

**Zoning Case No. 0920-02, GMG Partners, LP. (District 3).
Ordinance rezoning property at or near 702 South Navigation Boulevard from the
“IL/SP” Light Industrial District with a Special Permit to the “RS-4.5/PUD” Single-
Family 4.5 District with a Planned Unit Development.**

WHEREAS, with proper notice to the public, a public hearing was held during a meeting of the Planning Commission during which all interested persons were allowed to be heard;

WHEREAS, the Planning Commission has forwarded to the City Council its final report and recommendation regarding the application for an amendment to the City of Corpus Christi's Unified Development Code (“UDC”) and corresponding UDC Zoning Map;

WHEREAS, with proper notice to the public, a public hearing was held during a meeting of the City Council, during which all interested persons were allowed to be heard;

WHEREAS, the City Council has determined that this rezoning is not detrimental to the public health, safety, or general welfare of the City of Corpus Christi and its citizens; and

WHEREAS, the City Council finds that this rezoning will promote the best and most orderly development of the properties affected thereby, and to be affected thereby, in the City of Corpus Christi.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORPUS CHRISTI, TEXAS:

SECTION 1. The Unified Development Code (“UDC”) and corresponding UDC Zoning Map of the City of Corpus Christi, Texas is amended by changing the zoning on the subject property described as being a 39.129 acre tract situated in Nueces County, Texas, a portion of Lot 1, Block 10, J.C. Russell Farm Blocks, as shown by map or plat thereof recorded in Volume 28, Pages 58-59, of the Map Records of Nueces County, Texas as shown in Exhibit “A”:

from the “IL/SP” Light Industrial District with a Special Permit to the “RS-4.5/PUD” Single-Family 4.5 District with a Planned Unit Development.

The subject property is located at or near 702 South Navigation Boulevard. Exhibit A, which is the Metes and Bounds of the subject property with an associated map attached to and incorporated in this ordinance and Exhibit B, which is a copy of The La Villa Hermosa Planned Unit Development (PUD) Guidelines and Master Site Plan attached to and incorporated in this ordinance.

SECTION 2. The Special Permit granted in Section 1 of this ordinance is subject to the Owner following the conditions listed below:

1. **Planned Unit Development Guidelines and Master Site Plan:** The Owners shall develop the Property in accordance The La Villa Hermosa Planned Unit Development (PUD) Guidelines and Master Site Plan. The development of the Property is to consist of 277 single-family lots, 27 open areas, 5 parks, and 1 community center. On-site management will be present at the development at all times and enforce all parking and maintenance requirements.
2. **Dwelling Units per Acre:** The density of dwelling units on the Property shall not exceed 7.08 dwelling units per acre.
3. **Parking:** The property must have a minimum of 3 parking spaces (9 feet wide by 18 feet long) per dwelling unit. Parking standards for community center and recreation lot uses are set a 2.4 parking space for every 1000 square feet of gross floor area. Parking is prohibited within the private street and pedestrian walkways.
4. **Setbacks and Lot Width:** Minimum front yard setbacks for all lots shall be ten feet and on a corner ten feet.
5. **Open Space:** The Property must maintain a minimum of 30% open space. Any surfaces constructed within the required open space must be constructed of pervious material.
6. **Private Street Access:** The 2-way private access drive shall not be less than 20 feet and the 1 foot ribbon curb shall be striped or marked to indicate "Fire Lane/No Parking."
7. **Pedestrian Access:** Sidewalks shall be 5 feet wide on one side of the private street and shall be constructed and maintained as identified on the master site plan.
8. **Other Requirements:** The conditions listed herein do not preclude compliance with other applicable UDC, Building, and Fire Code Requirements.
9. **Time Limit:** An approved development plan shall expire 24 months after the date that the development plan was approved, unless a complete building permit application has been submitted or, if no building permit is required, a certificate of occupancy has been issued.

SECTION 3. The UDC and corresponding UDC Zoning Map of the City, made effective July 1, 2011 and as amended from time to time, except as changed by this ordinance, both remain in full force and effect including the penalties for violations as made and provided for in Article 10 of the UDC.

SECTION 4. To the extent this amendment to the UDC represents a deviation from the City's Comprehensive Plan, the Comprehensive Plan is amended to conform to the UDC, as it is amended by this ordinance.

SECTION 5. All ordinances or parts of ordinances specifically pertaining to the zoning of the subject property that are in conflict with this ordinance are hereby expressly repealed.

SECTION 6. A violation of this ordinance, or requirements implemented under this ordinance, constitutes an offense punishable as provided in Article 1, Section 1.10.1 of the UDC, Article 10 of the UDC, and/or Section 1-6 of the Corpus Christi Code of Ordinances.

SECTION 7. Publication shall be made in the official publication of the City of Corpus Christi as required by the City Charter of the City of Corpus Christi.

SECTION 8. This ordinance shall become effective upon publication.

The foregoing ordinance was read for the first time and passed to its second reading on this the _____ day of _____, 2020, by the following vote:

Joe McComb _____

Michael Hunter _____

Roland Barrera _____

Ben Molina _____

Rudy Garza _____

Everett Roy _____

Paulette M. Guajardo _____

Greg Smith _____

Gil Hernandez _____

That the foregoing ordinance was read for the second time and passed finally on this the _____ day of _____ 2021, by the following vote:

Paulette M. Guajardo _____

John Martinez _____

Roland Barrera _____

Ben Molina _____

Gil Hernandez _____

Mike Pusley _____

Michael Hunter _____

Greg Smith _____

Billy Lerma _____

PASSED AND APPROVED on this the _____ day of _____, 2021.

ATTEST:

Rebecca Huerta
City Secretary

Paulette M. Guajardo
Mayor

Exhibit A

ARTURO MEDINA, R.P.L.S.

PHONE (361) 333-6317
FIRM REGISTRATION # 10194360

AM LAND SURVEYING

P.O. Box 71094
Corpus Christi, TX 78467

Field Note Description July 15, 2020

Being a tract of land situated in Nueces County, Texas, a portion of Lot 1, Block 10, J.C. RUSSELL FARM BLOCKS, as shown by map or plat thereof recorded in Volume 28, Pages 58-59, of the Map Records of Nueces County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point being the south east corner of a 19.632 acre tract described in document number 2014004928, Official Public Records of Nueces County, Texas and being the south east corner of this tract;


THENCE South $88^{\circ}33'15''$ West with the south boundary line of the 19.632 acre tract a distance of 1,524.70 feet to a point being in east Right Of Way of Navigation Boulevard and being the south west corner of this tract;

THENCE North $01^{\circ}26'45''$ West along the east Right-Of-Way of Navigation Boulevard a distance of 1,117.91 feet to a point being in the south boundary line of Lot 6, J.C. RUSSEL FARM BLOCKS, TRACT I, BLOCK 10, as shown by map or plat thereof recorded in Volume 68, Page 467, of the Map Records of Nueces County, Texas and being the north west corner of this tract;

THENCE North $88^{\circ}33'15''$ East along the south boundary line of Lot 6 a distance of 1,524.70 feet to a point being the north east corner of this tract;

THENCE South $01^{\circ}26'45''$ East a distance of 1,117.91 feet to the POINT OF BEGINNING, forming a tract embracing 1,704,480 square feet (39.129 acres)

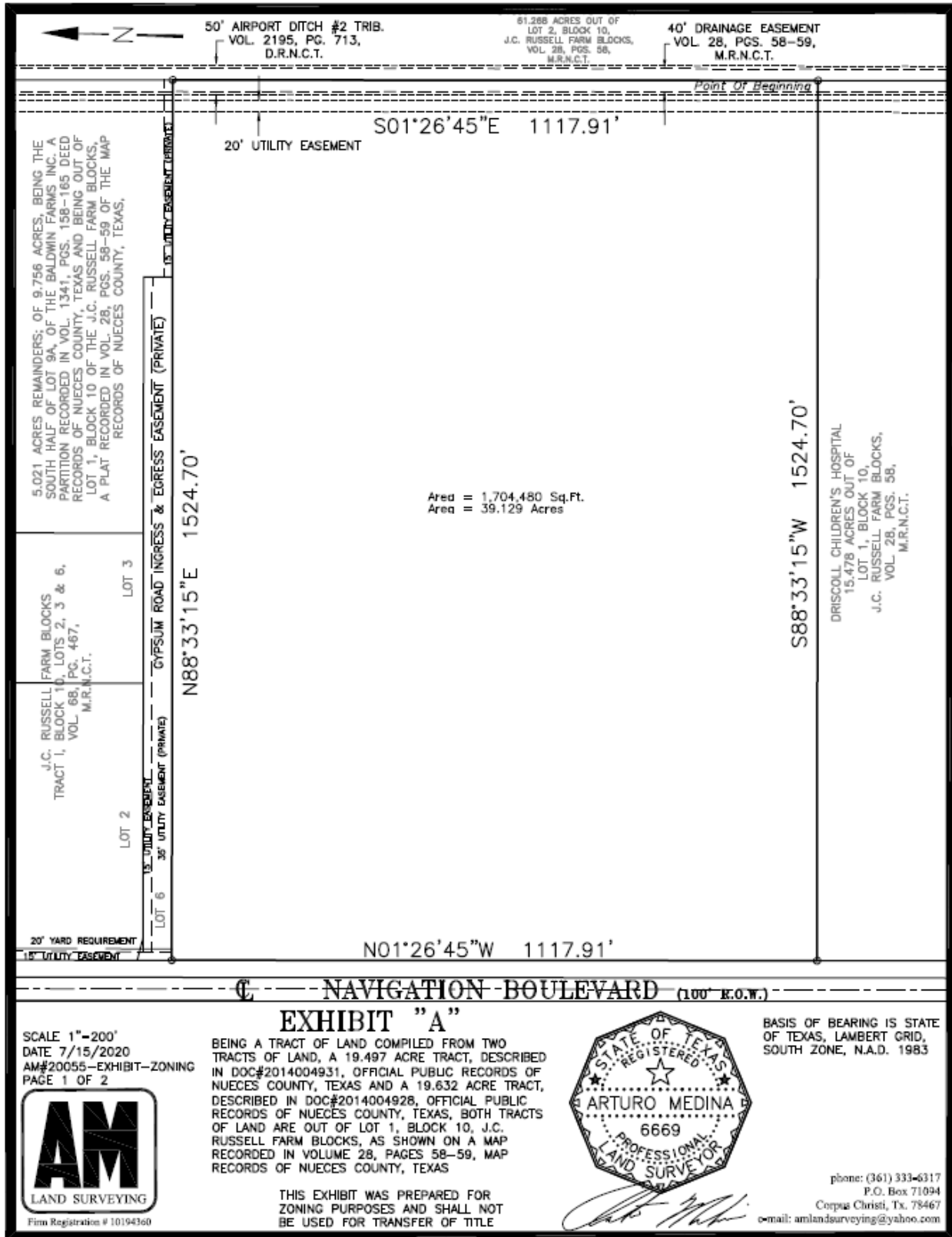
AM LAND SURVEYING


ARTURO MEDINA
REGISTERED PROFESSIONAL LAND SURVEYOR 6669



Note: Bearings are State of Texas, Lambert Grid, South Zone, N.A.D. 1983.
20055-EXHIBIT-Zoning-Field Note Description.doc
This document is for Zoning purposes and shall not be used for Transfer of Title

EXHIBIT "A"
Page 2 of 2



La Villa Hermosa Planned Unit Development (PUD)

CORPUS CHRISTI, TEXAS

Owner

AmeriCasa – Corpus Christi, LLC

Submitted By



MUNOZ ENGINEERING, LLC

1608 S. BROWNLEE BOULEVARD

CORPUS CHRISTI, TEXAS 78404

OFFICE: (361) 946-4848

TBPE FIRM No. F-12240

July 2020

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GENERAL DEVELOPMENT INFORMATION

The La Villa Hermosa Planned Unit Development (PUD) is a Master Planned Community that is located on South Navigation Boulevard between Agnes Street and Old Brownsville Road. The Master Planned Community will consist of a community center, recreational area, and parks for the residents of custom manufactured homes. The community will be managed by on-site management. The residents will own the custom home allowing for the residents to have opportunities for the future. The existing zoning is Light Industrial District and the proposed is to be a RS-4.5 with PUD as outlined within this document.

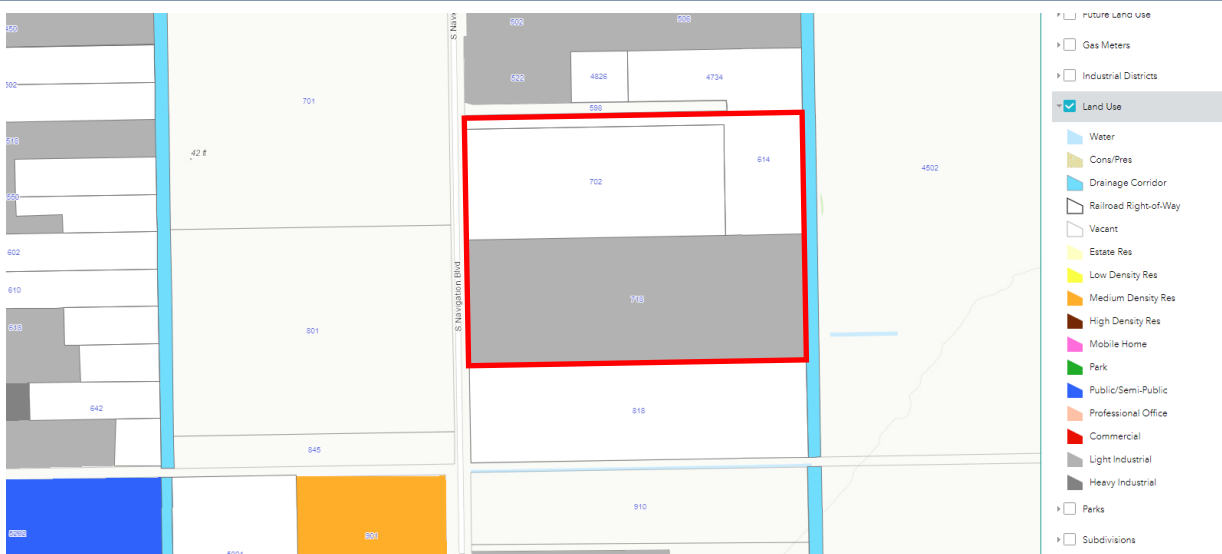
The development shall be in accordance with is the City of Corpus Christi Unified Development Code (UDC) with adoption date of April 2019 (hereinafter referred to as UDC) and modified by the PUD requirements as indicated herein.

DEVELOPMENT LOCATION MAP



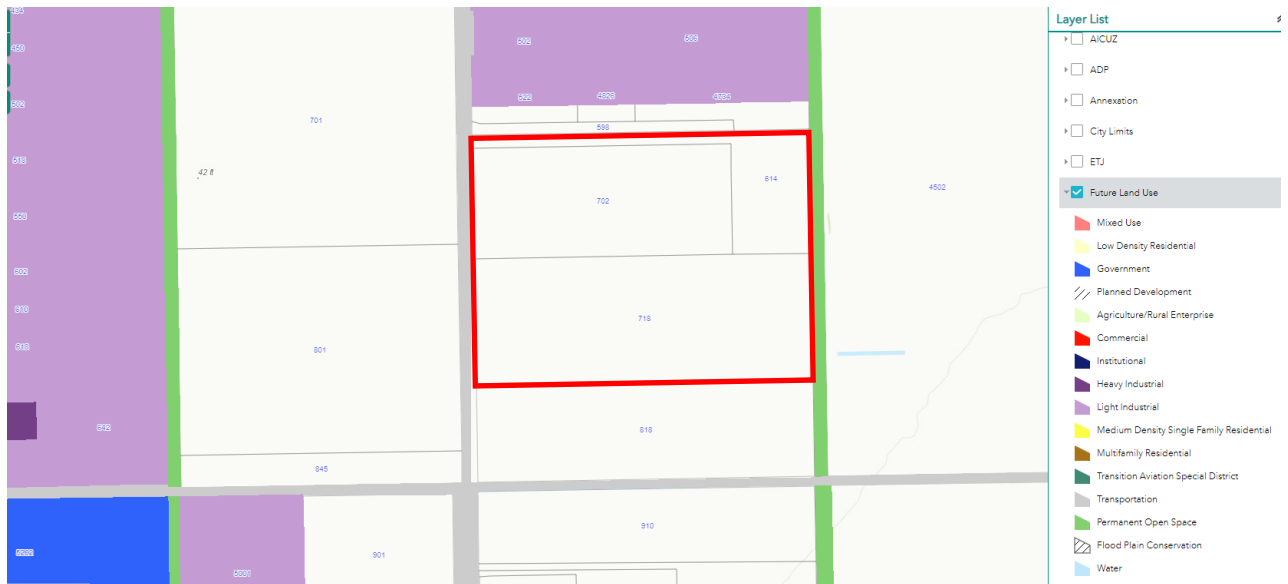
Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT LAND USE INFORMATION



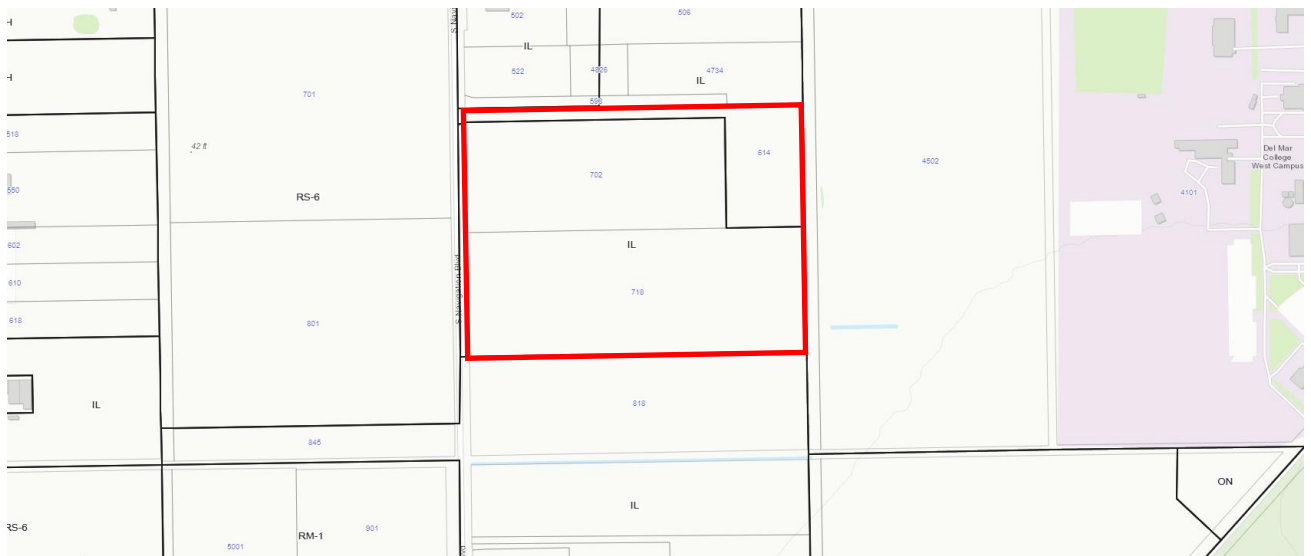
Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT FUTURE LAND USE INFORMATION



Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020.

ADJACENT ZONING INFORMATION



Note: This map is a selected portion from the City of Corpus Christi GIS map and obtained on 06/18/2020

AREA DEVELOPMENT PLAN INFORMATION

The development is located within the Westside Area Development Plan (ADP). The proposed development will provide the Westside ADP with additional affordable residential opportunity within the area and the development will include a community center, recreational park, and internal parks for the residents.

ADJACENT TRANSPORTATION AND CIRCULATION

The development is located on South Navigation Boulevard with 1,118-feet of street frontage. South Navigation Boulevard is classified as a Minor Arterial (A1) street with an existing street section consisting of 95-foot Right-of-Way, 26-feet paved, and is capable of handling approximately 1,600 Average Daily Trips (ADT).

UNIFIED DEVELOPMENT CODE AND MODIFICATIONS

This development shall be governed by the City of Corpus Christi Unified Development Code (UDC) with adoption date of April 2019 (hereinafter referred to as UDC) with the Base Zoning being RS-4.5 in accordance with Section Article 4 with the modifications as indicated as the PUD Requirements.

The deviations to the UDC will be based on Article 4: Base Zoning Districts and Article 6: Special Zoning Districts shall be modified as per the following to form the requirements of the PUD:

REQUIREMENT	UDC BASE ZONING REQUIREMENTS RS 4.5 SECTION 4.3.3	UDC BASE ZONING REQUIREMENTS MHS SECTION 6.1.1	PUD REQUIREMENTS
Maximum Density (Units / Gross Acre)	-	8	7.08
Minimum Site Area (Acre)	-	8	8
Minimum Site Width (Feet)	-	300	-
Minimum Lot Area (Square Feet)	4,500	4,500	Residential = 3,200 Other = 0
Minimum Lot Width (Feet)	45	-	Residential = 40 Other = 0
Minimum Yard (Feet) – Street	20	20	20
Minimum Yard (Feet) – Street Corner			
Back-to-Back	10	20	10
Back-to-Face	20	20	10
Minimum Yard (Feet) – Side Single	5	6	2
Minimum Yard (Feet) – Side Total	10	20	10
Minimum Yard (Feet) – Rear	5	10	5
Minimum Open Space (Percent of Total Unit)	30%	-	30%
Maximum Height (Feet)	35	35	35

The UDC Article 7: General Development Standards shall be modified as per the following:

REQUIREMENT	UDC REQUIREMENT	PUD REQUIREMENT
Section 7.1.7.A <i>Driveway Spacing</i>	<i>Residential driveways are limited to one per lot excepting that circular driveways are allowed provided that the frontage equals or exceeds 70' and all other parameters are met.</i>	Residential driveways are limited to three per lot provided that the frontage equals or exceeds 40'.
Section 7.1.7.D <i>Minimum Corner Clearance</i>	<i>Residential = 25 feet</i>	Residential = 0 feet
Section 7.1.7.E <i>Driveway Width and Curb Return Radii</i>	<i>Residential = 10 feet Minimum = 30 feet Maximum</i>	Residential = 10 feet Minimum = 60 feet Maximum
Section 7.1.7.F <i>Curb Return Radii or Flare Length</i>	<i>Residential = 3 feet Minimum = 10 feet Maximum</i>	Residential = 0 feet Minimum = 10 feet Maximum
Section 7.2.2.B <i>Off-Street Parking Ratio</i>	<p>Residential Lot: <i>Residential Use; Household Living; All Other Uses = 2 per unit</i></p> <p>Community Center Lot: <i>Commercial Uses; Office; All Uses = 2.4 per 1,000 SF GFA Urban</i></p> <p>Recreation Lot: <i>Commercial Uses, Outdoor Recreation, All other uses without fixed seating = 1 per 250 SF GFA</i></p> <p>Park Lot: <i>Public and Civic Uses; Parks and Open Area; Park, Plaza, Playground or Recreational Trail = 1 per 10,000 SF outdoor lot area</i></p> <p>Open Area Lot: <i>Public and Civic Uses; Parks and Open Area; Park, Plaza, Playground or Recreational Trail = 1 per 10,000 SF outdoor lot area</i></p>	<p>Residential Lot: 3 per unit</p> <p>Community Center and Recreation Lot: Community Center Building = 2.4 per 1,000 SF GFA Recreation Lot = 1 per 10,000 SF GFA</p> <p>Park Lot: 1 per 10,000 SF outdoor lot area within 200 feet of lot.</p> <p>Open Area Lot: None</p>

<i>Section 7.9.5 Zoning District Buffer Yard – New Development</i>	<i>Type D Buffer Yards shall consist of a minimum 20-foot wide buffer yard plus at least 20 points based on the points listed in the table</i>	Shall be 20-foot wide buffer and have a 7-foot height wood screening fence
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The UDC Article 8: Subdivision Design and Improvements shall be modified as per the following:

REQUIREMENT	UDC REQUIREMENT	PUD REQUIREMENT
<i>Section 8.2.1.B Street Right-of-Way Dimensional Standards</i>		
<i>Street Right-of-Way A</i>		
Local Street Section Type	<i>L-1C</i>	V1
Right-of-Way	<i>46-foot</i>	26-foot
Planting / Utility Area	<i>7-foot (Both Sides)</i>	0-foot
Street Section Width	<i>28-foot Back-to-Back</i>	20-foot Edge-to-Edge
Sidewalk Width	<i>4-foot</i>	5-foot
Tied Sidewalk	<i>Not Allowed</i>	Allowed
Sidewalk Both Sides	<i>No</i>	No
Thru Lane	<i>One</i>	One
Traffic Lane	<i>Two</i>	Two
Parking Lanes	<i>Two</i>	None
Design Speed (MPH)	<i>25</i>	15
<i>Street Right-of-Way B</i>		
Local Street Section Type	<i>L-1A</i>	V2
Right-of-Way	<i>50-foot</i>	60-foot
Planting / Utility Area	<i>6-foot (Both Sides)</i>	0-foot
Street Section Width	<i>28-foot Back-to-Back</i>	40-foot Back-to-Back
Sidewalk Width	<i>4-foot</i>	5-foot
Tied Sidewalk	<i>Not Allowed</i>	Allowed
Sidewalk Both Sides	<i>Yes</i>	No
Thru Lane	<i>One</i>	One
Traffic Lane	<i>Two</i>	Two
Parking Lanes	<i>Two</i>	Two
Design Speed (MPH)	<i>25</i>	25
<i>Section 8.2.1.D External Connectivity</i>		
<i>3. Divided Entrance</i>	<i>A divided entrance may be credited as two access points provided that the divided entrance shall consist of four travel lanes from the intersection with the public road system to the first intersection within the development.</i>	A widened entrance with striping that divides the entrance may be credited as two access points provided that the divided entrance shall consist of four travel lanes from the intersection with the public road system to the first intersection or controlled access point within the development.

<i>Section 8.2.1.E Street Layout</i>		
1. The arrangement, character, extent, width, and location of all streets.	<i>As Per UDC</i>	Waived
<i>Section 8.2.1.J Private Streets</i>		
5. Design Standards	<i>Shall be in accordance with Section 8.2.1</i>	Shall be in accordance with Section 8.2.1.J with the following modifications - Curb and Gutter are not required.
11. Open Space	<i>Shall meet dedication requirements in Section 8.3</i>	Shall be waived due to private park, recreational areas, and open space development and maintenance thereof.
<i>Section 8.2.2 Sidewalks</i>		
A. Required Improvements	<i>In accordance with Section 8.2.1.B</i>	Modified as per PUD Requirements and not required along existing streets.
<i>Section 8.2.3 Easements</i>		
A. Utility Easements	<i>As Per UDC</i>	Amended to include: Utility Easements along access easements shall be 10-foot in width when abutting to access easement.
B. Drainage Easements	<i>As Per UDC</i>	Utility Easements along rear of lots shall be a total of 10-foot unless adjacent lot contains a utility easement of 10-foot or greater. Amended to include: Private Drainage Easements shall be as required by the utility owner.
<i>Section 8.3 Public Open Space</i>		
8.3.5 Land Dedication	<i>As Per UDC</i>	Shall be waived due to private park, recreational areas, and open space development and maintenance thereof.
8.3.6 Fee in Lieu of Land	<i>As Per UDC</i>	
8.3.7 Park Development Fee	<i>As Per UDC</i>	

The Development shall follow the guidelines below:

DESCRIPTION	LOT TYPE
Residential Lots	A
	B
	C
Community Center and Recreation Lot	D
Open Area Lots	E
Park Lots	P1
	P2
Access Lot	V1
	V2

The Residential Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Residential
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	3
Maintenance	Lot Owner and/or Property Management Group
Improvements Allowed	Residential structure(s) and support structure(s) including but not limited to: decks, porches, carports, pavement(s), fencing, landscaping, utilities, etc.
Improvement Placement	Residential structure(s) and support structure(s) including decks, porches, etc. shall be located within the indicated buildable area. Pavement(s), fencing, landscaping, utilities, etc. can be located anywhere on the lot.
Rental	Daily, weekly, and monthly rentals as allowed by property management.

The Community Center and Recreation Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Structures and improvements supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	As per PUD
Maintenance	Property Management Group
Improvements Allowed	Residential, Non-Residential structure(s), and support structure(s) including but not limited to: decks,

	porches, pavement(s), fencing, recreational equipment, pool(s), landscaping, utilities, etc.
Improvement Placement	Residential, Non-Residential structure(s), and support structure(s) including decks, porches, pool(s), etc. shall be located within the indicated buildable area. Pavement(s), fencing, recreational equipment, landscaping, utilities, etc. can be located anywhere on the lot.
Rental	Daily, weekly, and monthly rentals as allowed by property management.

The Open Space Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Non-Residential Structures supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	None
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including, fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including fencing, landscaping, utilities, etc. can be located anywhere on the lot.

The Park Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Non-Residential Structures supporting the Community
Minimum Open Space (Percent)	30%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	As per PUD
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including, fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including fencing, landscaping, utilities, etc. can be located anywhere on the lot.

The Access Lots within the development shall follow the guidelines below:

DESCRIPTION	REQUIREMENT
Usage	Access for the Community
Minimum Open Space (Percent)	10%
Building Height – Maximum (Feet)	35
Building Spacing – Minimum (Feet)	10
Parking Requirement Per Unit	None
Maintenance	Property Management Group
Improvements Allowed	Non-Residential structure(s) and support structure(s) including but not limited to: access control building(s), pavement(s), fencing, landscaping, utilities, etc.
Improvement Placement	Non-Residential structure(s) and support structure(s) including access control building, pavement(s), fencing, landscaping, utilities, etc. can be located anywhere on the lot. Access control building may not reduce the vehicular accessibility width below requirements for Emergency Vehicular Access.

MASTER SITE PLAN

The master site plan for the development can be found within this document as **Exhibit A – Master Site Plan**.

SITE DEVELOPMENT PLAN

The layout of the streets, pedestrian accessibility, lot buildable area, and open space for the development can be found within this document as **Exhibit B – Site Development Plan**.

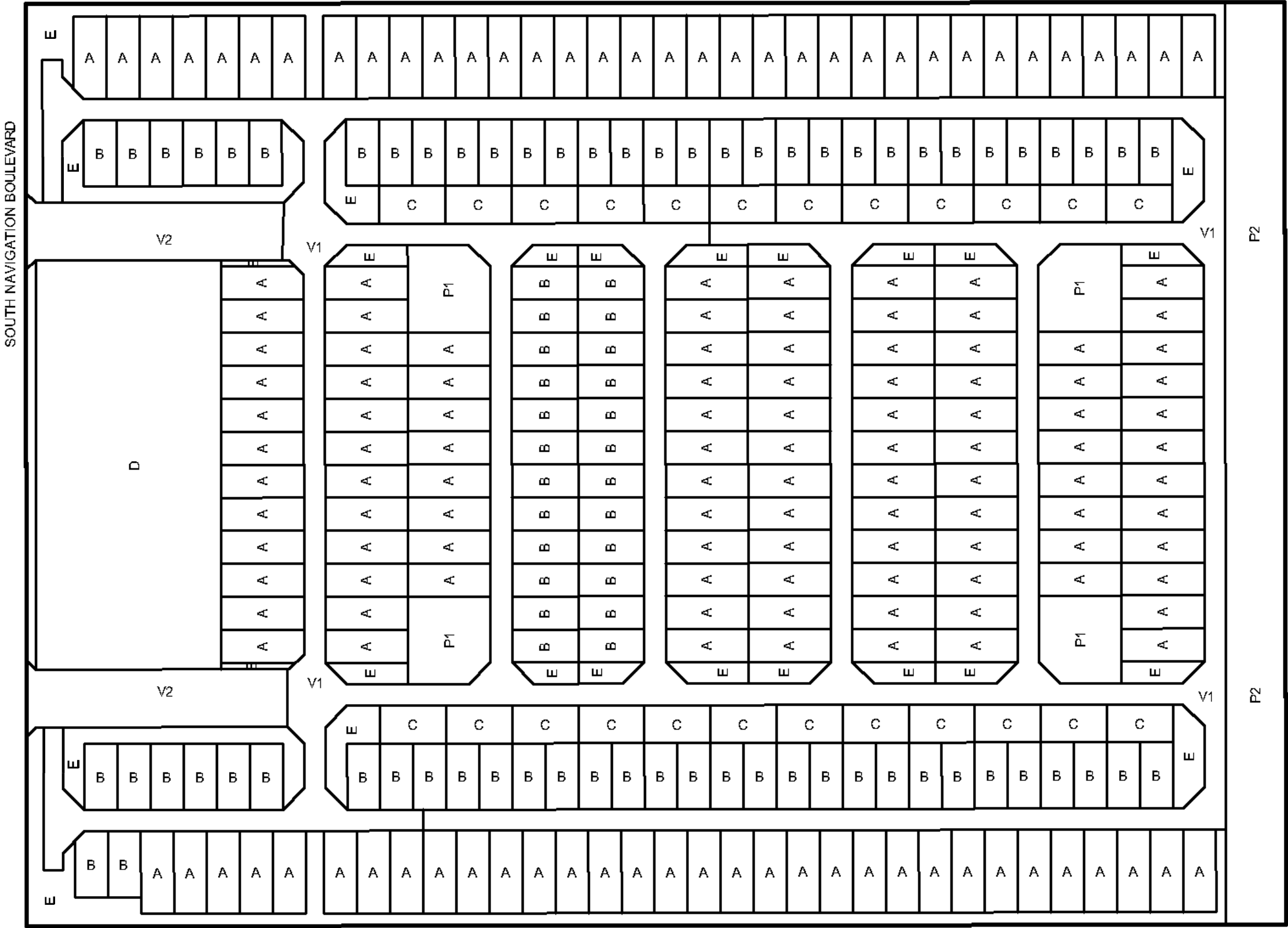
SITE SECTION VIEWS

The typical section views of the development can be found within this document as **Exhibit C – Site Section Views**.

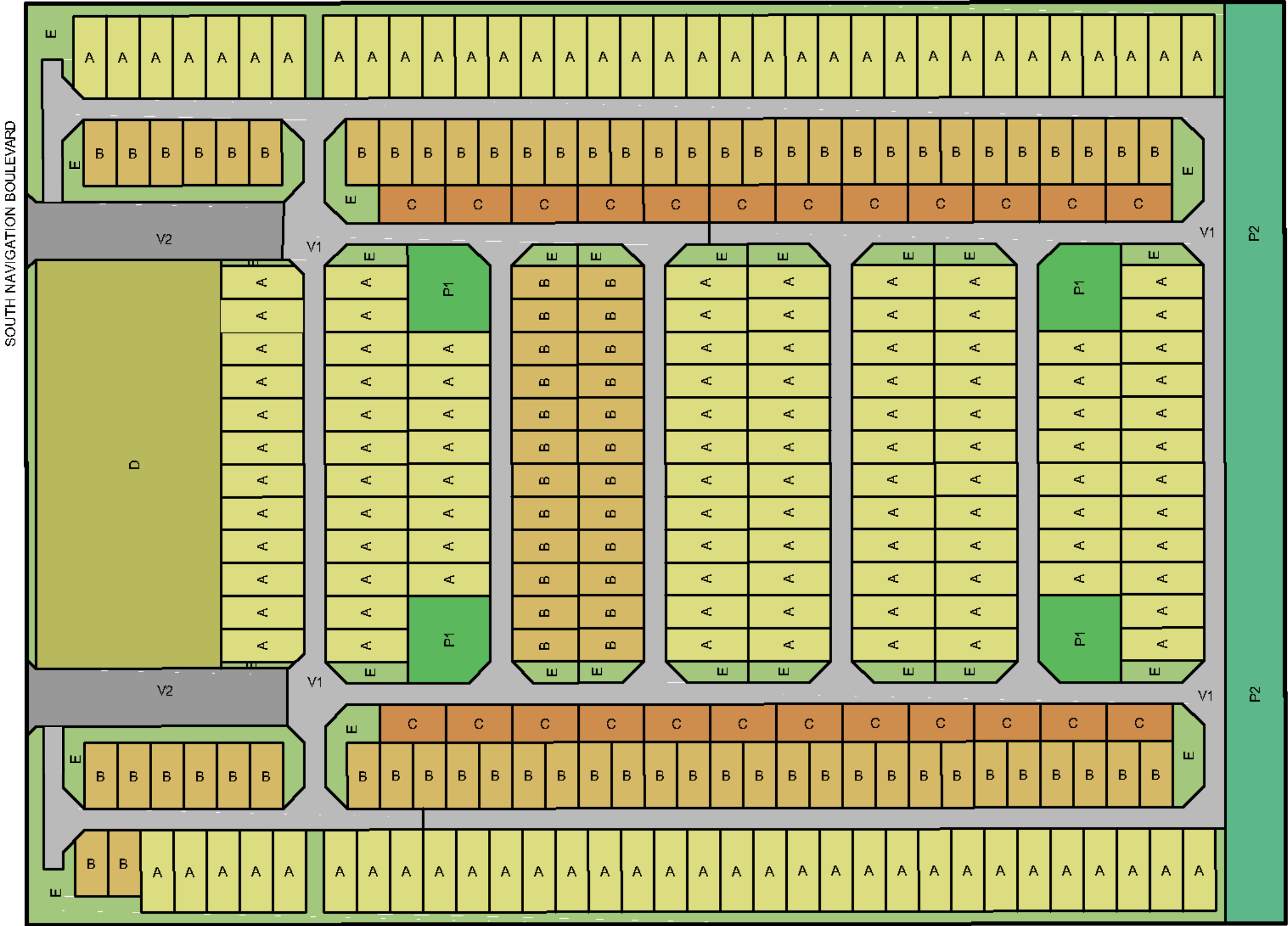
EXHIBIT A – MASTER SITE PLAN

EXHIBIT B – SITE DEVELOPMENT PLAN

EXHIBIT C – SITE SECTION VIEWS



LOT INFORMATION		
Lot Type	Total	Lot Type
A	166	Residential
B	88	Residential
C	24	Residential
D	1	Community Center and Recreation
E	27	Open Area
P1	4	Park
P2	1	Park
V1	4	Access
V2	2	Access
	317	

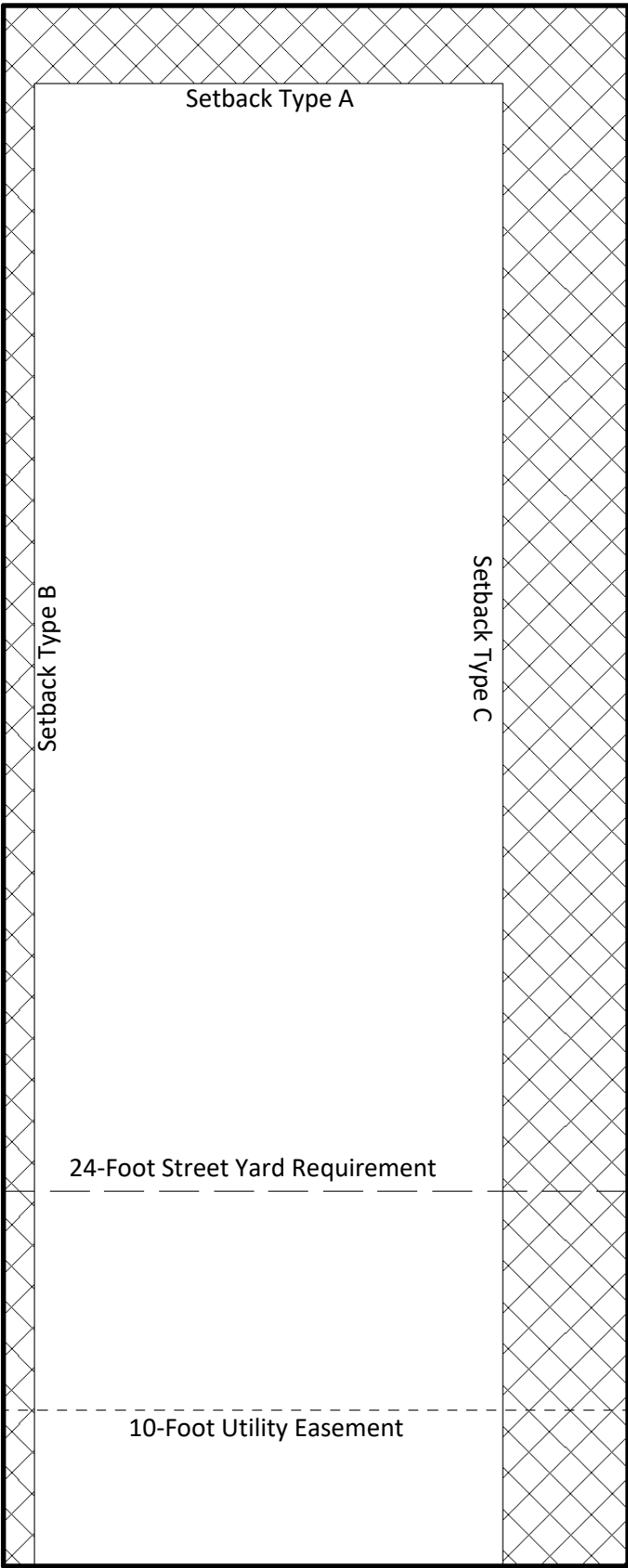


LOT INFORMATION		
Lot Type	Total	Total Square Feet (SFT)
A	167	667,806
B	86	275,200
C	24	88,233
D	1	104,601
E	27	152,753
P1	4	41,048
P2	1	81,261
V1	4	249,583
V2	2	43,981
	316	1,704,466

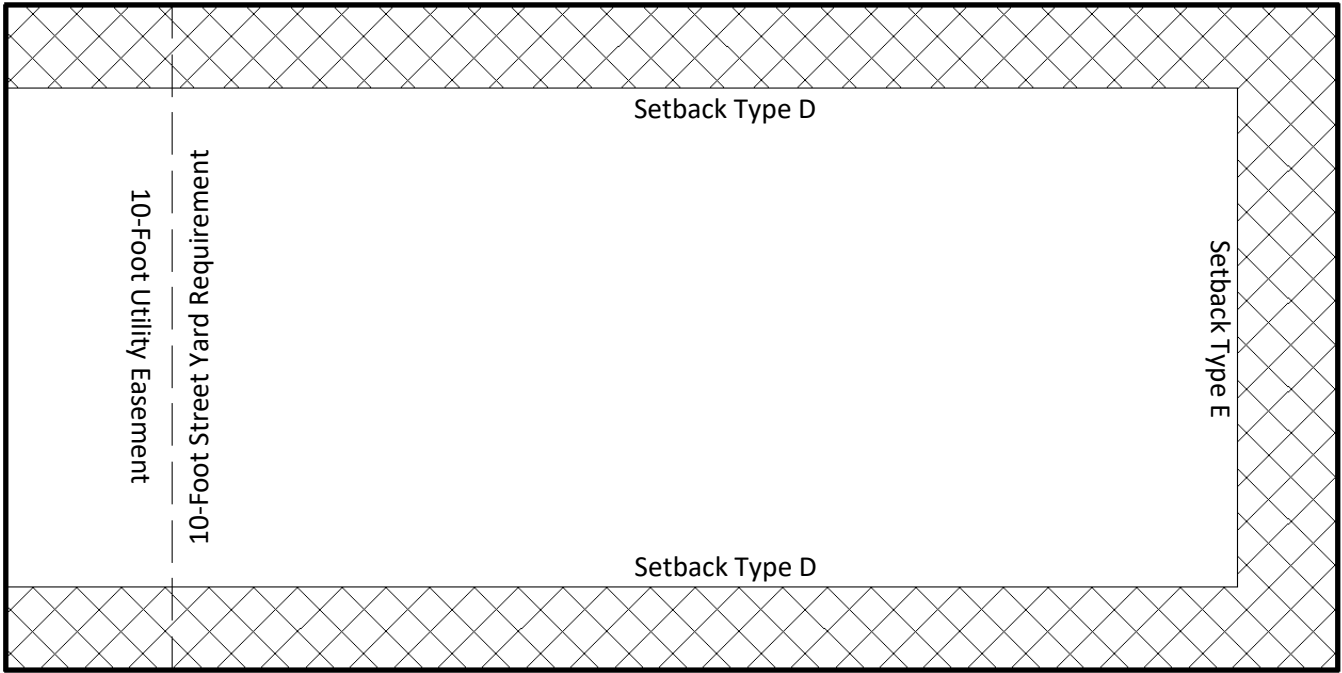
DEVELOPMENT INFORMATION	
Description	Total
Maximum Density (Units / Gross Acre)	7.08
Minimum Site Area (Acre)	39.129
Minimum Site Width (Feet)	1,117
Minimum Lot Area (Square Feet)	Residential = 3,200 Other = 26
Minimum Lot Width (Feet)	Residential = 40 Other = 18
Minimum Open Space (Percent of Total Unit)	Type A = 33% Type B = 30% Type C = 30% Type D = 45%
Minimum Open Space (Percent of Total Development)	33%

LEGEND

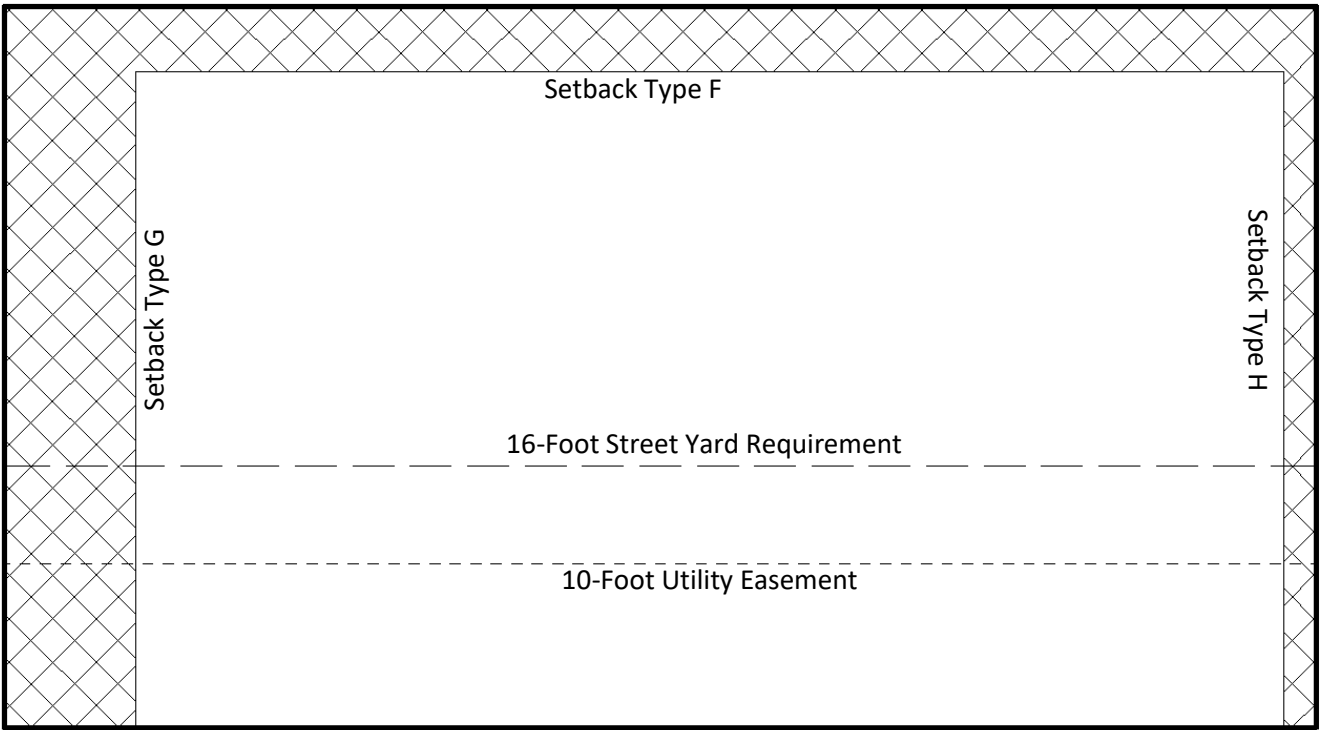
- LOT TYPE A
- LOT TYPE B
- LOT TYPE C
- LOT TYPE D
- LOT TYPE E
- LOT TYPE P1
- LOT TYPE P2
- LOT TYPE V1
- LOT TYPE V2



Typical Residential Lot Type A

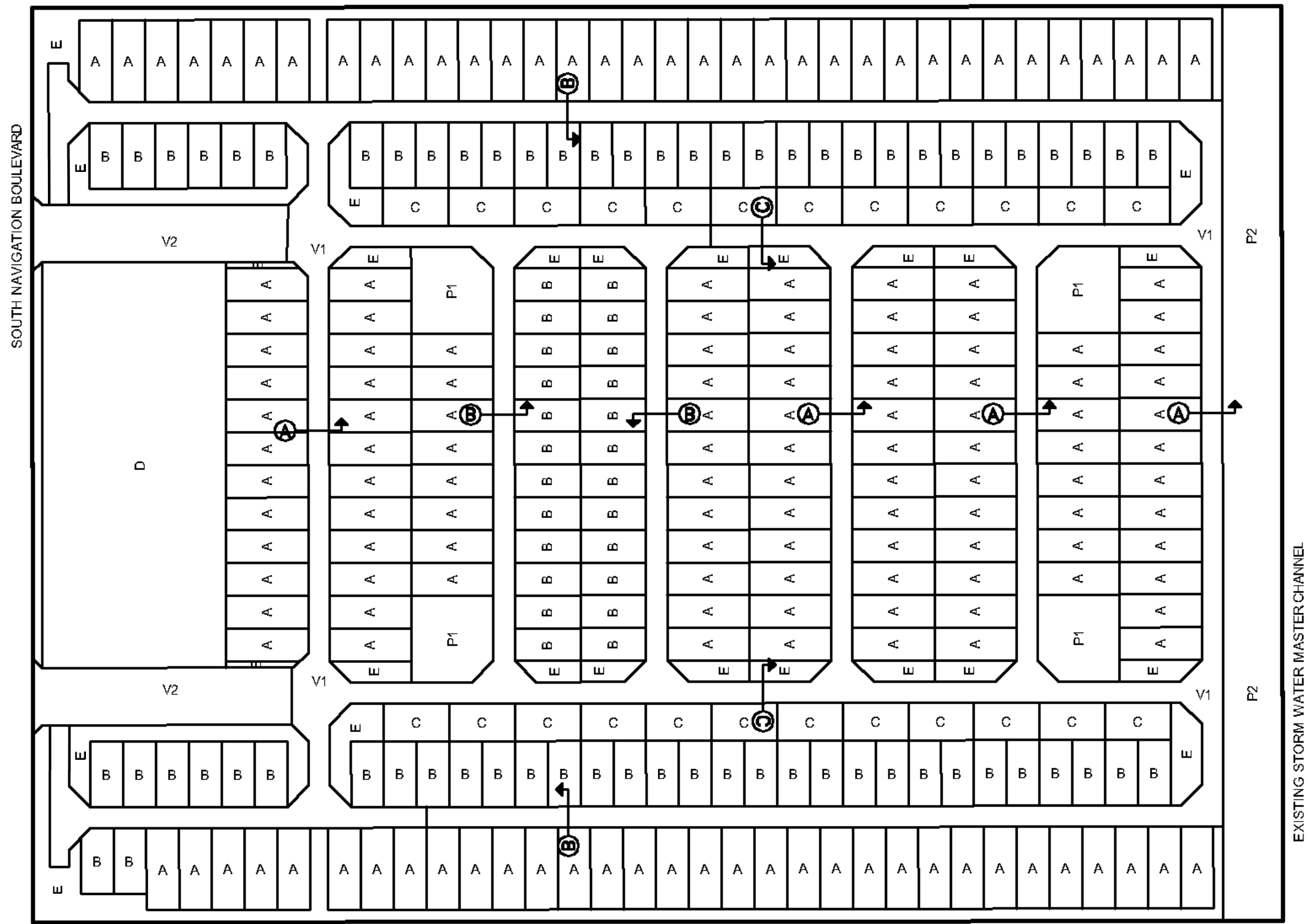


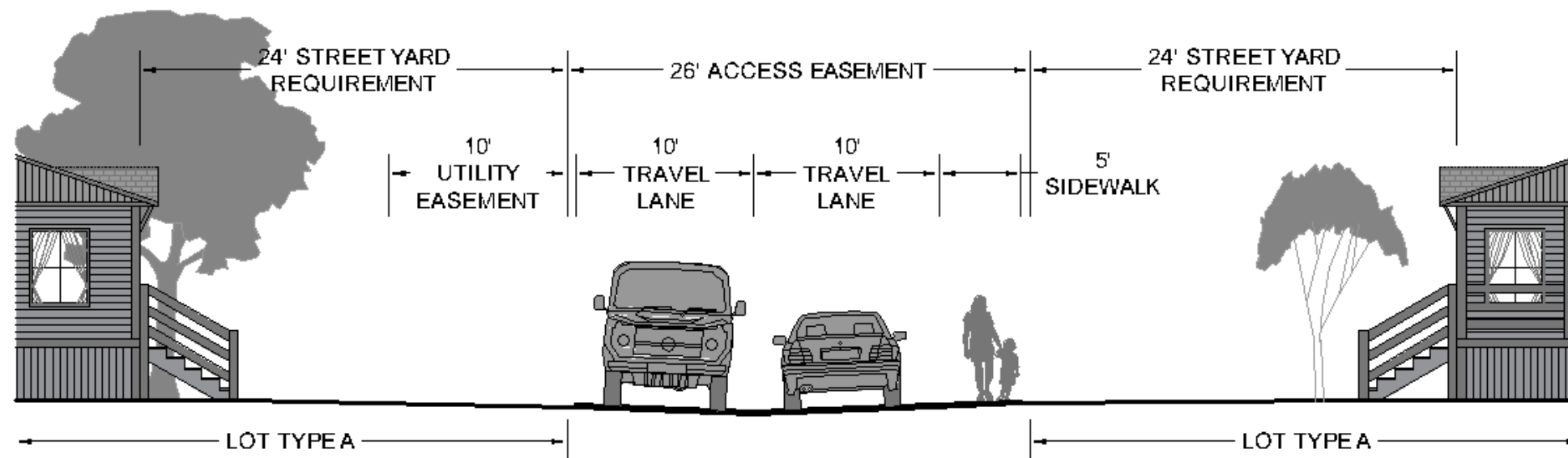
Typical Residential Lot Type B



Typical Residential Lot Type C

- Setback Types**
- Type A Setback – 5-foot for Home and Decks
 - Type B Setback – 2-foot for Home, Decks, and Carports. Must abut to a Setback Type C or Non-Buildable lot.
 - Type C Setback – 8-foot for Home, Decks, and Carports. Must abut to a Setback Type B or Type C or Non-Buildable lot.
 - Type D Setback – 5-foot for Home, Decks, and Carports. Must abut to a Setback Type D or Non-Buildable Lot.
 - Type E Setback – 6-foot for Home and Decks. Must abut a Setback Type E or Type F or Non-Buildable Lot.
 - Type F Setback – 4-foot for Home and Decks. Must abut a Setback Type E or Non-Buildable Lot.
 - Type G Setback – 8-foot for Home and Decks. Must abut a Setback Type D or Type H or Non-Buildable Lot.
 - Type H Setback – 2-foot for Home and Decks. Must abut a Setback Type G or Non-Buildable Lot.

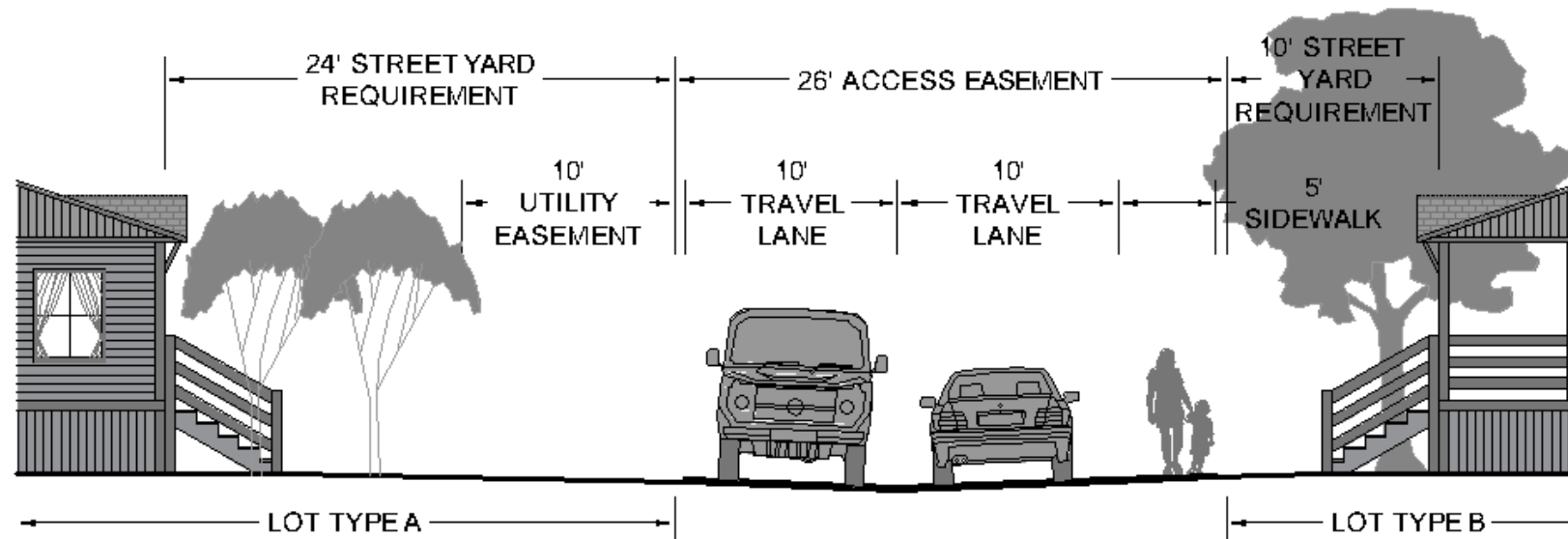




A TYPICAL SECTION A

NOT TO SCALE

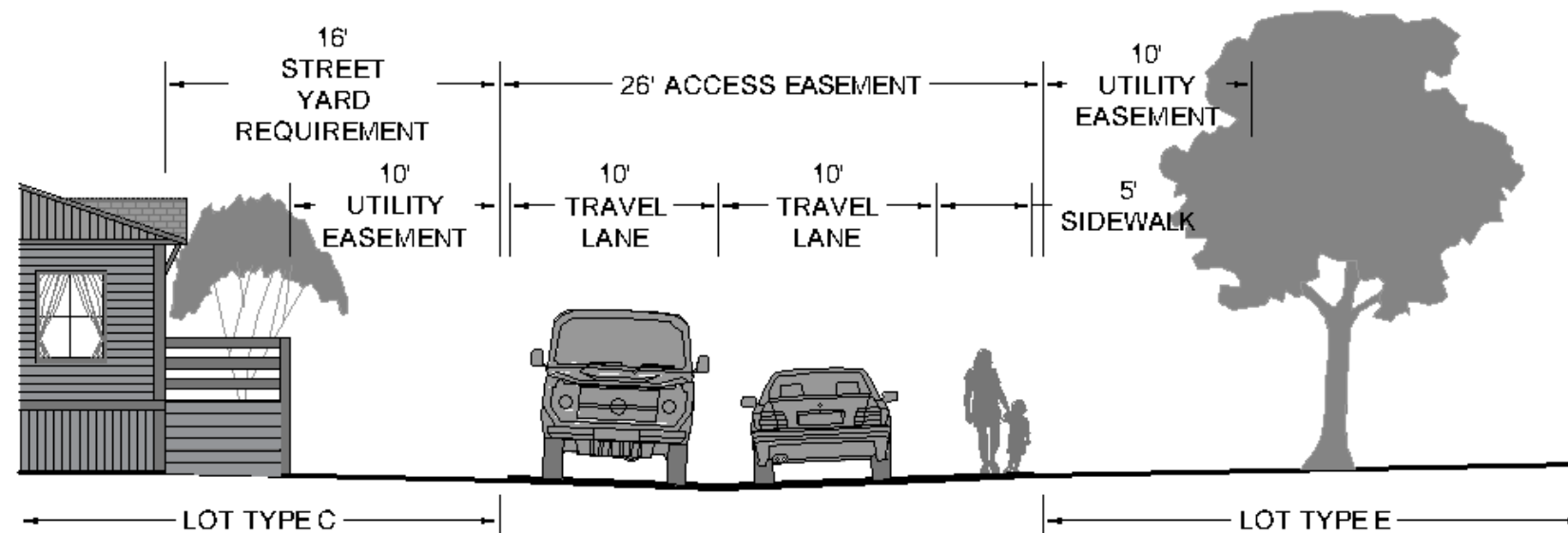
THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



B TYPICAL SECTION B

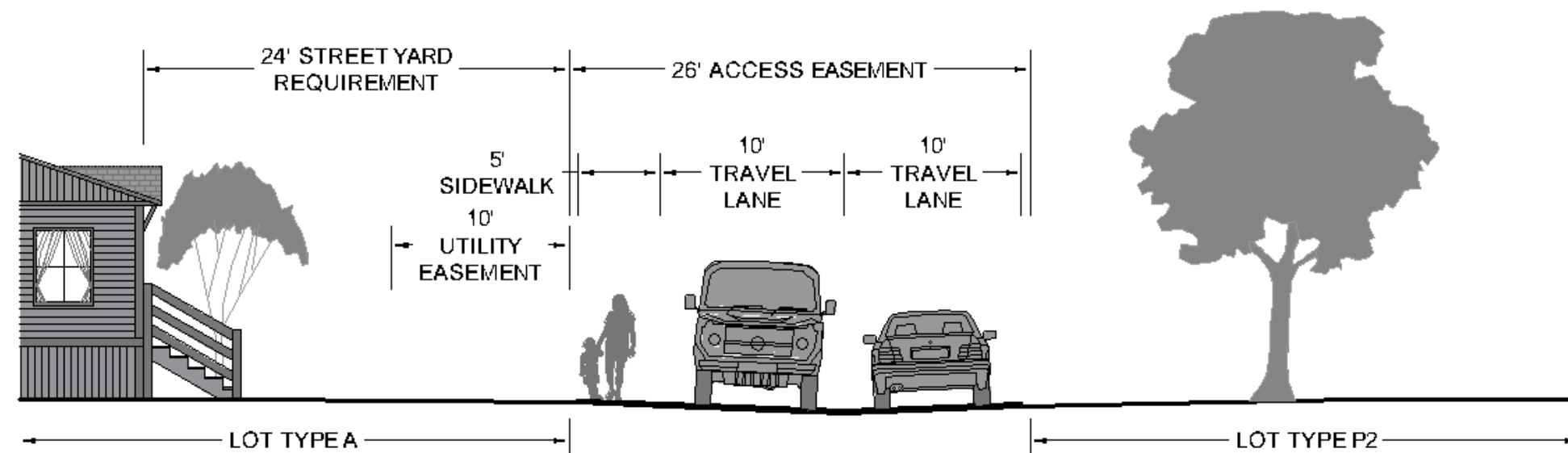
NOT TO SCALE

THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



C **TYPICAL SECTION C**
NOT TO SCALE

THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER



D **TYPICAL SECTION D**
NOT TO SCALE

THIS IS A REPRESENTATIVE SCHEMATIC SECTION ACTUAL MAY DIFFER