

La Villa Hermosa Planned Unit Development (PUD)

CORPUS CHRISTI, TEXAS

Owner

AmeriCasa – Corpus Christi, LLC

Submitted By



MUNOZ ENGINEERING, LLC

1608 S. BROWNLEE BOULEVARD

CORPUS CHRISTI, TEXAS 78404

OFFICE: (361) 946-4848

TBPE FIRM No. F-12240

July 2020

GENERAL DEVELOPMENT INFORMATION	3
DEVELOPMENT LOCATION MAP	3
ADJACENT LAND USE INFORMATION.....	3
ADJACENT FUTURE LAND USE INFORMATION	4
ADJACENT ZONING INFORMATION.....	4
AREA DEVELOPMENT PLAN INFORMATION	4
ADJACENT TRANSPORTATION AND CIRCULATION	4
UNIFIED DEVELOPMENT CODE AND MODIFICATIONS	5
DEVELOPMENT GUIDELINES	9
MASTER SITE PLAN	11
SITE DEVELOPMENT PLAN	11
SITE SECTION VIEWS.....	11
EXHIBITS	12

GENERAL DEVELOPMENT INFORMATION

The La Villa Hermosa Planned Unit Development (PUD) is a Master Planned Community that is located on South Navigation Boulevard between Agnes Street and Old Brownsville Road. The Master Planned Community will consist of a community center, recreational area, and parks for the residents of custom manufactured homes. The community will be managed by on-site management. The residents will own the custom home allowing for the residents to have opportunities for the future. The existing zoning is Light Industrial District and the proposed is to be a RS-4.5 with PUD as outlined within this document.

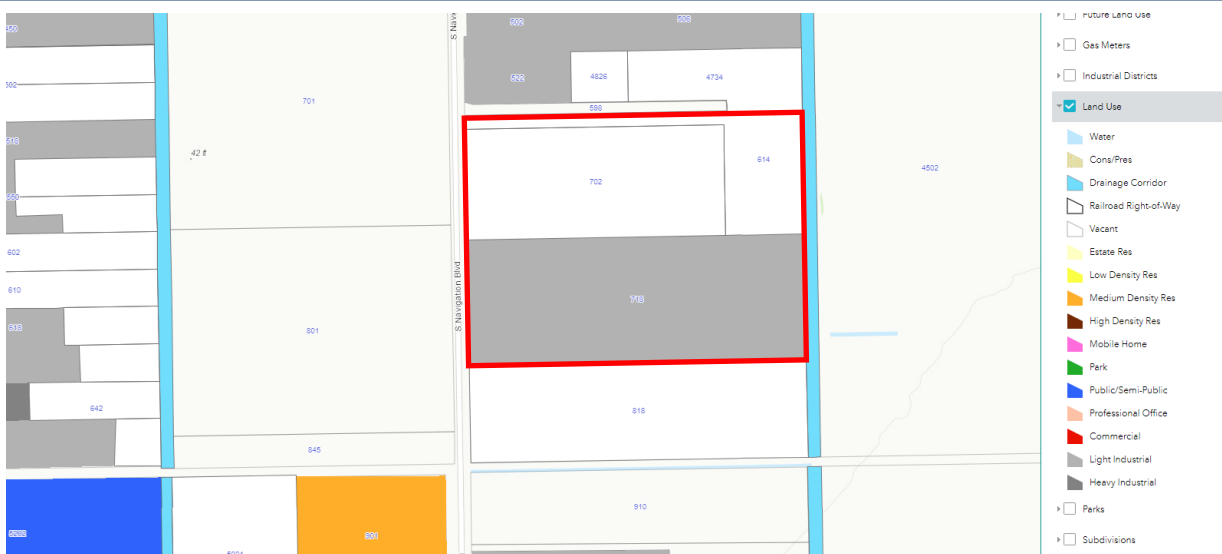
The development shall be in accordance with is the City of Corpus Christi Unified Development Code (UDC) with adoption date of April 2019 (hereinafter referred to as UDC) and modified by the PUD requirements as indicated herein.

DEVELOPMENT LOCATION MAP



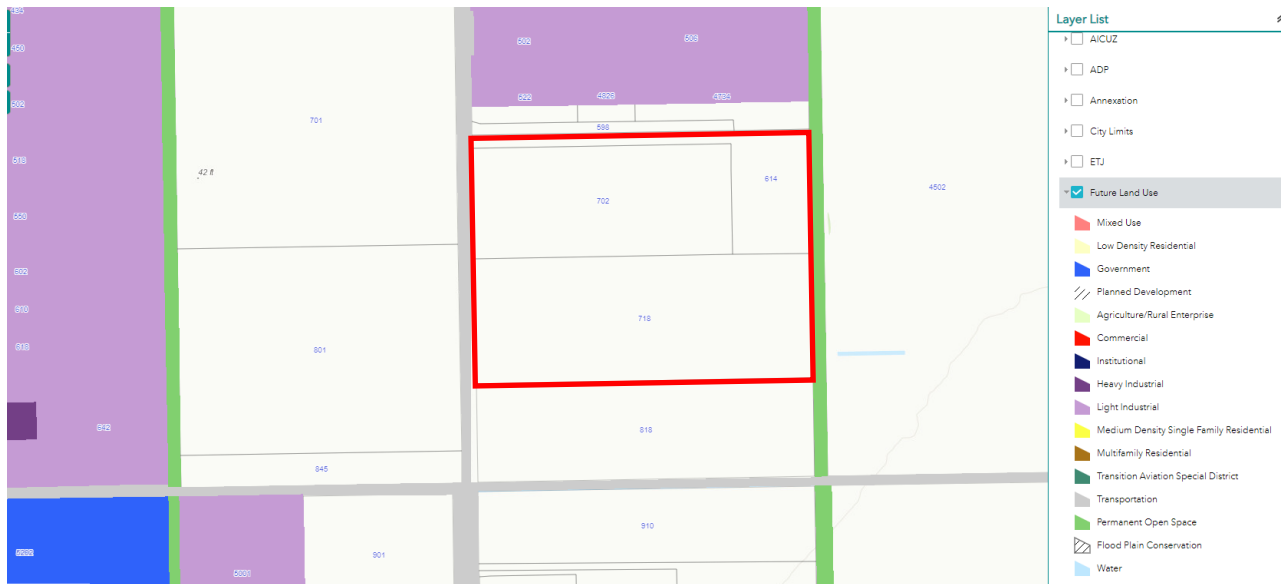
Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT LAND USE INFORMATION



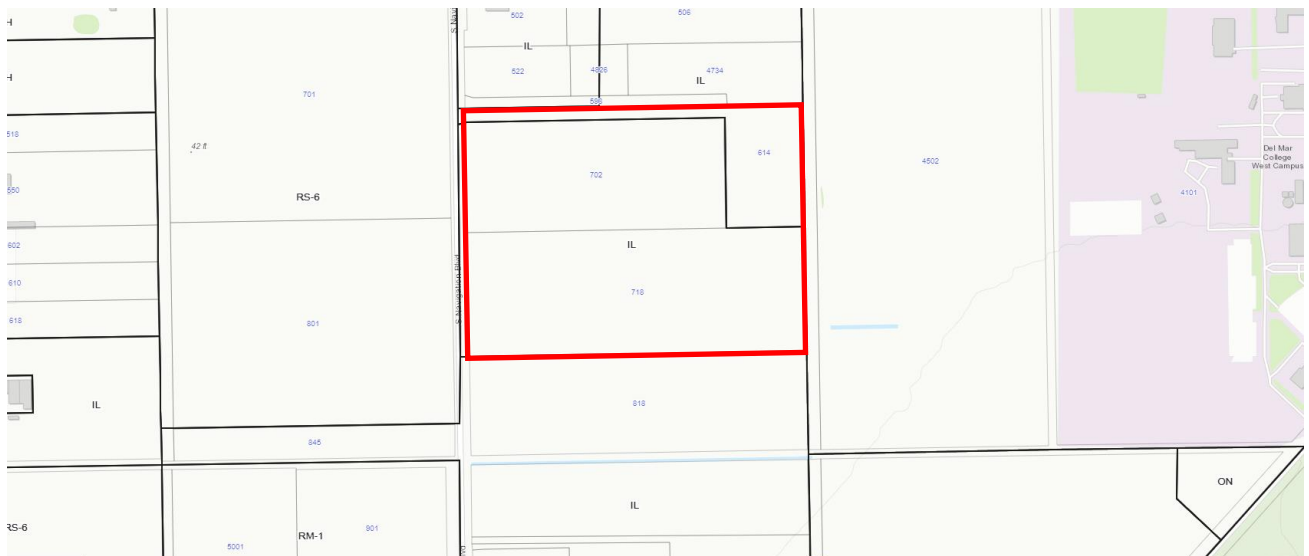
Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT FUTURE LAND USE INFORMATION



Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT ZONING INFORMATION



Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020

AREA DEVELOPMENT PLAN INFORMATION

The development is located within the Westside Area Development Plan (ADP). The proposed development will provide the Westside ADP with additional affordable residential opportunity within the area and the development will include a community center, recreational park, and internal parks for the residents.

ADJACENT TRANSPORTATION AND CIRCULATION

The development is located on South Navigation Boulevard with 1,118-feet of street frontage. South Navigation Boulevard is classified as a Minor Arterial (A1) street with an existing street section consisting of 95-foot Right-of-Way, 26-feet paved, and is capable of handling approximately 1,600 Average Daily Trips (ADT).

UNIFIED DEVELOPMENT CODE AND MODIFICATIONS

This development shall be governed by the City of Corpus Christi Unified Development Code (UDC) with adoption date of April 2019 (hereinafter referred to as UDC) with the Base Zoning being RS-4.5 in accordance with Section Article 4 with the modifications as indicated as the PUD Requirements.

The deviations to the UDC will be based on Article 4: Base Zoning Districts and Article 6: Special Zoning Districts shall be modified as per the following to form the requirements of the PUD:

REQUIREMENT	UDC BASE ZONING REQUIREMENTS RS 4.5 SECTION 4.3.3	UDC BASE ZONING REQUIREMENTS MHS SECTION 6.1.1	PUD REQUIREMENTS
Maximum Density (Units / Gross Acre)	-	8	7.08
Minimum Site Area (Acre)	-	8	8
Minimum Site Width (Feet)	-	300	-
Minimum Lot Area (Square Feet)	4,500	4,500	Residential = 3,200 Other = 0
Minimum Lot Width (Feet)	45	-	Residential = 40 Other = 0
Minimum Yard (Feet) – Street	20	20	20
Minimum Yard (Feet) – Street Corner			
Back-to-Back	10	20	10
Back-to-Face	20	20	10
Minimum Yard (Feet) – Side Single	5	6	2
Minimum Yard (Feet) – Side Total	10	20	10
Minimum Yard (Feet) – Rear	5	10	5
Minimum Open Space (Percent of Total Unit)	30%	-	30%
Maximum Height (Feet)	35	35	35

The UDC Article 7: General Development Standards shall be modified as per the following:

REQUIREMENT	UDC REQUIREMENT	PUD REQUIREMENT
Section 7.1.7.A <i>Driveway Spacing</i>	<i>Residential driveways are limited to one per lot excepting that circular driveways are allowed provided that the frontage equals or exceeds 70' and all other parameters are met.</i>	Residential driveways are limited to three per lot provided that the frontage equals or exceeds 40'.
Section 7.1.7.D <i>Minimum Corner Clearance</i>	<i>Residential = 25 feet</i>	Residential = 0 feet
Section 7.1.7.E <i>Driveway Width and Curb Return Radii</i>	<i>Residential = 10 feet Minimum = 30 feet Maximum</i>	Residential = 10 feet Minimum = 60 feet Maximum
Section 7.1.7.F <i>Curb Return Radii or Flare Length</i>	<i>Residential = 3 feet Minimum = 10 feet Maximum</i>	Residential = 0 feet Minimum = 10 feet Maximum
Section 7.2.2.B <i>Off-Street Parking Ratio</i>	<p>Residential Lot: <i>Residential Use; Household Living; All Other Uses = 2 per unit</i></p> <p>Community Center Lot: <i>Commercial Uses; Office; All Uses = 2.4 per 1,000 SF GFA Urban</i></p> <p>Recreation Lot: <i>Commercial Uses, Outdoor Recreation, All other uses without fixed seating = 1 per 250 SF GFA</i></p> <p>Park Lot: <i>Public and Civic Uses; Parks and Open Area; Park, Plaza, Playground or Recreational Trail = 1 per 10,000 SF outdoor lot area</i></p> <p>Open Area Lot: <i>Public and Civic Uses; Parks and Open Area; Park, Plaza, Playground or Recreational Trail = 1 per 10,000 SF outdoor lot area</i></p>	<p>Residential Lot: 3 per unit</p> <p>Community Center and Recreation Lot: Community Center Building = 2.4 per 1,000 SF GFA Recreation Lot = 1 per 10,000 SF GFA</p> <p>Park Lot: 1 per 10,000 SF outdoor lot area within 200 feet of lot.</p> <p>Open Area Lot: None</p>

<p><i>Section 7.9.5</i></p> <p><i>Zoning District Buffer Yard – New Development</i></p>	<p><i>Type D Buffer Yards shall consist of a minimum 20-foot wide buffer yard plus at least 20 points based on the points listed in the table</i></p>	<p>Shall be 20-foot wide buffer and have a 7-foot height wood screening fence</p>
---	---	---

The UDC Article 8: Subdivision Design and Improvements shall be modified as per the following:

REQUIREMENT	UDC REQUIREMENT	PUD REQUIREMENT
<i>Section 8.2.1.B Street Right-of-Way Dimensional Standards</i>		
<i>Street Right-of-Way A</i>		
Local Street Section Type	<i>L-1C</i>	<i>V1</i>
Right-of-Way	<i>46-foot</i>	<i>26-foot</i>
Planting / Utility Area	<i>7-foot (Both Sides)</i>	<i>0-foot</i>
Street Section Width	<i>28-foot Back-to-Back</i>	<i>20-foot Edge-to-Edge</i>
Sidewalk Width	<i>4-foot</i>	<i>5-foot</i>
Tied Sidewalk	<i>Not Allowed</i>	<i>Allowed</i>
Sidewalk Both Sides	<i>No</i>	<i>No</i>
Thru Lane	<i>One</i>	<i>One</i>
Traffic Lane	<i>Two</i>	<i>Two</i>
Parking Lanes	<i>Two</i>	<i>None</i>
Design Speed (MPH)	<i>25</i>	<i>15</i>
<i>Street Right-of-Way B</i>		
Local Street Section Type	<i>L-1A</i>	<i>V2</i>
Right-of-Way	<i>50-foot</i>	<i>60-foot</i>
Planting / Utility Area	<i>6-foot (Both Sides)</i>	<i>0-foot</i>
Street Section Width	<i>28-foot Back-to-Back</i>	<i>40-foot Back-to-Back</i>
Sidewalk Width	<i>4-foot</i>	<i>5-foot</i>
Tied Sidewalk	<i>Not Allowed</i>	<i>Allowed</i>
Sidewalk Both Sides	<i>Yes</i>	<i>No</i>
Thru Lane	<i>One</i>	<i>One</i>
Traffic Lane	<i>Two</i>	<i>Two</i>
Parking Lanes	<i>Two</i>	<i>Two</i>
Design Speed (MPH)	<i>25</i>	<i>25</i>
<i>Section 8.2.1.D External Connectivity</i>		
<i>3. Divided Entrance</i>	<i>A divided entrance may be credited as two access points provided that the divided entrance shall consist of four travel lanes from the intersection with the public road system to the first intersection within the development.</i>	<i>A widened entrance with striping that divides the entrance may be credited as two access points provided that the divided entrance shall consist of four travel lanes from the intersection with the public road system to the first intersection or controlled access point within the development.</i>

<i>Section 8.2.1.E Street Layout</i>		
1. The arrangement, character, extent, width, and location of all streets.	<i>As Per UDC</i>	Waived
<i>Section 8.2.1.J Private Streets</i>		
5. Design Standards	<i>Shall be in accordance with Section 8.2.1</i>	Shall be in accordance with Section 8.2.1.J with the following modifications - Curb and Gutter are not required.
11. Open Space	<i>Shall meet dedication requirements in Section 8.3</i>	Shall be waived due to private park, recreational areas, and open space development and maintenance thereof.
<i>Section 8.2.2 Sidewalks</i>		
A. Required Improvements	<i>In accordance with Section 8.2.1.B</i>	Modified as per PUD Requirements and not required along existing streets.
<i>Section 8.2.3 Easements</i>		
A. Utility Easements	<i>As Per UDC</i>	Amended to include: Utility Easements along access easements shall be 10-foot in width when abutting to access easement.
B. Drainage Easements	<i>As Per UDC</i>	Utility Easements along rear of lots shall be a total of 10-foot unless adjacent lot contains a utility easement of 10-foot or greater. Amended to include: Private Drainage Easements shall be as required by the utility owner.
<i>Section 8.3 Public Open Space</i>		
8.3.5 Land Dedication	<i>As Per UDC</i>	Shall be waived due to private park, recreational areas, and open space development and maintenance thereof.
8.3.6 Fee in Lieu of Land	<i>As Per UDC</i>	
8.3.7 Park Development Fee	<i>As Per UDC</i>	

The Development shall follow the guidelines below:

DESCRIPTION	LOT TYPE
Residential Lots	A
	B
	C
Community Center and Recreation Lot	D
Open Area Lots	E
Park Lots	P1
	P2
Access Lot	V1
	V2

The Residential Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Residential
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	3
Maintenance	Lot Owner and/or Property Management Group
Improvements Allowed	Residential structure(s) and support structure(s) including but not limited to: decks, porches, carports, pavement(s), fencing, landscaping, utilities, etc.
Improvement Placement	Residential structure(s) and support structure(s) including decks, porches, etc. shall be located within the indicated buildable area. Pavement(s), fencing, landscaping, utilities, etc. can be located anywhere on the lot.
Rental	Daily, weekly, and monthly rentals as allowed by property management.

The Community Center and Recreation Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Structures and improvements supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	As per PUD
Maintenance	Property Management Group
Improvements Allowed	Residential, Non-Residential structure(s), and support structure(s) including but not limited to: decks,

	porches, pavement(s), fencing, recreational equipment, pool(s), landscaping, utilities, etc.
Improvement Placement	Residential, Non-Residential structure(s), and support structure(s) including decks, porches, pool(s), etc. shall be located within the indicated buildable area. Pavement(s), fencing, recreational equipment, landscaping, utilities, etc. can be located anywhere on the lot.
Rental	Daily, weekly, and monthly rentals as allowed by property management.

The Open Space Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Non-Residential Structures supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	None
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including, fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including fencing, landscaping, utilities, etc. can be located anywhere on the lot.

The Park Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Non-Residential Structures supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	As per PUD
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including, fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including fencing, landscaping, utilities, etc. can be located anywhere on the lot.

The Access Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Access for the Community
Minimum Open Space (Percent)	10%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	None
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including but not limited to: access control building(s), pavement(s), fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including access control building, pavement(s), fencing, landscaping, utilities, etc. can be located anywhere on the lot. Access control building may not reduce the vehicular accessibility width below requirements for Emergency Vehicular Access.

MASTER SITE PLAN

The master site plan for the development can be found within this document as **Exhibit A – Master Site Plan**.

SITE DEVELOPMENT PLAN

The layout of the streets, pedestrian accessibility, lot buildable area, and open space for the development can be found within this document as **Exhibit B – Site Development Plan**.

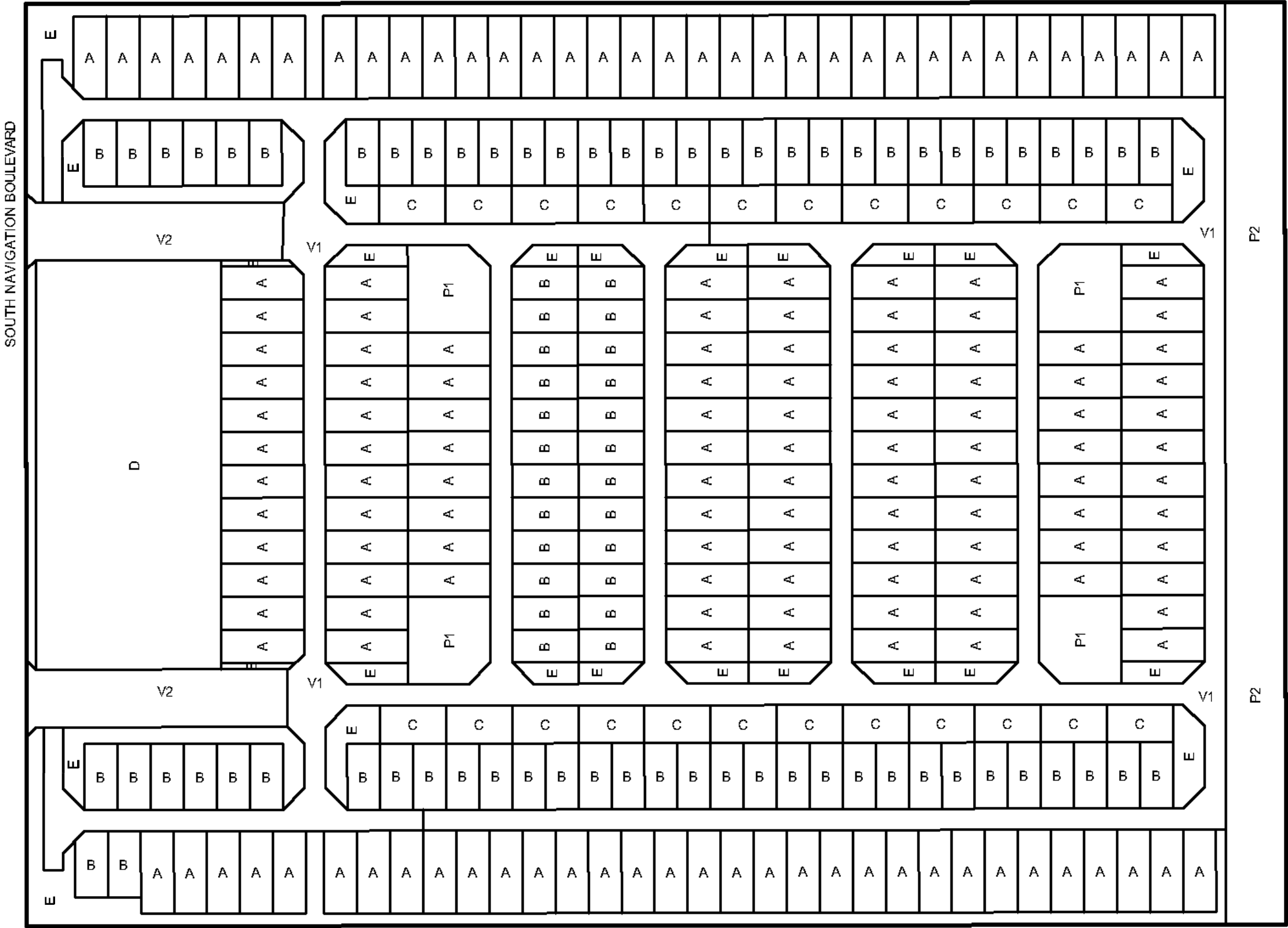
SITE SECTION VIEWS

The typical section views of the development can be found within this document as **Exhibit C – Site Section Views**.

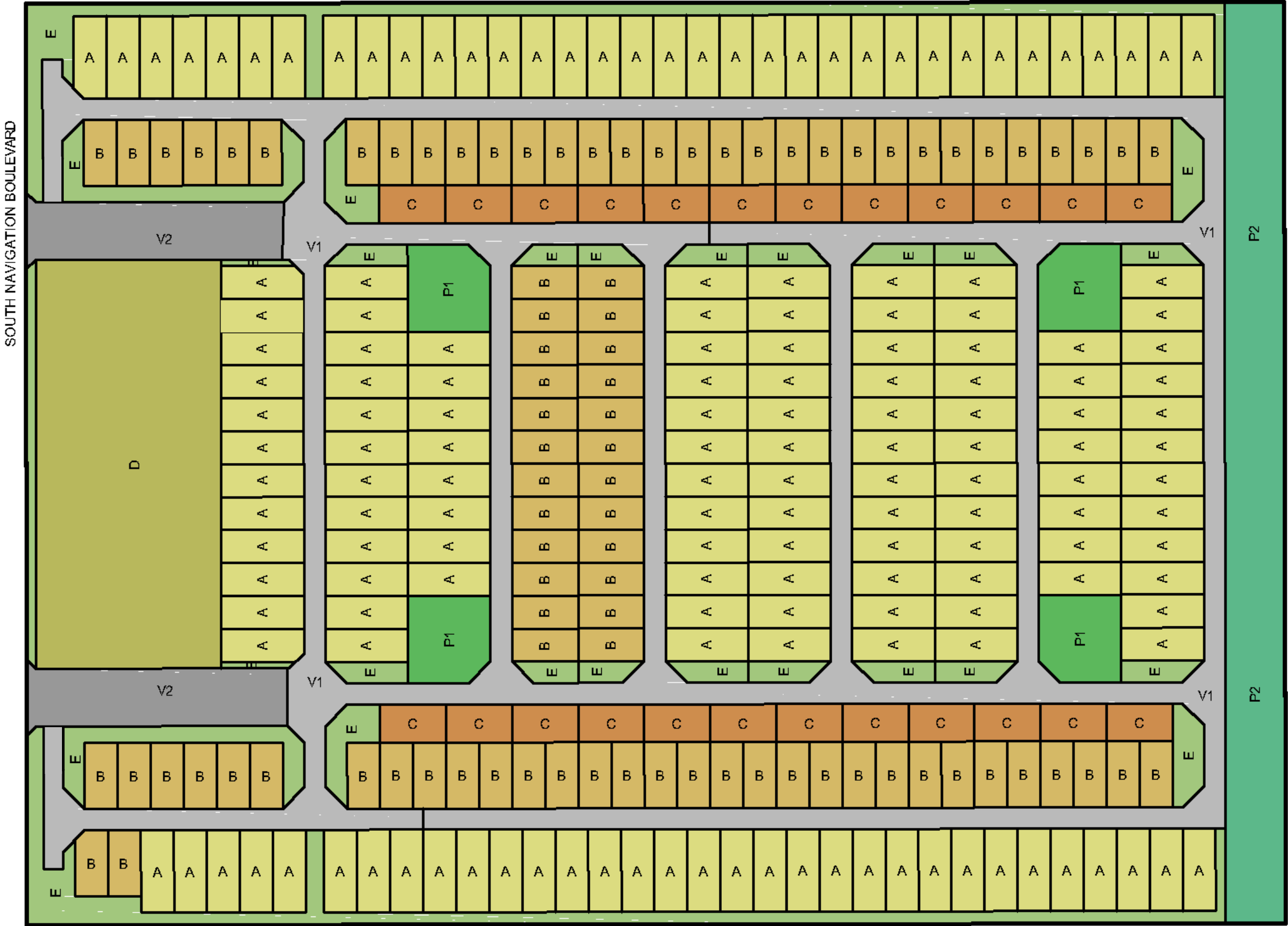
EXHIBIT A – MASTER SITE PLAN

EXHIBIT B – SITE DEVELOPMENT PLAN

EXHIBIT C – SITE SECTION VIEWS



LOT INFORMATION		
Lot Type	Total	Lot Type
A	166	Residential
B	88	Residential
C	24	Residential
D	1	Community Center and Recreation
E	27	Open Area
P1	4	Park
P2	1	Park
V1	4	Access
V2	2	Access
	317	

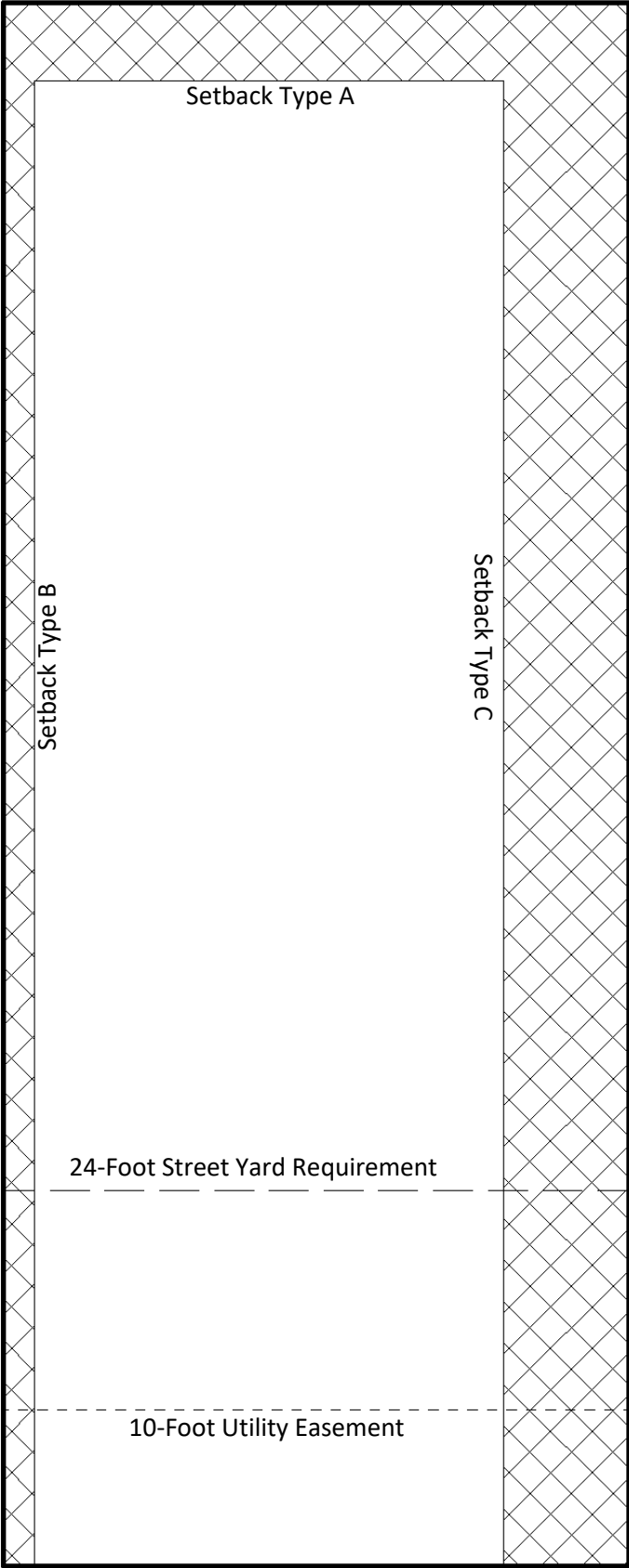


LOT INFORMATION		
Lot Type	Total	Total Square Feet (SFT)
A	167	667,806
B	86	275,200
C	24	88,233
D	1	104,601
E	27	152,753
P1	4	41,048
P2	1	81,261
V1	4	249,583
V2	2	43,981
	316	1,704,466

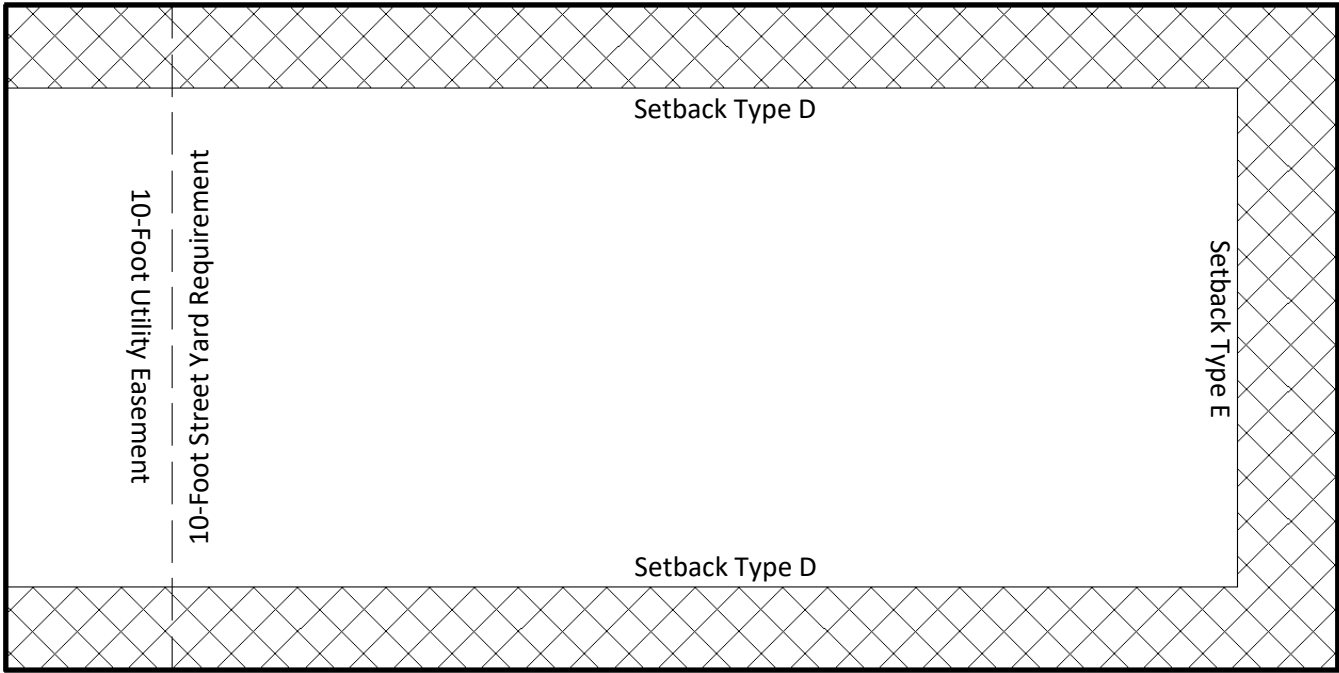
DEVELOPMENT INFORMATION	
Description	Total
Maximum Density (Units / Gross Acre)	7.08
Minimum Site Area (Acre)	39.129
Minimum Site Width (Feet)	1,117
Minimum Lot Area (Square Feet)	Residential = 3,200 Other = 26
Minimum Lot Width (Feet)	Residential = 40 Other = 18
Minimum Open Space (Percent of Total Unit)	Type A = 33% Type B = 30% Type C = 30% Type D = 45%
Minimum Open Space (Percent of Total Development)	33%

LEGEND

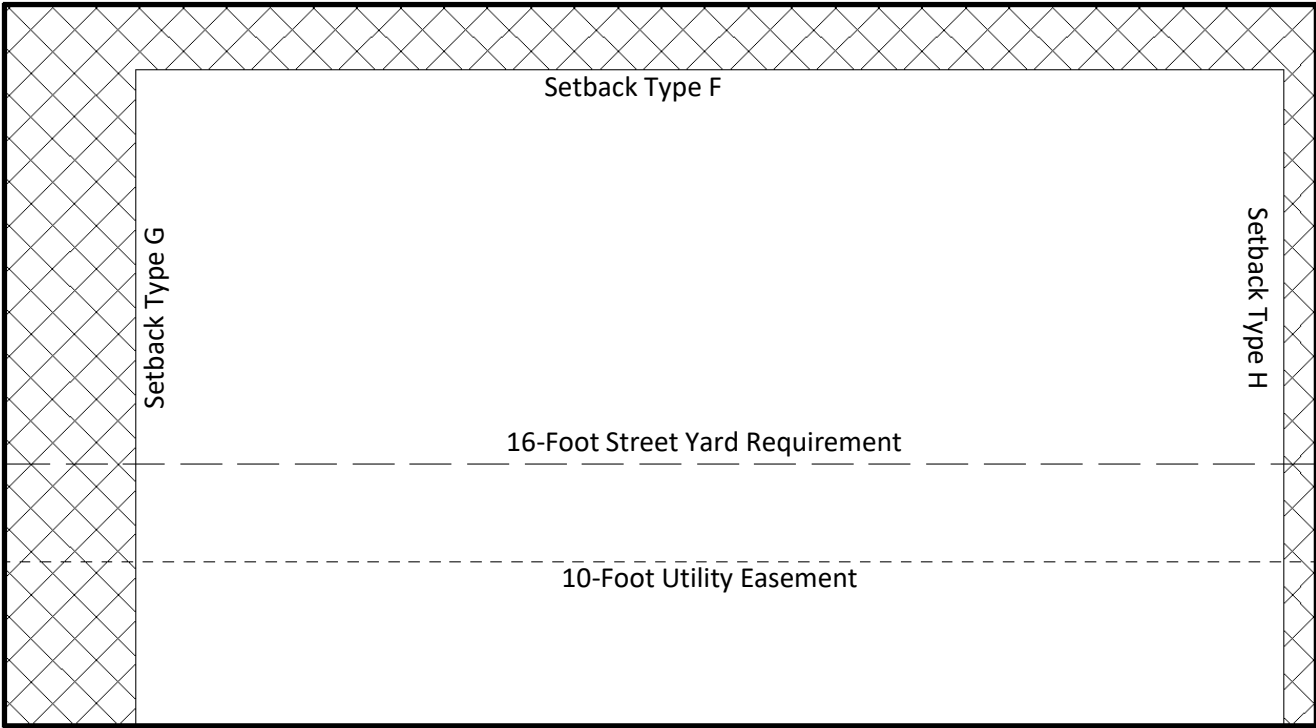
- LOT TYPE A
- LOT TYPE B
- LOT TYPE C
- LOT TYPE D
- LOT TYPE E
- LOT TYPE P1
- LOT TYPE P2
- LOT TYPE V1
- LOT TYPE V2



Typical Residential Lot Type A

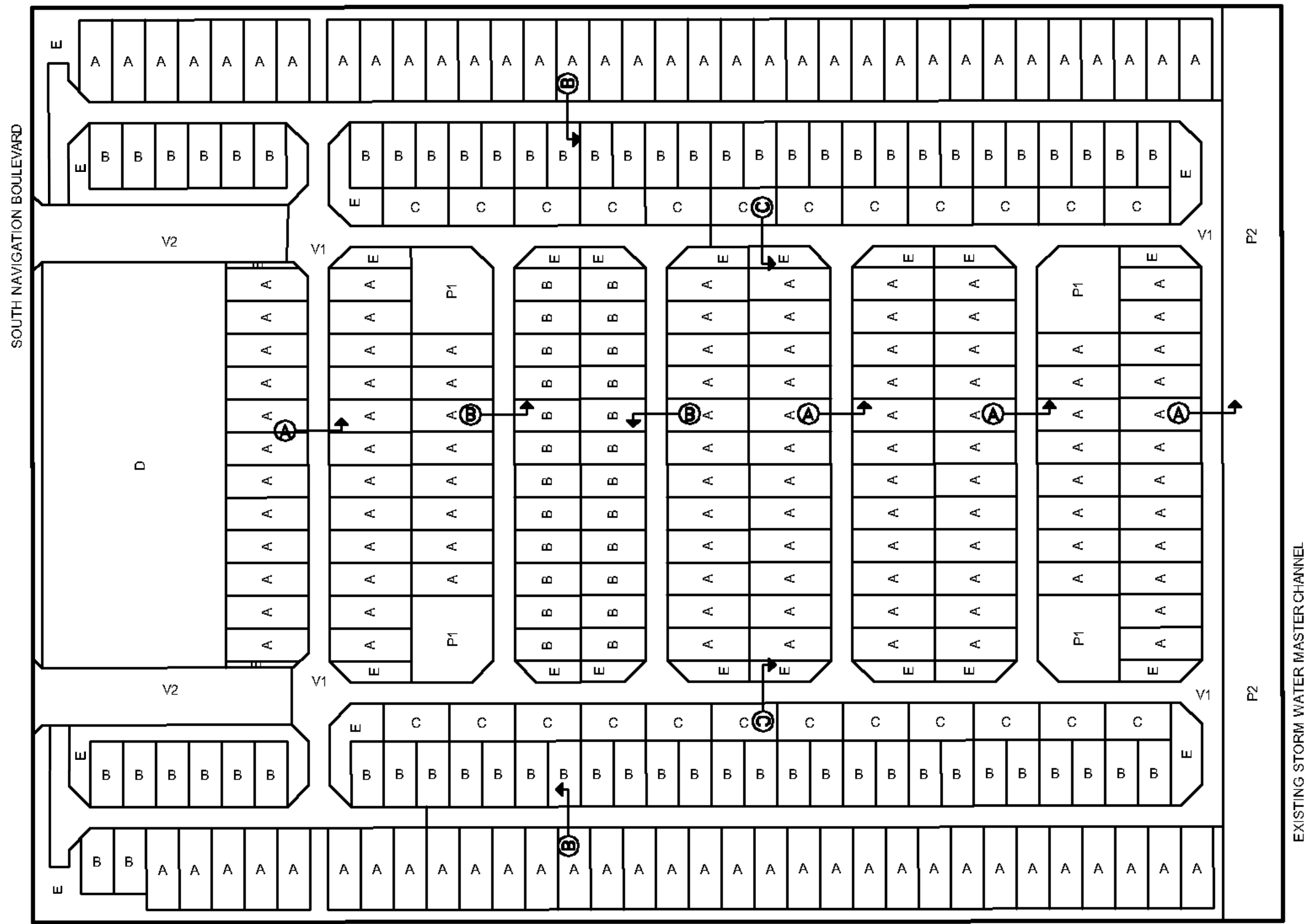


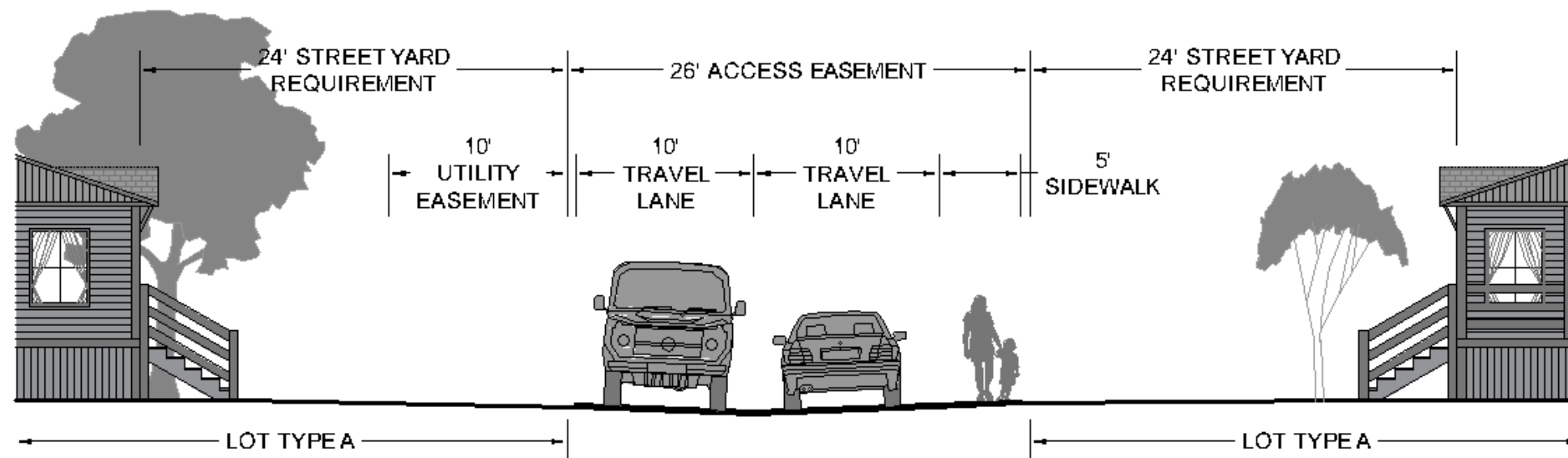
Typical Residential Lot Type B



Typical Residential Lot Type C

- Setback Types**
- Type A Setback – 5-foot for Home and Decks
 - Type B Setback – 2-foot for Home, Decks, and Carports. Must abut to a Setback Type C or Non-Buildable lot.
 - Type C Setback – 8-foot for Home, Decks, and Carports. Must abut to a Setback Type B or Type C or Non-Buildable lot.
 - Type D Setback – 5-foot for Home, Decks, and Carports. Must abut to a Setback Type D or Non-Buildable Lot.
 - Type E Setback – 6-foot for Home and Decks. Must abut a Setback Type E or Type F or Non-Buildable Lot.
 - Type F Setback – 4-foot for Home and Decks. Must abut a Setback Type E or Non-Buildable Lot.
 - Type G Setback – 8-foot for Home and Decks. Must abut a Setback Type D or Type H or Non-Buildable Lot.
 - Type H Setback – 2-foot for Home and Decks. Must abut a Setback Type G or Non-Buildable Lot.

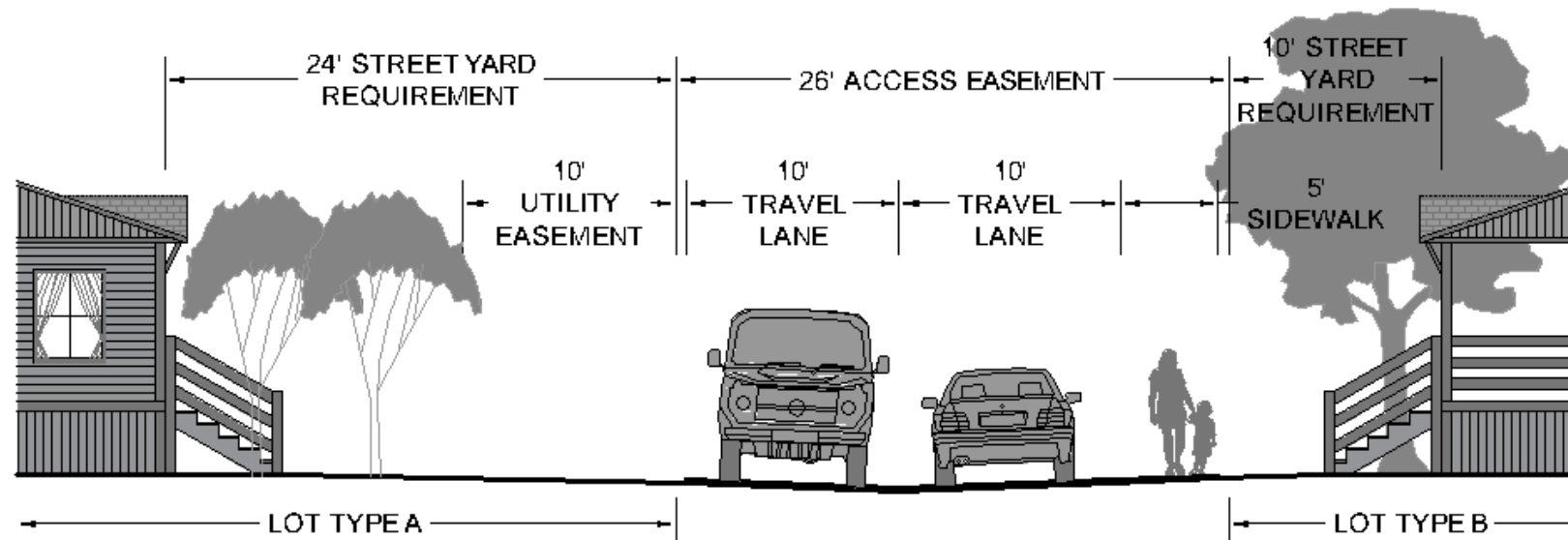




A TYPICAL SECTION A

NOT TO SCALE

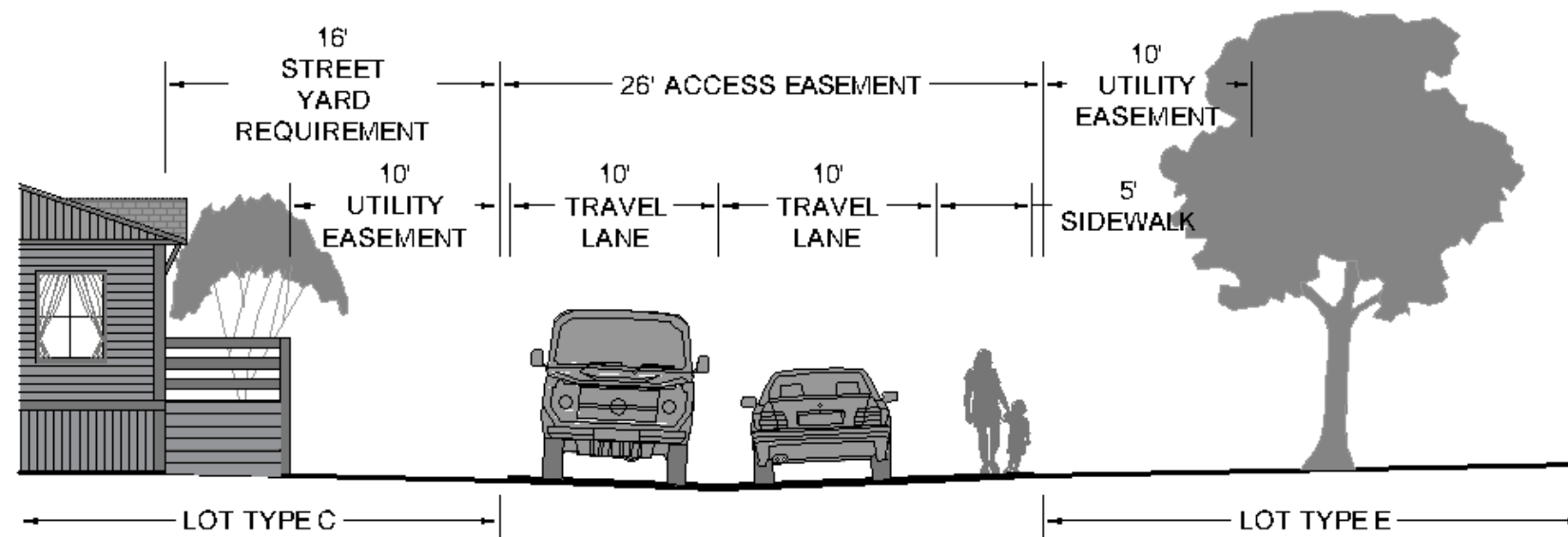
THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



B TYPICAL SECTION B

NOT TO SCALE

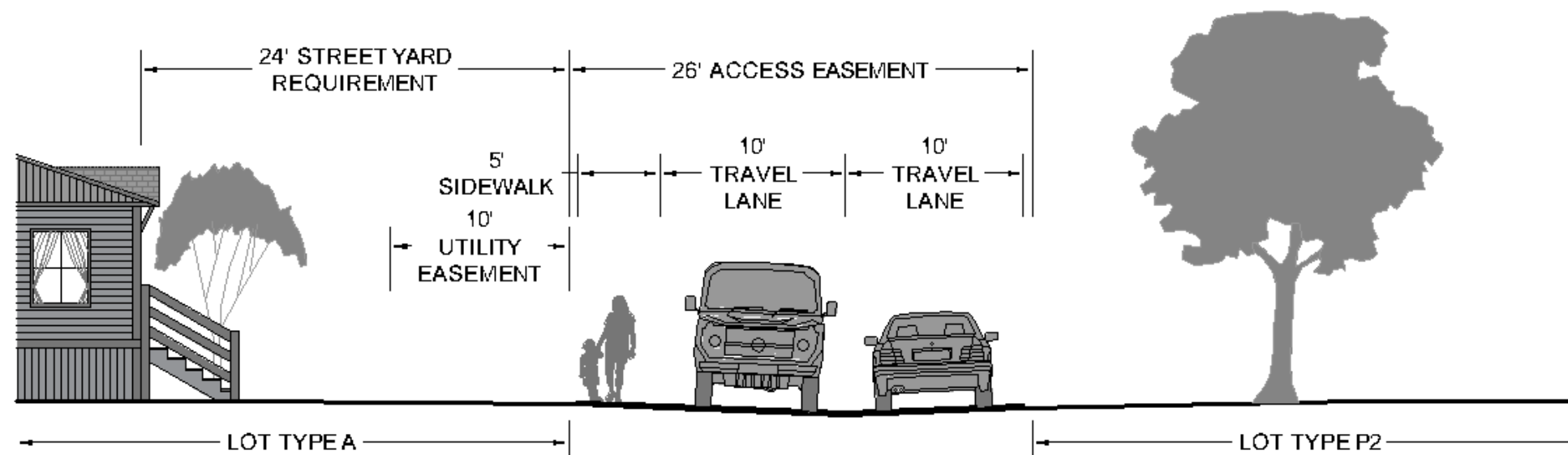
THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



C **TYPICAL SECTION C**

NOT TO SCALE

THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



D **TYPICAL SECTION D**

NOT TO SCALE

THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER