



# **Coastal Community and Teachers Credit Union (Final Plat)**

**Request for Plat Waiver  
from the Sidewalk Construction Requirement**

Planning Commission Meeting  
January 6, 2021



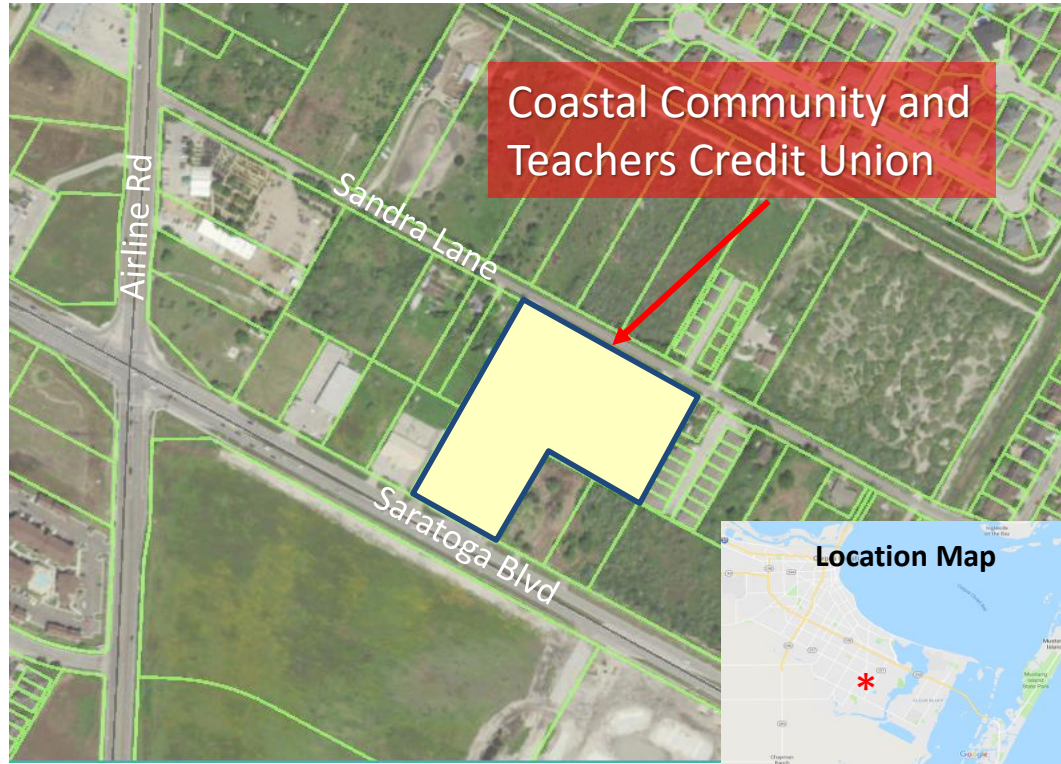
# Plat Requirements

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- UDC 3.30.1.A: requires installation of improvements, or financial guarantee, during platting
- UDC 8.1.4: During platting, the “developer shall provide”:
  - A. “Streets, including but not limited to pavement, curb and gutter, **sidewalks** ....”
- UDC 8.2.2.A.4: “Sidewalks shall connect to existing adjacent sidewalks or be designed and placed to allow connection to future adjacent sidewalks”



# Vicinity Map





# Street View: Looking West

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# Street View: Looking East

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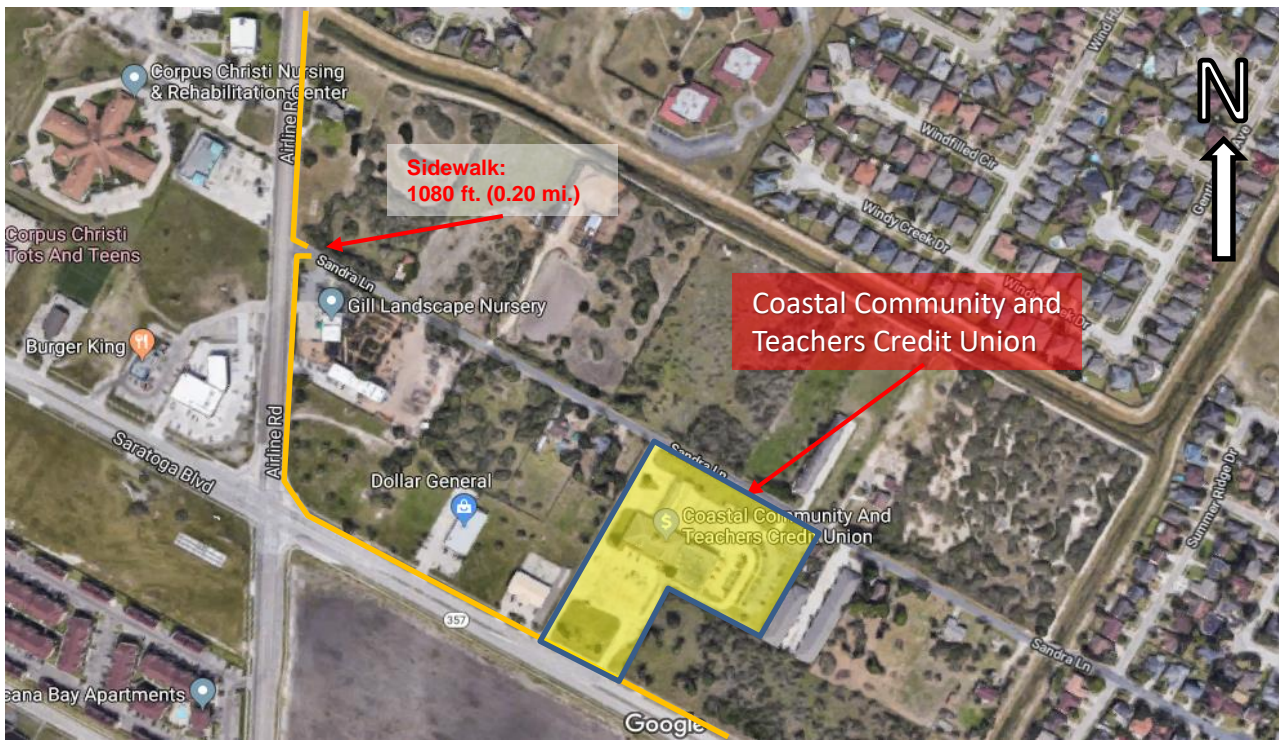








# Neighborhood





# Zoning







# Factors

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## **Factors in Support of Waiver**

- No current sidewalk network exists along Sandra Lane in this vicinity that would connect directly to this site. The nearest sidewalk connection is about 1080 feet (0.20 mile) west, at Airline Road.
- There is drainage ditch running along the frontage of the property.
- Sandra Lane is not on the ADA Master Plan.
- This replat is not located along an existing or foreseeably planned CCRTA service route.

## **Factors Against Waiver**

- Sandra Lane is a 50-foot wide right-of-way local street and sidewalk is required under UDC Table 8.2.1.B.
- The property is zoned General Commercial ("CG-2").
- Plan CC's vision for transportation and mobility for the community calls for connected networks of good streets and sidewalks and safe bicycle routes.



## Plat Waiver UDC 3.8.3.D

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- **Need for waiver shall be demonstrated to Planning Commission's satisfaction**
  - **The waiver may be approved, approved with conditions or denied after consideration of the following factors:**
    1. Not detrimental to public health, safety, or general welfare, or be injurious to other property in area, or to the City;
    2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity;
    3. Application of the provision will render subdivision of land unfeasible; or
    4. The granting of the waiver would not substantially conflict with the Comp Plan and the purposes of the UDC
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# Staff Recommendation

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**Staff recommends approval of the request for waiver from the sidewalk construction requirement along Sandra Lane**