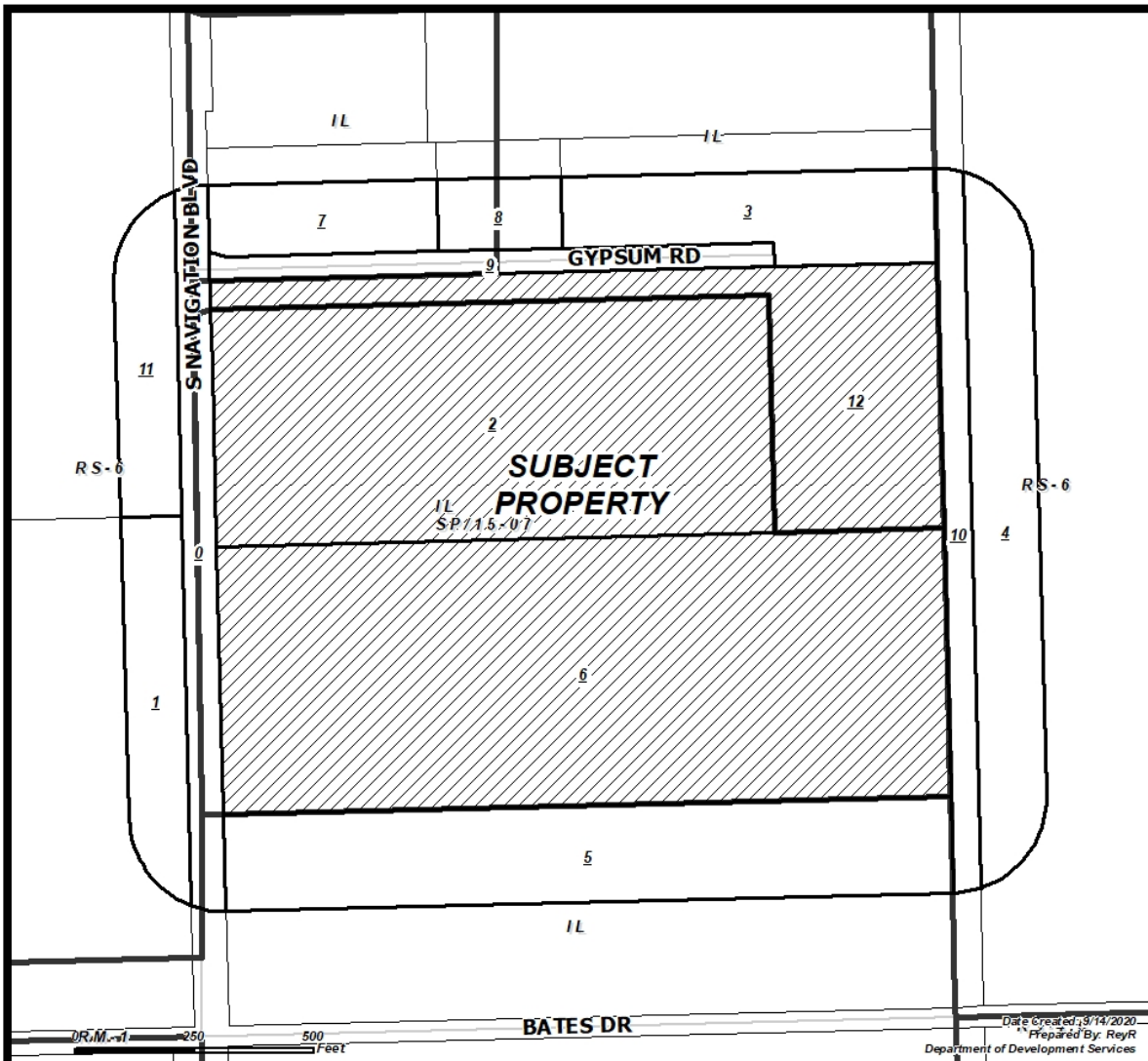
Property is to consist of 277 single-family lots, 27 open areas, 5 parks, and 1 community center.

2. **Dwelling Units per Acre:** The density of dwelling units on the Property shall not exceed 7.08 dwelling units per acre.
3. **Parking:** The property must have a minimum of 3 parking spaces (9 feet wide by 18 feet long) per dwelling unit. Parking standards for community center and recreation lot uses are set a 2.4 parking space for every 1000 square feet of gross floor area. Parking is prohibited within the private street and pedestrian walkways.
4. **Setbacks and Lot Width:** Minimum front yard setbacks for all lots shall be ten feet and on a corner ten feet.
5. **Open Space:** The Property must maintain a minimum of 30% open space. Any surfaces constructed within the required open space must be constructed of pervious material.
6. **Private Street Access:** The 2-way private access drive shall not be less than 20 feet and the 1 foot ribbon curb shall be striped or marked to indicate "Fire Lane/No Parking."
7. **Pedestrian Access:** Sidewalks shall be 5 feet wide on one side of the private street and shall be constructed and maintained as identified on the master site plan.
8. **Other Requirements:** The conditions listed herein do not preclude compliance with other applicable UDC, Building, and Fire Code Requirements.
9. **Time Limit:** An approved development plan shall expire 24 months after the date that the development plan was approved, unless a complete building permit application has been submitted or, if no building permit is required, a certificate of occupancy has been issued.

Public Notification	Number of Notices Mailed – 11 within 200-foot notification area 5 outside notification area	
	<u>As of September 25, 2020:</u>	
	In Favor	– 0 inside notification area – 0 outside notification area
	In Opposition	– 0 inside notification area – 0 outside notification area
	Totalling 0.00% of the land within the 200-foot notification area in opposition.	

Attachments:

- A. Location Map (Existing Zoning & Notice Area)
- B. Planned Unit Development (PUD) Guidelines and Master Site Plan
- C. Public Comments Received (if any)



CASE: 0920-02
ZONING & NOTICE AREA

RM-1 Multifamily 1	IL Light Industrial
RM-2 Multifamily 2	IH Heavy Industrial
RM-3 Multifamily 3	PUD Planned Unit Dev. Overlay
ON Professional Office	RS-10 Single-Family 10
RM-AT Multifamily AT	RS-6 Single-Family 6
CN-1 Neighborhood Commercial	RS-4.5 Single-Family 4.5
CN-2 Neighborhood Commercial	RS-TF Two-Family
CR-1 Resort Commercial	RS-15 Single-Family 15
CR-2 Resort Commercial	RE Residential Estate
CG-1 General Commercial	RS-TH Townhouse
CG-2 General Commercial	SP Special Permit
CI Intensive Commercial	RV Recreational Vehicle Park
CBD Downtown Commercial	RMH Manufactured Home
CR-3 Resort Commercial	
FR Farm Rural	
H Historic Overlay	
BP Business Park	

Subject Property with 200' buffer

Owners in favor

Owners within 200' listed on attached ownership table

Owners in opposition



La Villa Hermosa Planned Unit Development (PUD)

CORPUS CHRISTI, TEXAS

Owner

AmeriCasa – Corpus Christi, LLC

Submitted By



MUNOZ ENGINEERING, LLC

1608 S. BROWNLEE BOULEVARD

CORPUS CHRISTI, TEXAS 78404

OFFICE: (361) 946-4848

TBPE FIRM No. F-12240

July 2020

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GENERAL DEVELOPMENT INFORMATION

The La Villa Hermosa Planned Unit Development (PUD) is a Master Planned Community that is located on South Navigation Boulevard between Agnes Street and Old Brownsville Road. The Master Planned Community will consist of a community center, recreational area, and parks for the residents of custom manufactured homes. The community will be managed by on-site management. The residents will own the custom home allowing for the residents to have opportunities for the future. The existing zoning is Light Industrial District and the proposed is to be a RS-4.5 with PUD as outlined within this document.

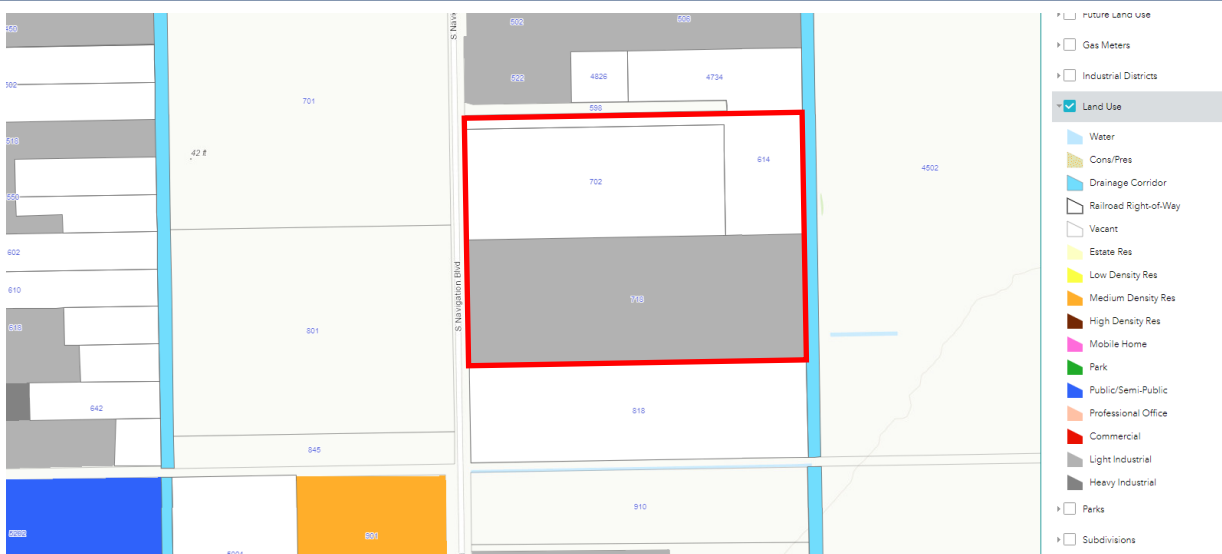
The development shall be in accordance with is the City of Corpus Christi Unified Development Code (UDC) with adoption date of April 2019 (hereinafter referred to as UDC) and modified by the PUD requirements as indicated herein.

DEVELOPMENT LOCATION MAP



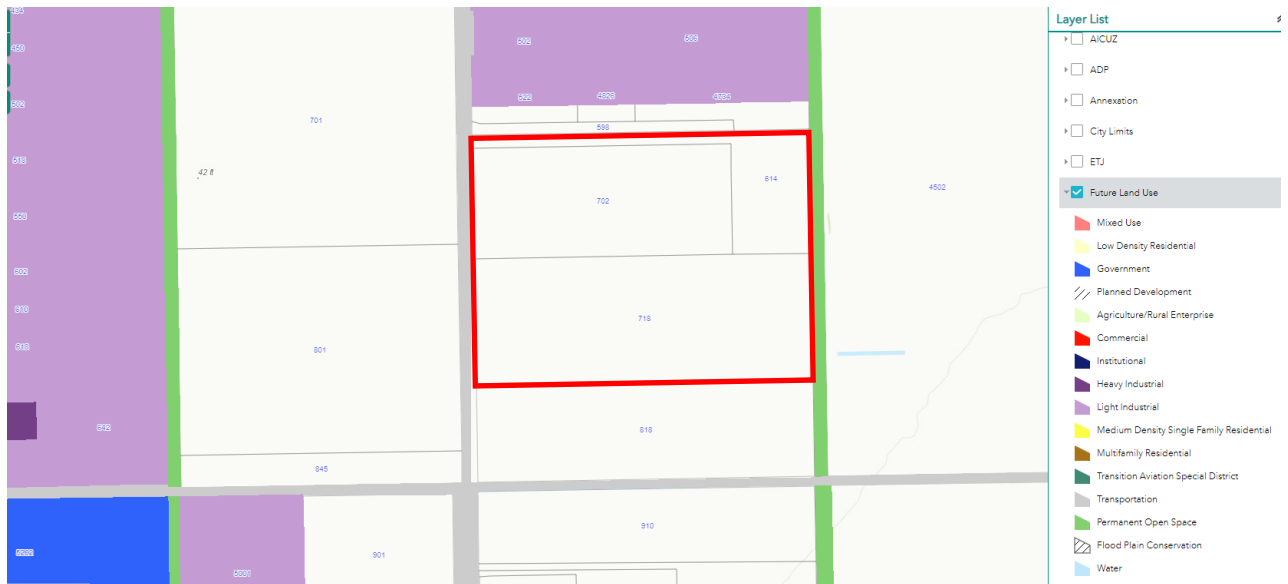
Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT LAND USE INFORMATION



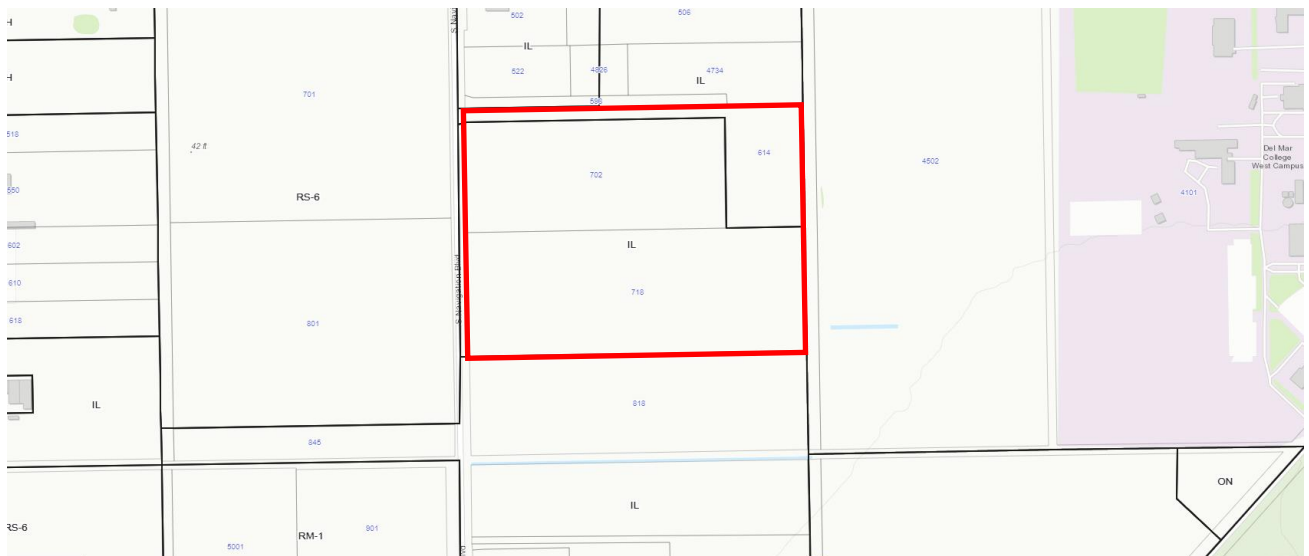
Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT FUTURE LAND USE INFORMATION



Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT ZONING INFORMATION



Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020

AREA DEVELOPMENT PLAN INFORMATION

The development is located within the Westside Area Development Plan (ADP). The proposed development will provide the Westside ADP with additional affordable residential opportunity within the area and the development will include a community center, recreational park, and internal parks for the residents.

ADJACENT TRANSPORTATION AND CIRCULATION

The development is located on South Navigation Boulevard with 1,118-feet of street frontage. South Navigation Boulevard is classified as a Minor Arterial (A1) street with an existing street section consisting of 95-foot Right-of-Way, 26-feet paved, and is capable of handling approximately 1,600 Average Daily Trips (ADT).

UNIFIED DEVELOPMENT CODE AND MODIFICATIONS

This development shall be governed by the City of Corpus Christi Unified Development Code (UDC) with adoption date of April 2019 (hereinafter referred to as UDC) with the Base Zoning being RS-4.5 in accordance with Section Article 4 with the modifications as indicated as the PUD Requirements.

The deviations to the UDC will be based on Article 4: Base Zoning Districts and Article 6: Special Zoning Districts shall be modified as per the following to form the requirements of the PUD:

REQUIREMENT	UDC BASE ZONING REQUIREMENTS RS 4.5 SECTION 4.3.3	UDC BASE ZONING REQUIREMENTS MHS SECTION 6.1.1	PUD REQUIREMENTS
Maximum Density (Units / Gross Acre)	-	8	7.08
Minimum Site Area (Acre)	-	8	8
Minimum Site Width (Feet)	-	300	-
Minimum Lot Area (Square Feet)	4,500	4,500	Residential = 3,200 Other = 0
Minimum Lot Width (Feet)	45	-	Residential = 40 Other = 0
Minimum Yard (Feet) – Street	20	20	20
Minimum Yard (Feet) – Street Corner			
Back-to-Back	10	20	10
Back-to-Face	20	20	10
Minimum Yard (Feet) – Side Single	5	6	2
Minimum Yard (Feet) – Side Total	10	20	10
Minimum Yard (Feet) – Rear	5	10	5
Minimum Open Space (Percent of Total Unit)	30%	-	30%
Maximum Height (Feet)	35	35	35

The UDC Article 7: General Development Standards shall be modified as per the following:

REQUIREMENT	UDC REQUIREMENT	PUD REQUIREMENT
Section 7.1.7.A <i>Driveway Spacing</i>	<i>Residential driveways are limited to one per lot excepting that circular driveways are allowed provided that the frontage equals or exceeds 70' and all other parameters are met.</i>	Residential driveways are limited to three per lot provided that the frontage equals or exceeds 40'.
Section 7.1.7.D <i>Minimum Corner Clearance</i>	<i>Residential = 25 feet</i>	Residential = 0 feet
Section 7.1.7.E <i>Driveway Width and Curb Return Radii</i>	<i>Residential = 10 feet Minimum = 30 feet Maximum</i>	Residential = 10 feet Minimum = 60 feet Maximum
Section 7.1.7.F <i>Curb Return Radii or Flare Length</i>	<i>Residential = 3 feet Minimum = 10 feet Maximum</i>	Residential = 0 feet Minimum = 10 feet Maximum
Section 7.2.2.B <i>Off-Street Parking Ratio</i>	<p>Residential Lot: <i>Residential Use; Household Living; All Other Uses = 2 per unit</i></p> <p>Community Center Lot: <i>Commercial Uses; Office; All Uses = 2.4 per 1,000 SF GFA Urban</i></p> <p>Recreation Lot: <i>Commercial Uses, Outdoor Recreation, All other uses without fixed seating = 1 per 250 SF GFA</i></p> <p>Park Lot: <i>Public and Civic Uses; Parks and Open Area; Park, Plaza, Playground or Recreational Trail = 1 per 10,000 SF outdoor lot area</i></p> <p>Open Area Lot: <i>Public and Civic Uses; Parks and Open Area; Park, Plaza, Playground or Recreational Trail = 1 per 10,000 SF outdoor lot area</i></p>	<p>Residential Lot: 3 per unit</p> <p>Community Center and Recreation Lot: Community Center Building = 2.4 per 1,000 SF GFA Recreation Lot = 1 per 10,000 SF GFA</p> <p>Park Lot: 1 per 10,000 SF outdoor lot area within 200 feet of lot.</p> <p>Open Area Lot: None</p>

<i>Section 7.9.5 Zoning District Buffer Yard – New Development</i>	<i>Type D Buffer Yards shall consist of a minimum 20-foot wide buffer yard plus at least 20 points based on the points listed in the table</i>	Shall be 20-foot wide buffer and have a 7-foot height wood screening fence
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The UDC Article 8: Subdivision Design and Improvements shall be modified as per the following:

REQUIREMENT	UDC REQUIREMENT	PUD REQUIREMENT
<i>Section 8.2.1.B Street Right-of-Way Dimensional Standards</i>		
<i>Street Right-of-Way A</i>		
Local Street Section Type	<i>L-1C</i>	V1
Right-of-Way	<i>46-foot</i>	26-foot
Planting / Utility Area	<i>7-foot (Both Sides)</i>	0-foot
Street Section Width	<i>28-foot Back-to-Back</i>	20-foot Edge-to-Edge
Sidewalk Width	<i>4-foot</i>	5-foot
Tied Sidewalk	<i>Not Allowed</i>	Allowed
Sidewalk Both Sides	<i>No</i>	No
Thru Lane	<i>One</i>	One
Traffic Lane	<i>Two</i>	Two
Parking Lanes	<i>Two</i>	None
Design Speed (MPH)	<i>25</i>	15
<i>Street Right-of-Way B</i>		
Local Street Section Type	<i>L-1A</i>	V2
Right-of-Way	<i>50-foot</i>	60-foot
Planting / Utility Area	<i>6-foot (Both Sides)</i>	0-foot
Street Section Width	<i>28-foot Back-to-Back</i>	40-foot Back-to-Back
Sidewalk Width	<i>4-foot</i>	5-foot
Tied Sidewalk	<i>Not Allowed</i>	Allowed
Sidewalk Both Sides	<i>Yes</i>	No
Thru Lane	<i>One</i>	One
Traffic Lane	<i>Two</i>	Two
Parking Lanes	<i>Two</i>	Two
Design Speed (MPH)	<i>25</i>	25
<i>Section 8.2.1.D External Connectivity</i>		
<i>3. Divided Entrance</i>	<i>A divided entrance may be credited as two access points provided that the divided entrance shall consist of four travel lanes from the intersection with the public road system to the first intersection within the development.</i>	A widened entrance with striping that divides the entrance may be credited as two access points provided that the divided entrance shall consist of four travel lanes from the intersection with the public road system to the first intersection or controlled access point within the development.

<i>Section 8.2.1.E Street Layout</i>		
1. The arrangement, character, extent, width, and location of all streets.	<i>As Per UDC</i>	Waived
<i>Section 8.2.1.J Private Streets</i>		
5. Design Standards	<i>Shall be in accordance with Section 8.2.1</i>	Shall be in accordance with Section 8.2.1.J with the following modifications - Curb and Gutter are not required.
11. Open Space	<i>Shall meet dedication requirements in Section 8.3</i>	Shall be waived due to private park, recreational areas, and open space development and maintenance thereof.
<i>Section 8.2.2 Sidewalks</i>		
A. Required Improvements	<i>In accordance with Section 8.2.1.B</i>	Modified as per PUD Requirements and not required along existing streets.
<i>Section 8.2.3 Easements</i>		
A. Utility Easements	<i>As Per UDC</i>	Amended to include: Utility Easements along access easements shall be 10-foot in width when abutting to access easement.
B. Drainage Easements	<i>As Per UDC</i>	Utility Easements along rear of lots shall be a total of 10-foot unless adjacent lot contains a utility easement of 10-foot or greater. Amended to include: Private Drainage Easements shall be as required by the utility owner.
<i>Section 8.3 Public Open Space</i>		
8.3.5 Land Dedication	<i>As Per UDC</i>	Shall be waived due to private park, recreational areas, and open space development and maintenance thereof.
8.3.6 Fee in Lieu of Land	<i>As Per UDC</i>	
8.3.7 Park Development Fee	<i>As Per UDC</i>	

The Development shall follow the guidelines below:

DESCRIPTION	LOT TYPE
Residential Lots	A
	B
	C
Community Center and Recreation Lot	D
Open Area Lots	E
Park Lots	P1
	P2
Access Lot	V1
	V2

The Residential Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Residential
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	3
Maintenance	Lot Owner and/or Property Management Group
Improvements Allowed	Residential structure(s) and support structure(s) including but not limited to: decks, porches, carports, pavement(s), fencing, landscaping, utilities, etc.
Improvement Placement	Residential structure(s) and support structure(s) including decks, porches, etc. shall be located within the indicated buildable area. Pavement(s), fencing, landscaping, utilities, etc. can be located anywhere on the lot.
Rental	Daily, weekly, and monthly rentals as allowed by property management.

The Community Center and Recreation Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Structures and improvements supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	As per PUD
Maintenance	Property Management Group
Improvements Allowed	Residential, Non-Residential structure(s), and support structure(s) including but not limited to: decks,

	porches, pavement(s), fencing, recreational equipment, pool(s), landscaping, utilities, etc.
Improvement Placement	Residential, Non-Residential structure(s), and support structure(s) including decks, porches, pool(s), etc. shall be located within the indicated buildable area. Pavement(s), fencing, recreational equipment, landscaping, utilities, etc. can be located anywhere on the lot.
Rental	Daily, weekly, and monthly rentals as allowed by property management.

The Open Space Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Non-Residential Structures supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	None
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including, fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including fencing, landscaping, utilities, etc. can be located anywhere on the lot.

The Park Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Non-Residential Structures supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	As per PUD
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including, fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including fencing, landscaping, utilities, etc. can be located anywhere on the lot.

The Access Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Access for the Community
Minimum Open Space (Percent)	10%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	None
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including but not limited to: access control building(s), pavement(s), fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including access control building, pavement(s), fencing, landscaping, utilities, etc. can be located anywhere on the lot. Access control building may not reduce the vehicular accessibility width below requirements for Emergency Vehicular Access.

MASTER SITE PLAN

The master site plan for the development can be found within this document as **Exhibit A – Master Site Plan**.

SITE DEVELOPMENT PLAN

The layout of the streets, pedestrian accessibility, lot buildable area, and open space for the development can be found within this document as **Exhibit B – Site Development Plan**.

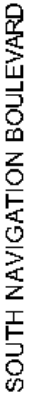
SITE SECTION VIEWS

The typical section views of the development can be found within this document as **Exhibit C – Site Section Views**.

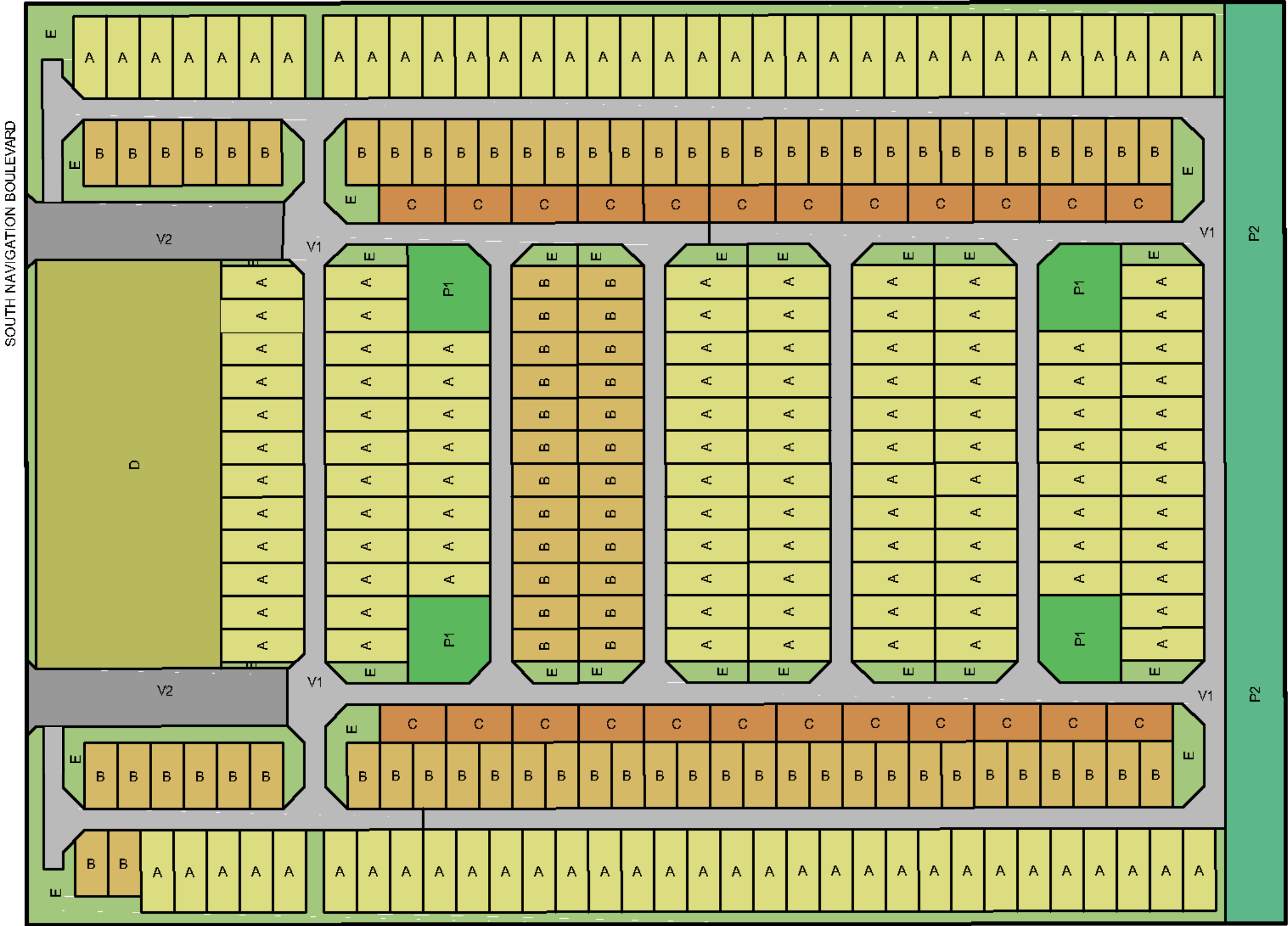
EXHIBIT A – MASTER SITE PLAN

EXHIBIT B – SITE DEVELOPMENT PLAN

EXHIBIT C – SITE SECTION VIEWS



EXISTING STORM WATER MASTER CHANNEL

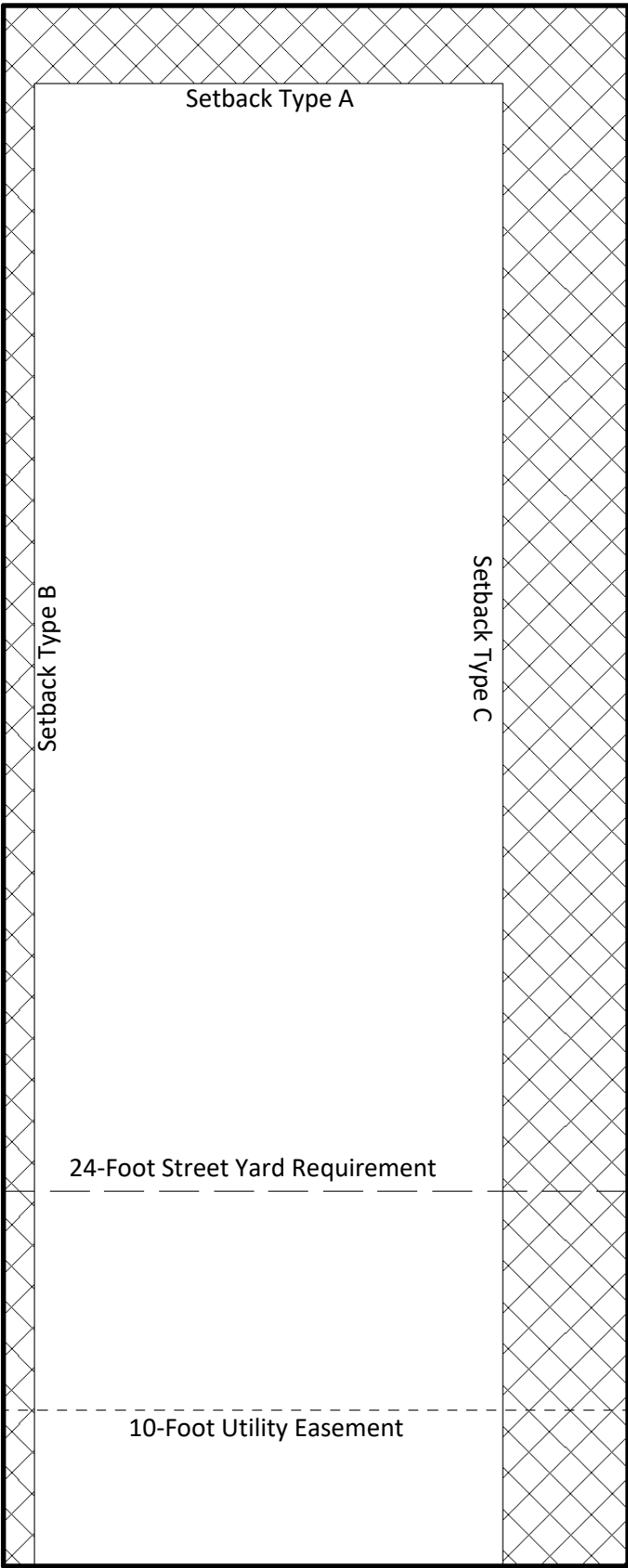


LOT INFORMATION		
Lot Type	Total	Total Square Feet (SFT)
A	167	667,806
B	86	275,200
C	24	88,233
D	1	104,601
E	27	152,753
P1	4	41,048
P2	1	81,261
V1	4	249,583
V2	2	43,981
	316	1,704,466

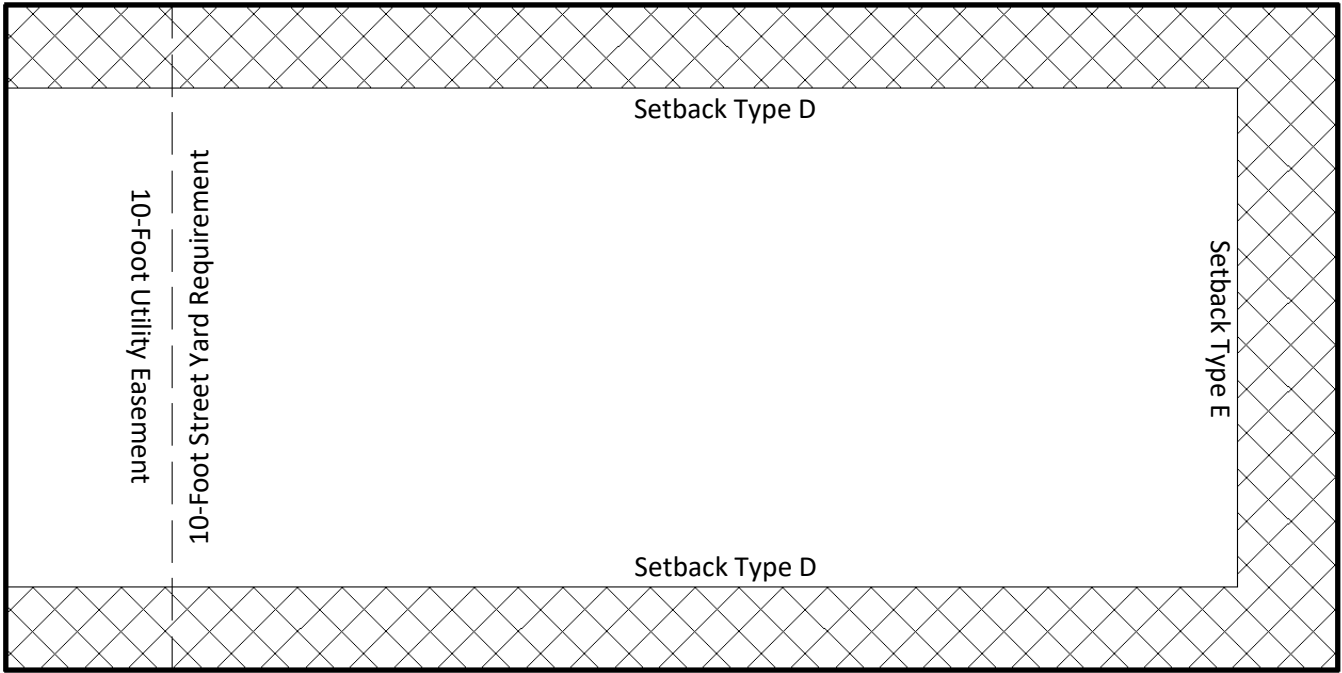
DEVELOPMENT INFORMATION	
Description	Total
Maximum Density (Units / Gross Acre)	7.08
Minimum Site Area (Acre)	39.129
Minimum Site Width (Feet)	1,117
Minimum Lot Area (Square Feet)	Residential = 3,200 Other = 26
Minimum Lot Width (Feet)	Residential = 40 Other = 18
Minimum Open Space (Percent of Total Unit)	Type A = 33% Type B = 30% Type C = 30% Type D = 45%
Minimum Open Space (Percent of Total Development)	33%

LEGEND

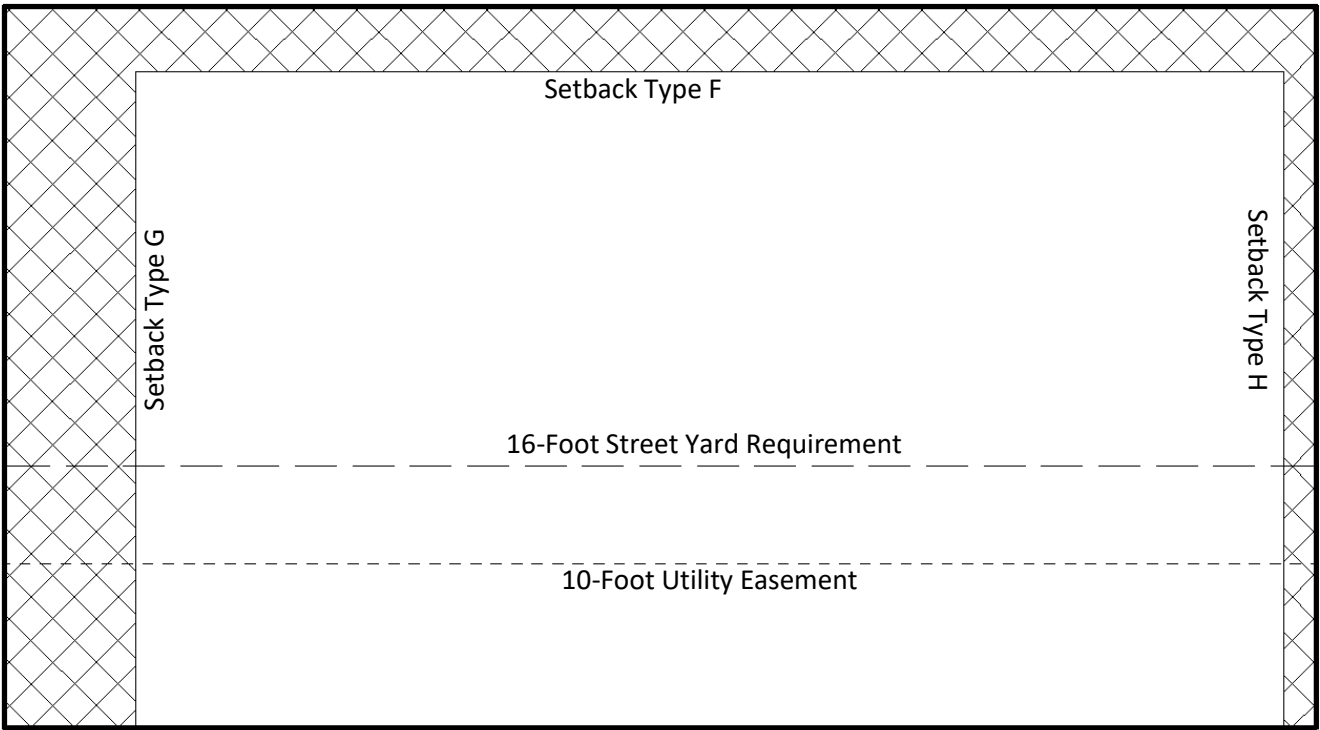
- LOT TYPE A
- LOT TYPE B
- LOT TYPE C
- LOT TYPE D
- LOT TYPE E
- LOT TYPE P1
- LOT TYPE P2
- LOT TYPE V1
- LOT TYPE V2



Typical Residential Lot Type A

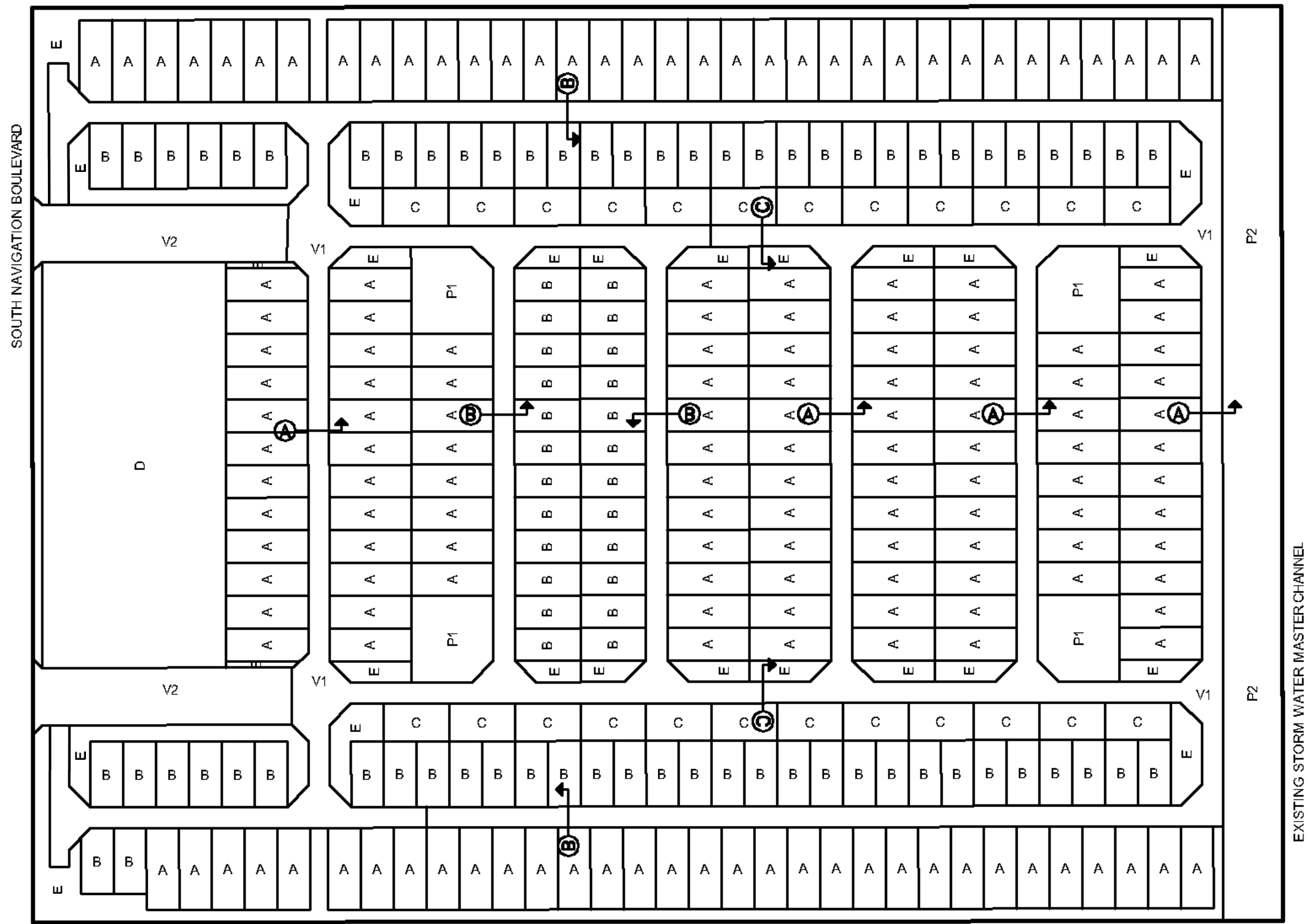


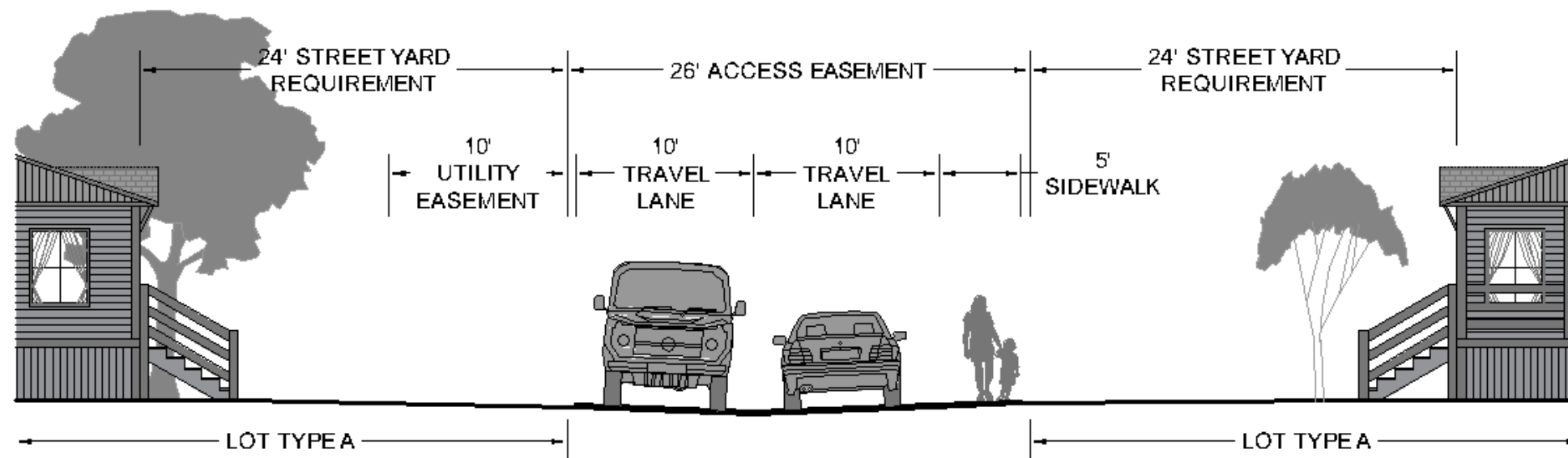
Typical Residential Lot Type B



Typical Residential Lot Type C

- Setback Types**
- Type A Setback – 5-foot for Home and Decks
 - Type B Setback – 2-foot for Home, Decks, and Carports. Must abut to a Setback Type C or Non-Buildable lot.
 - Type C Setback – 8-foot for Home, Decks, and Carports. Must abut to a Setback Type B or Type C or Non-Buildable lot.
 - Type D Setback – 5-foot for Home, Decks, and Carports. Must abut to a Setback Type D or Non-Buildable Lot.
 - Type E Setback – 6-foot for Home and Decks. Must abut a Setback Type E or Type F or Non-Buildable Lot.
 - Type F Setback – 4-foot for Home and Decks. Must abut a Setback Type E or Non-Buildable Lot.
 - Type G Setback – 8-foot for Home and Decks. Must abut a Setback Type D or Type H or Non-Buildable Lot.
 - Type H Setback – 2-foot for Home and Decks. Must abut a Setback Type G or Non-Buildable Lot.

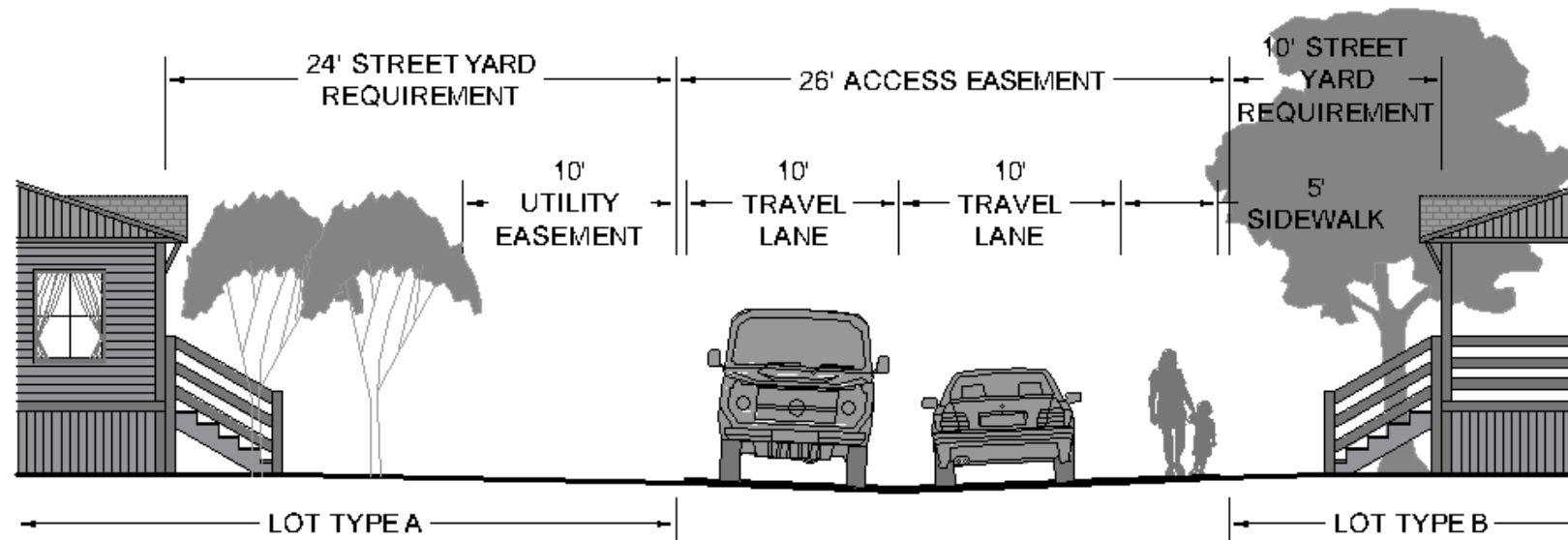




A TYPICAL SECTION A

NOT TO SCALE

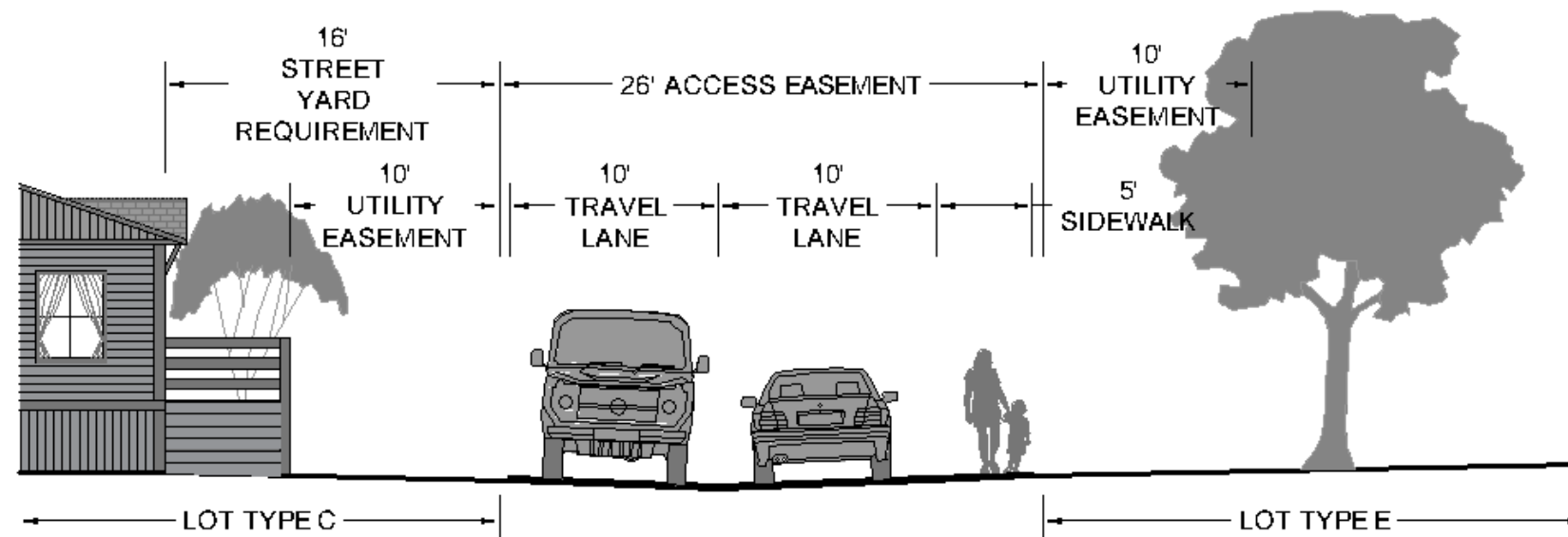
THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



B TYPICAL SECTION B

NOT TO SCALE

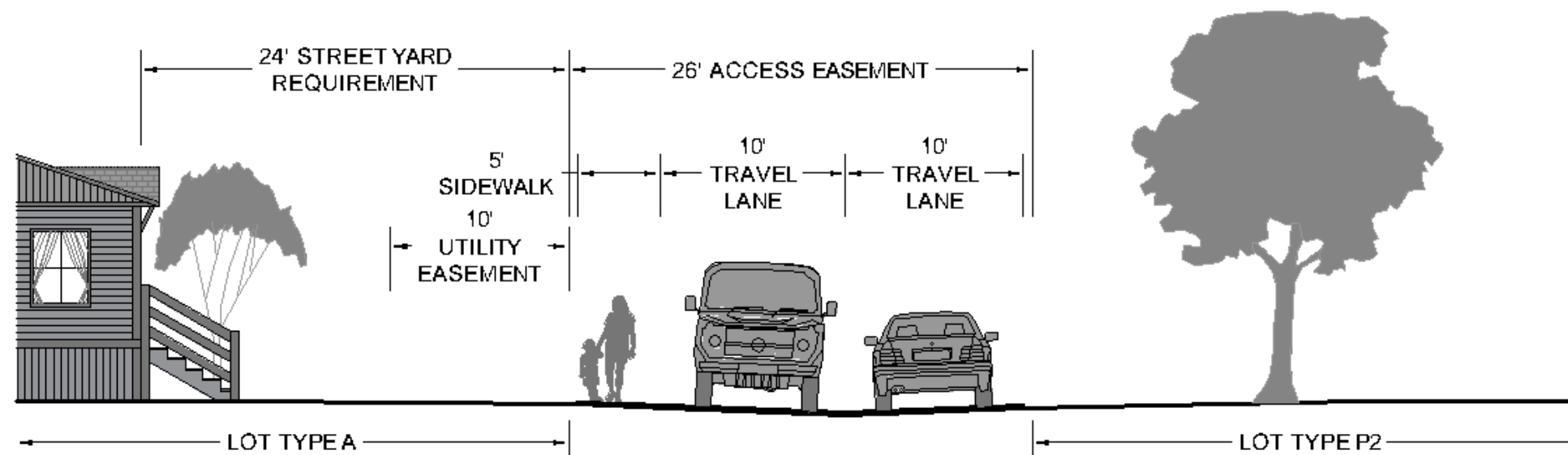
THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



C **TYPICAL SECTION C**

NOT TO SCALE

THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



D **TYPICAL SECTION D**

NOT TO SCALE

THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER