



# City of Corpus Christi

1201 Leopard Street  
Corpus Christi, TX 78401  
cctexas.com

## Meeting Agenda - Final

### Planning Commission

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Wednesday, January 11, 2023

5:30 PM

Council Chambers

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*The Planning Commission shall be responsible to and act as an advisory body to City Council; shall review and make recommendations to City Council regarding the adoption/implementation of a comprehensive plan; regarding all proposals to adopt/amend land development regulations for the purpose of establishing consistency with the comprehensive plan; regarding zoning or requests for zoning changes in a manner to insure consistency with the adopted comprehensive plan; regarding the City's annual capital budget and any capital improvement bond program. The Planning Commission also exercises control (approving body) over platting/subdividing land within the cooperate limits and the extraterritorial jurisdiction of the City in a manner to insure the consistency of all plats with the adopted comprehensive plan.*

**I. Call to Order, Roll Call**

**II. PUBLIC COMMENT: Citizens will be allowed to attend and make public comments in person at City Planning Commission meetings. The public is invited to speak on any agenda item and any other items that pertain to the Planning Commission. Comments are limited to three minutes. If you choose to speak during this period, you will not be allowed to speak again when the specific item is being considered in order of the agenda. Electronic media that you would like to use may only be introduced into the City system IF approved by the City's Information Technology (IT) Department at least 24 hours prior to the Meeting. Please contact IT at 826-3211 to coordinate.**

**III. Approval of Absences : Chairman Zarghouni and Commissioner Mandel**

**IV. Approval of Minutes**

**1. [23-0064](#) Regular Meeting Minutes of December 14, 2022**

**Attachments:** [Meeting Minutes 12.14.2022](#)

**V. Consent Public Hearing (Item A & B) : Discussion and Possible Action**

*NOTICE TO THE PUBLIC: The following Consent Public Hearing consists of items in which City Staff has given a recommendation of approval. The Planning Commission has been furnished with background and support material on each item. All items will be acted upon by one vote without being discussed separately unless a Commissioner has requested to pull a specific item for individual consideration. In any event, the item or items will immediately be withdrawn for individual consideration in its normal sequence after the items not requiring separate discussion have been acted upon. The remaining items will be acted upon by one vote.*

**A. Plats****2. [23-0106](#)**

22PL1059

GRAHAM ESTATES (PRELIMINARY PLAT - 20 ACRES)

Located west of Graham and Waldron Road

**Attachments:** [CoverPg Graham Estates 01.11.23 MTG](#)[22PL1059 Graham Estates.R2](#)[200030 - GRAHAM ESTATES - PRELIM PLAT](#)**3. [23-0114](#)**

22PL1174

CHAMBERLIN'S SUBDIVISION BLOCK 8 LOT 1R (REPLAT - .25 ACRES)

Located north of Agnes St. and east of King St.

**Attachments:** [CoverPg Chamberlin's Sub 01.11.23 MTG](#)[Copy of ChamberlinSubTRCCommentsR1](#)[CHAMBERLIN'S SUBDIVISION BLOCK 8, LOT 1R-R1](#)**Plat with a Variance (Waiver)****4. [23-0100](#)**

22PL1166

SMT CORPUS LOKEY SUBDIVISION LOT 2 TRACT A & B (7.07 - ACRES)

Located north of Holly Rd. and east of Staples

**Attachments:** [CoverPg SMT Corpus 01.11.23 MTG](#)[TRC Comment Resolution - SMT Corpus - 12.06.22R1](#)[Plat - SMT Corpus - 12.06.2022 \(1\)](#)**5. [23-0101](#)****22PL1166 - Wastewater Waiver**SMT CORPUS LOKEY SUBDIVISION LOT 2 TRACT A & B (7.07 - ACRES)

Located north of Holly Rd. and east of Staples

**Attachments:** [22PL1166 SMT Corpus LLC](#)[22PL1166 SMT Presentation](#)

**B. New Zoning****6. [23-0108](#) Public Hearing - Rezoning a property located at or near 3104 South Alameda Street**

Case No. 0123-01 Bella Holdings, LLC: Ordinance rezoning a property located along the east side of South Alameda Street, north of Glazebrook Street, and south of Mc Call Street, from the "ON" Neighborhood Office District to the "CN-1" Neighborhood Commercial District.

**Attachments:** [Zoning Report 0123-01 Bella Holdings](#)  
[PC Presentation 0123-01 Bella Holdings](#)

**VI. Director's Report****VII. Future Agenda Items****VIII. Adjournment**

**Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact Gina Trotter, at 361-826-3562 or [ginat@cctexas.com](mailto:ginat@cctexas.com), no later than 48 hours prior to this meeting so that appropriate arrangements can be made.**



# City of Corpus Christi

1201 Leopard Street  
Corpus Christi, TX 78401  
cctexas.com

## Meeting Minutes Planning Commission

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Wednesday, December 14, 2022

5:30 PM

Council Chambers

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### I. Call to Order, Roll Call

The meeting was called to order by Vice Chairman Miller at 5:30 p.m. A quorum was present with Chairman Zarghouni and Commissioner Mandel absent.

### II. PUBLIC COMMENT: NONE

### III. Approval of Absences : NONE

### IV. Approval of Minutes

#### 1. [22-2075](#) Regular Meeting Minutes of November 30, 2022

A motion was made by Commissioner Munoz to approve the minutes listed above and it was seconded by Commissioner Salazar-Garza. The motion passed

### V. Consent Public Hearing (Items A & B) : Discussion and Possible Action

Andrew Dimas, Development Services, read the Constant agenda into record new plats items "2 through 5" and items "6 through 7" new zoning. The plats and zoning satisfy all requirements of the Unified Development Code (UDC)/State Law, and the Technical Review Committee (TRC) staff recommends approval. After Staff's presentation, Vice Chairman Miller opened the public hearing. With no one coming forward, the public hearing was closed. Commissioner York made a motion to approve the Consent Agenda items "2 through 7" as presented by staff and was seconded by Commissioner Motaghi. The motion passed.

#### A. Plats

2. [23-0003](#) 21PL1004 - CONDITIONAL  
LA COSTA CENTER UNIT 1, BLOCK 1, LOTS 17-A1, 17-A2, & 17-A-3  
(FINAL - 1.35 ACRES)  
Located east of South Staples Street and north of Wooldridge Road.
3. [22-2112](#) 22PL1104  
BRONX ACRES (FINAL PLAT - 16.84 ACRES)  
Located north of Yorktown Blvd, on Lipes Boulevard, west of Bronx Avenue.

4. [22-2009](#) 22PL1037 - CONDITIONAL  
LONDON RANCH ESTATES - (OCL PRELIMINARY PLAT 87.08 ACRES)  
Located on County Road 22, between County Road 51 and County Road 49

**Plat with a Variance (Waiver)**

5. [22-2113](#) 22PL1080 - WASTEWATER CONSTRUCTION  
PRELIMINARY PLAT OF RAMFIELD ESTATES (PRELIMINARY - 35.954 ACRES)  
Located east of Roscher Road and north of Ramfield Road.

**B. New Zoning**

6. [23-0001](#) Public Hearing - Rezoning Properties at or near 802 Naval Air Station Drive

Case No. 1222-01 ADR Investments: Ordinance rezoning properties at or near 802 Naval Air Station Drive, located at the southeast corner of Naval Air Station Drive and Claride Street, from the "CG-1" General Commercial District to the "CG-1/SP" General Commercial District with a Special Permit.

7. [23-0002](#) Public Hearing - Rezoning Properties at or near 936 Waldron Road

Case No. 1222-02 ADR Investments: Ordinance rezoning properties at or near 936 Waldron Road, located along the west side of Waldron Road, and north of Fawn Drive, from the "CG-1" General Commercial District to the "CG-1/SP" General Commercial District with a Special Permit.

**VI. Presentation and Q & A**

8. [22-2076](#) Unified Development Code Update - Zoning  
Suggestions from the Public available through  
<https://www.youtube.com/user/CCTVCorpusChristi>  
<https://www.facebook.com/citygov>

Nina Nixon-Mendez, Assistant Director, introduced the presentation on the Unified Development Code update into record, presented by the consultant Camiros Ltd. Open houses sessions have been hosted, and tonight's presentation is being broadcasted on Facebook and hope to receive comments from the online community. After the introduction the presentation began presented by Camiros Ltd.

A review and update of the Unified Development Code is warranted. In 2011, the City of Corpus Christi's Unified Development Code was adopted and since has been

periodically amended. The Unified Development Code was developed by a consultant and subsequent changes in language were provided by several community groups. In 2019, an evaluation of the UDC was presented to City Council, based on significant stakeholder engagement, which provided detailed information and guidance on warranted amendments. In 2019-2022 staff brought forward minor amendments based on report recommendations as well as state mandates. In August 2021, the City contracted with Camiros Ltd. to assist with the update of the Unified Development Code and to address major revisions. Provisions of the code being addressed are zoning, overlay and special districts, off-street parking, tree planting, landscaping and buffers, subdivision, and traffic impact analysis. The specific scope of work included:

#### Zoning

- Reorganize/consolidate zoning districts and consolidate tables. Assign logical acronyms (UDC, Chapters 4 and 5). Correct contradicting language.
- Assess/Revise overlay district and special districts in Chapter 6, and Sections 7.11 and 7.12 to determine if use patterns by right could be applied in the base zoning without the necessity of the overlay district or through target districts and develop appropriate revisions. Assess/Update Two-Family and Townhome sections in UDC Section 4.4. similar to use pattern application.
- Review/revise off-street parking, loading, and stacking, residential and commercial landscaping (xeriscape), and buffer yard provisions in UDC Chapter 7.
- Provide guidance regarding any zoning map changes needed that may result resulting from the UDC update; provide disposition tables of any reclassified districts showing district conversions.

#### Subdivision

- Review/update subdivision provisions in UDC, Chapter 8 to address best management practices that are not currently included in the UDC. In particular, the following will be addressed/updated: neighborhood connectivity, substandard streets/sidewalks, right-of-way dedication/construction for existing and future local streets and Urban Transportation Plan streets that accommodate multi-modal users, half streets/cash in lieu consideration, street cross sections, street configuration, development patterns (rural, suburban, urban), access, traffic calming toolbox/strategies, stormwater, sodding, and low impact development design.

#### Traffic Impact

- Review/update traffic impact analysis and rough proportionality in UDC Chapters 3.9 and 3.29.

#### Stakeholder Engagement

In fall 2021, Camiros Ltd. conducted stakeholder and technical staff interviews. In 2022, initial drafts were prepared for zoning development standards, and reviewed by the Development Services Technical Advisory Group, Downtown Management

District, and Island stakeholders. The update includes a review of selected provisions and drafting of the proposed amendments to ensure the overall code is consistent with the proposed amendments. Drafting and review of the subdivision and traffic impact provisions for public presentation will begin in 2023.

After the presentation was concluded the floor was open for Commissioner's comments/questions. Commissioner York asked as far as the zoning changes most of them are being combined, some with names changes, and then their are new ones, so how does this work. Staffed answered, there would be a disposition table that will assign the district and the zoning will be transferred to or changed. When it's a new district like the residential professional or mixed used district how is the city going to initiate those changes based on the Plan CC Area Development Plan or how will that work. Camiros Ltd., answered in that the case the only new district that does not have equivalent is the Residential Professional District, and if the opportunity arises the applicant will come forth and ask for it, there is not a lot of proactive rezoning to this district type. Commissioner York added some suggestions, is the Commercial Compatible district needed since the Military Overlay is in place, can it be handled by buffer zones. Discussion continued between the Commissioners and staff. After Staff clarified Commissioner questions, the public hearing was opened. Judy Telge (3554 Santa Fe Street) her concern is the need for affordable housing and accessible housing, when she looks at the updates of the codes, her main concerns that she looks for is this going to promote or help promote or is this going to decrease the opportunities to build in terms of housing stocks. She wants to make sure that ADU's are allowed, she feels they should be allowed in the community. With no one else coming forward, the public hearing was closed. Discussion concluded between the Commissioners and staff.

## **VII. Public Hearing (Item C): Discussion and Possible Action**

### **C. Plat with a Variance (Waiver)**

9. [22-2072](#) 22PL1139  
DON PATRICIO, BLOCK F, LOT 47R (REPLAT - 0.985 ACRES)  
Located south of Don Patricio Road between Flour Bluff Drive and Waldron Road
10. [22-2073](#) **22PL1139 - STREET AND SIDEWALK CONSTRUCTION**  
DON PATRICIO, BLOCK F, LOT 47R (REPLAT - 0.985 ACRES)  
Located south of Don Patricio Road between Flour Bluff Drive and Waldron Road
11. [22-2074](#) **22PL1139 - WASTEWATER CONSTRUCTION**  
DON PATRICIO, BLOCK F, LOT 47R (REPLAT - 0.985 ACRES)  
Located south of Don Patricio Road between Flour Bluff Drive and Waldron Road

Nina Nixon-Mendez, Assistant Director read items “9 through 11” for the record as shown above. Bria Whitmire Development Services Engineer presented item “10”. The subject property, known as the proposed Don Patricio Addition Block F Lot 47R, 0.919 acres located south of Don Patricio Road, east of Poplar Avenue which is an undeveloped street. The land is zoned “RS-6” District. The original subdivision was approved by the Commissioners Court of Nueces County and recorded in 1941. The City of Corpus Christi annexed the area in 1961. The current lot is vacant and is missing 147’ of sidewalk across Don Patricio Road but has all the utilities. Don Patricio is a C1 Collector Street in the Urban Transportation Plan. Poplar Avenue is an undeveloped street and is missing the corresponding 300’ of street, sidewalk, water, wastewater, and storm infrastructure. This plat waiver request is for the construction of the 147’ of sidewalk along Don Patricio Road and the construction of 300’ of street and the related infrastructure along Poplar Avenue.

**STAFF ANALYSIS and FINDINGS:**

UDC Sections 8.1.4 and 8.2.1 requires construction of streets as part of the platting process.

UDC Sections 8.1.4 and 8.2.2 require construction of sidewalk as part of the platting process.

UDC Sections 3.30.1 and 8.1.4 require construction of sidewalk as part of the platting process.

Don Patricio Addition Block F Lot 47R (Replat) Request for a plat waiver for street and sidewalk construction in Sections 3.30.1, 8.1.4 and 8.2.2 of the Unified Development Code, Planning Commission Meeting of December 14, 2022. The UDC also states, under Section 8.2.2.B.1, that a waiver may be granted, in accordance with the waiver procedure in Section 3.8.3.D: The waiver may be approved, approved with conditions, or denied after consideration of the following factors:

1. The granting of the waiver shall not be detrimental to the public health, safety or general welfare, or be injurious to other property in the area, or to the City in administering this Unified Development Code;
2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity.
3. Application of a provision of this Unified Development Code will render subdivision of land unfeasible; or
4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of this Unified Development Code.

The enumerated conditions in UDC 3.8.3.D for a sidewalk waiver are not fully met on this subject property. Further UDC Section 8.2.2.C allows for Administrative Exemptions for sidewalk construction for residential lots that meet certain provisions; however, since the property fronts on a street that is listed on the MobilityCCPlan and as a Collector on the Transportation Plan it does not qualify for an exception:

8.2.2.C An administrative exception may be granted to the standard in paragraph



8.2.2.A only when the following conditions are met:

1. Sidewalks shall not be required along each side of a street right-of-way where such street is a permanent dead-end street and where there is pedestrian access from the permanent dead-end street to a paved hike and bike trail. In such instance, a sidewalk only shall be required on one side of the street right-of-way, or
2. Sidewalks shall not be required along street rights-of-way where each lot fronting on such street has direct access from the side or rear to a paved hike and bike trail, or
3. The lot is a minimum of 22,000 square feet and zoned Farm Rural or, Residential Estate, or
4. Sidewalks adjacent to private streets may be allowed to be placed on only one side of the street if the sidewalk width is 6 feet or greater, or
5. Sidewalk construction is not required if all the following conditions are met:
  - a. The lot does not front on, and is not adjacent to, a right-of-way, street, alignment, or corridor that is designated on:
    - i. The Urban Transportation Plan (UTP) or Thoroughfare Plan or has a right-of-way width greater than 50 feet, or
    - ii. the Mobility CC Plan, including the Trails Master Plan (HikeBikeCC) and the ADA Master Plan.
    - iii. the Corpus Christi Metropolitan Planning Organization's (MPO) Strategic Plan for Active Mobility, or
    - iv. any other plan that designates sidewalks or active transportation improvements.
  - b. The lot is zoned Farm Rural, Residential Estate or Single-Family Residential RS-4.5, RS-6, RS-10, RS-15, RS-22, or Single Family Residential Two Family (RS-TF);
  - c. There are no existing or planned sidewalks on adjacent lots;
  - d. At least 75% of the block face (lots fronting on the same side of the street as the subject plat) is improved, as measured by the number of lots, or, by the linear footage of the block face, and does not have sidewalks.

Factors in Support of the waiver request for street and sidewalk construction:

The applicant states that they do not believe the street and sidewalk construction should be required for the following reasons:

1. The proposed street known as Popular Avenue is considered a "Paper Street" since the plat of the subdivision that indicates street was filed and recorded on May 10, 1941.
2. The street would be a dead-end street that would not be extended, of which is evident since the proposed street was platted 79-years ago and has not been constructed.
3. The adjacent property, known as Don Patricio Lot 1R, Block G, and abutting the westside of Popular Avenue (also known as a "Paper Street") was platted through the City of Corpus Christi, with approval of the plat by the City of Corpus Christi Planning Commission on July 27, 2016, Development Services approval on May 23, 2017, and filed for recording by the City of Corpus Christi at Nueces County on June 2, 2017. The filed plat indicates that the City of Corpus Christi acknowledged that a street was

to be there by requiring a 5-foot street dedication, however, no construction was required, or payment of anticipated costs were required. This action indicates that the City of Corpus Christi at that time determined that there was no need for the road known as Poplar Avenue to be constructed.

4. The adjacent property towards the east, known as Don Patricio Lot 1A, Block F, and fronting Don Patricio Road was platted through the City of Corpus Christi, with approval of the plat by the City of Corpus Christi Planning Commission on August 1, 2012, Development Services approval on January 25, 2013, and filed for recording by the City of Corpus Christi at Nueces County on January 30, 2013. The filed plat indicates that the City of Corpus Christi acknowledged that sidewalk construction was not required as part of the platting process.
5. The waiver will not affect the current or future right-of-way required.
6. The area is not located on any transit stops or transportation plan.
7. The comprehensive plan will not be substantially affected.
8. There are no sidewalks along the street along the adjacent properties.
9. The existing street is a rural street section.
10. Waiver of sidewalk will not affect the adjacent property in a manner to restrict or render unfeasible.
11. Not providing the street will not be detrimental to the public health, safety, or general welfare within or adjacent to the subdivision.

Factors Against the waiver request for street and sidewalk construction:

1. The construction of Poplar Avenue will encourage development in the adjacent lots on Poplar Avenue. The total length of the of Poplar Avenue is 1,290' and it could potentially help with the development of 42 undeveloped lots that have no access due the lack of a street.
2. Not building Poplar Avenue south of Don Patricio would landlock the neighboring lots to the south. These lots are bordered on the south end by another undeveloped road called Division Rd. Developing Poplar would better allow for the development of Division Rd. and the build out of Poplar Avenue.
3. Granting of the waiver would affect the feasibility of development on adjacent lots.
4. The water and wastewater line construction along Poplar Avenue are necessary in order to develop the rest of the vacant lots on Poplar Avenue and to meet the provisions of the UDC for continuity of services.
5. The examples customer cites as previous replats on Poplar Avenue is not recent. The property on the left had the plat approved in 2016, that is 6 years ago. The waiver requested a sewer septic tank variance not the street. The street requirement seems to have been overlooked during the platting process.
6. Building a sidewalk is part of the platting requirement. Sidewalk construction would start a sidewalk network that could be expanded with future development. Poplar Avenue connects with Don Patricio which is a C1 Collector on the Urban Transportation Plan. Staff recommends Disapproval of the waiver request for the construction of a street and sidewalk.

Bria Whitmire, Development Services Engineer presented item "11" a request for a plat waiver for wastewater construction. The subject property, known as the proposed

Don Patricio Addition Block F Lot 47R, 0.919 acres, located south of Don Patricio Road, east of Poplar Avenue which is an undeveloped street. The land is zoned "RS-6" District. The original subdivision was approved by the Commissioners Court of Nueces County and recorded in 1941. The City of Corpus Christi annexed the area in 1961. The current lot is vacant and is missing 147' of sidewalk across Don Patricio Road but has all the utilities. Don Patricio is a C1 Collector Street in the Urban Transportation Plan. Poplar Avenue is an undeveloped street and is missing the corresponding 300' of street, sidewalk, water, wastewater, and storm infrastructure. This plat waiver request is a variance to connect to the wastewater infrastructure and use a septic tank instead.

On April 29, 2020, the Planning Commission denied a request for a waiver of the plat requirement to construct wastewater infrastructure under Section 8.2.7.A of the Unified Development Code (UDC). The conditions in UDC 3.30.1.A requires installation of improvements, or financial guarantee, during platting. The conditions in UDC 3.30.2.C requires improvements include sanitary sewage disposal. UDC Section 8.1.4 and 8.2.7 requires construction of a wastewater line as part of the platting process as long there is an existing collection line of adequate capacity within 1,000 ft. of the property. The conditions in UDC 8.2.7 requires that every lot within a proposed subdivision shall be provided with access to an approved wastewater collection treatment system of sufficient capacity as determined by adopted City wastewater standards and master plans. The UDC also states, under Section 8.2.2.B.1, that a waiver may be granted, in accordance with the waiver procedure in Section 3.8.3.D: The waiver may be approved, approved with conditions, or denied after consideration of the following factors:

1. The granting of the waiver shall not be detrimental to the public health, safety or general welfare, or be injurious to other property in the area, or to the City in administering this Unified Development Code;
2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity.
3. Application of a provision of this Unified Development Code will render subdivision of land unfeasible; or
4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of this Unified Development Code.

Factors in Support of the waiver request for the wastewater construction:

1. The adjacent property towards the west (right), known as Don Patricio Lot 1R, Block G, and fronting Don Patricio Road and abutting the westside of Poplar Avenue was platted through the City of Corpus Christi, with approval of the plat by the City of Corpus Christi Planning Commission on July 27, 2016, Development Services approval on May 23, 2017, and filed for recording by the City of Corpus Christi at Nueces County on June 2, 2017. The filed plat indicates that the City of Corpus Christi acknowledged that wastewater infrastructure construction was not required as part of the platting process. The residential structure was constructed in 2015 with on-site sanitary sewer facility.

2. The adjacent property towards the east (left), known as Don Patricio Lot 1A, Block F, and fronting Don Patricio Road was platted through the City of Corpus Christi, with approval of the plat by the City of Corpus Christi Planning Commission on August 1, 2012, Development Services approval on January 25, 2013, and filed for recording by the City of Corpus Christi at Nueces County on January 30, 2013. The filed plat indicates that the City of Corpus Christi acknowledged that wastewater infrastructure construction was not required as part of the platting process. The residential structure was constructed in 2017 with on-site sanitary sewer facility.
3. The cost estimate of the wastewater is disproportional to the cost of developing the property

Factors Against the waiver request for wastewater construction:

1. There is an existing wastewater manhole 775' to the right on Don Patricio with a depth of 6.75' that they can connect. There is also a manhole on Sandy Way 730' to the left with a depth of 5.70'. Septic tanks within city limits are considered if the wastewater system is farther than a 1,000 ft away.
2. The examples customer cites as previous replats on Poplar Avenue are not recent. The property on the right had the plat approved in 2012 that is 10 years ago. And the property on the left had the plat approved in 2016, that 6 years ago.
3. The water and wastewater line construction along Poplar Avenue are necessary in order to develop the rest of the vacant lots on Poplar Avenue and to meet the provisions of the UDC for continuity of services.

Staff recommends disapproval of the waiver request for wastewater construction.

After staff presentation the floor was opened for Commissioner questions.

Commissioner York stated he understands they approved one waiver and denied the other, he said generally the Planning Commission has a hard time burdening a single homeowner with major improvements. He is not sure what the reasoning was for the disapproval of the wastewater waiver. With the manholes being so far away there are few developed homes that already exist, adjacent from this property how many of those are on septic, if any. Staff answered it is safe to assume that every developed home that is there is on septic. Commissioner York, asked if the waiver was to get approved and the developer installs septic is there a requirement, they would have to agree to connect to City sewer if and when it was ever put in. Staff answered as part of the Commission's approval they could condition an agreement that would require the developer to connect to city sewer if and when it is available.

There be no further questions the public hearing was opened for items "9 through 11". Jeff Kraus (3125 Quebec Drive) single father, disable veteran he does not have the funds to tie into the sewer for this property. He purchased the property five years ago and he is trying to build a single-family home, the waivers have prevented him from doing so. The surrounding neighbors all have septic tanks, they all received waivers when they built their homes. Unfortunately for him in 2020 due to covid he was unable to attend Planning Commission and state his case, he would appreciate the waiver so he can build his home. With no one else coming forward, the public hearing was closed. A motion was made by Commissioner York to approve item "9" the replat,

approve item "10" the waiver request for construction of street and sidewalk, and approve item "11" the waiver request for wastewater construction with a condition that the developer be required to connect to City services if and when they are brought to his property and was seconded by Commissioner Salazar-Garza. The motion passed.

**VIII. Director's Report**

Nina Nixon-Mendez, Assistant Director, wished everyone a Happy Holiday, she stated this is the last Planning Commission meeting of the year and she looks forward to seeing everyone in 2023.

**IX. Future Agenda Items: NONE**

**X. Adjournment**

There being no further business to discuss, the meeting adjourned at 6:55 p.m

**TECHNICAL REVIEW PLAT REQUIREMENTS  
REGULAR PLANNING COMMISSION MEETING  
January 11, 2023**

PROJECT: 22PL1059

GRAHAM ESTATES (PRELIMINARY PLAT – 20 ACRES)

Located west of Graham and Waldron Road

Zoned: RS-4.5 (Rezoned from RS-6 to RS-4.5 per Ordinance 030507, dated 05-19-2015)

Owner: Superior NR& Development, LLC

Surveyor/Engineer: Munoz Engineering (Surveyor: Brister Surveying)

The applicant proposes to plat the property for a single-family development. The submitted plat satisfies the requirements of the Unified Development Code and State Law, and the Technical Review Committee recommends approval. All comments requiring resolution prior to Planning Commission approval have been addressed.

TECHNICAL REVIEW COMMITTEE (TRC) PLAT REVIEW COMMENTS

Interdepartmental Staff and outside agencies have reviewed and prepared comments for the proposed plat. These comments are intended to be final.  
All plats must comply with applicable review criteria. All corrected plats must be submitted with a comment resolution (response) letter for staff review.  
**\*\*\*The application will be considered void after 180 days if no comments are submitted responding to distributed TRC comments.\*\*\***

**Staff Only/District#:** SR/District No4  
**App Start Date:** 03-31-2022  
**TRC Meeting Date:** 04-07-2022  
**TRC Comments Sent Date:** 04-08-2022  
**Revisions Received Date (R1):** 10-21-2022  
**Staff Response Date (R1):** 10-27-2022  
**Revisions Received Date (R2):** 12-20-2022  
**Staff Response Date (R2):** 01-04-2022  
**Planning Commission Date:** JAN-11-2023, Non-Public Notice Plat

Major plats, in compliance with review criteria, are recommended for approval to the Planning Commission by the TRC. Development Services staff will determine when the plat is scheduled for Planning Commission.  
Administrative plats, in compliance with review criteria, are approved by the Director on a rolling basis.

**Project:** 22PL1059

**Graham Estates (Preliminary Plat – 20 Acres)**  
Located west of Graham and Waldron Road.

**Zoned:** **RS-4.5** (Rezoned from RS-6 to RS-4.5 per Ordinance 030507, dated 05-19-2015) )

**Owner:** Superior NR& Development, LLC  
**Surveyor:** Munoz Engineering (Surveyor: Brister Surveying)

The applicant proposes to plat the property for a single-family development.

GIS						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Plat closes to acceptable engineering standards. (TSPS Manual of Practice Appendix A, Condition 3; Suburban Traverse Error of Closure)	Okay			
2	Plat	Location map does not add context to general location of platted area. Pls revise.	Revised	Addressed.		

LAND DEVELOPMENT						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	For the street dedication on Graham Rd, indicate total acreage and the depth.	Added	Addressed.		
2	Plat	Add note to item 1 that street dedication is included.	Added	Addressed.		
3	Plat	Match font size under item 2.	Adjusted	Addressed.		
4	Plat	Add a "NOTES" title to the plat notes.	Added	Addressed.		
5	Plat	Remove s from yard requirement note.	Removed	Addressed.		
6	Plat	Identify private access, improvements, and easements if there are any on plat.	Indicated in notes	Addressed.		
7	Plat	For private improvements, provision shall be made for the establishment of a home owners association or other entity in accordance with the requirements of Subsection 8.1.8, Home Owners Associations, for the proper and continuous operation, maintenance and supervision of such improvements.(UDC 8.1.7)	Will be provided	Addressed.		

8	Plat	The final plat and HOA document shall make reference to recorded restrictive covenants which shall provide for the perpetual maintenance of private streets by a home owners association to the same standards as connecting public streets for the safe use of persons using the streets and state that the City has no obligation or intention to ever accept such streets as public right-of-way. Such covenants, as approved by the City, shall not be altered without City approval. The restrictive covenants shall be recorded prior to issuance of the first building permit for the subdivision. (UDC 8.2.1.J.8)	Will be provided	<b>Addressed.</b>		
9	Plat	The final plat and HOA document shall contain language whereby the home owners association agrees to release, indemnify, defend and hold harmless any governmental entity for damages to a) Private streets reasonably used by government vehicles. b) Injuries or damages to other persons, properties or vehicles claimed as a result of street design or construction (UDC 8.2.1.J.14).	Will be provided	<b>Addressed.</b>		
10	Plat	Provide the following note if applicable: <i>“This subdivision contains private improvements, including but not limited to, streets, facilities and easements that have not been dedicated to the public or accepted by the City of Corpus Christi or any other local government agency as public rights-of-way. The City of Corpus Christi has no obligation, nor does any other local government agency have any obligation, to maintain, repair, install or construct private improvements within the subdivision and shall agree to indemnify, agency from all claims, damages and losses arising out of the construction, reconstruction, maintenance and operation of the private improvements”</i>	Added	<b>Addressed.</b>		
11	Plat	Submit a legal instrument for a Home Owner's Association for approval by the city attorney prior to any plat recordation. (UDC 8.1.8)	Will be provided	<b>Addressed.</b>		
12	Plat	Show and label the proposed phasing and scheduling of development (UDC Section 3.7 Master Preliminary Plat).	Added	<b>Addressed.</b>		
13	Plat	Show and label monuments on plat map. Provide a found monument note as well.	Indicated	<b>Not Addressed.</b>	Provide and identified	<b>Addressed.</b>
14	Plat	Streets names are not legible on location map.	Revised	<b>Addressed.</b>		
15	Plat	Verify square footages for lots 23-25, and 30-34.	Verified	<b>Addressed.</b>		
16	Plat	There are random D letters at some of the lots' common boundary lines.	Removed	<b>Addressed.</b>		
17	<del>Plat</del>	<del>Provide the name of subdivision and description on each plat sheets.</del>	<del>Provided</del>	<b>Comment rescinded.</b>	Okay	<b>Addressed.</b>
18	Plat	Show all utility easements and lines on Perry Estates Block 5, lots 8A and 9.	Indicated	<b>Addressed.</b>		
19	Plat	Show outline of pond on adjacent properties.		<b>Addressed.</b>		
20	Plat	Provide width of the Electrical Utility Easement at the western property boundary.	Provided	<b>Addressed.</b>		
21	Plat	Three of the lots at the southern boundary line of the plat are lots of record. Label them as such.	Adjusted	<b>Not addressed.</b>		<b>Addressed.</b>
22	Plat	Remove the M.R.N.C.T. abbreviations at the end of the lots' names.	Part of legal, remains	<b>Addressed.</b>		
23	Plat	Verity that the description for the lot owned by Luis Guajardo is correct.	Corrected	<b>Addressed.</b>		
24	Plat	Is note 13 referring to current property owner or future property owner of lots? Clarify.	Texas Property Code - PROP § 28.001. Definitions - “Owner” means a person or entity, other than a governmental entity, with an interest in real property that is improved, for whom an improvement is made, and who ordered the improvement to be made.	<b>Addressed.</b>		
25	Plat	Development Services fees are not assessed on preliminary plats.	Okay	<b>Addressed.</b>		



PLANNING/Environment & Strategic Initiatives (ESI)						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No response.	N/A			

ZONING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment.	N/A			

DEVELOPMENT SERVICES ENGINEERING				
Action	Yes	No	Applicant Response	Staff Resolution
Public Improvements Required?	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.
Water	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.
Fire Hydrants	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.
Wastewater	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.
Manhole	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.
Stormwater	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.
Sidewalks	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.
Streets	Yes. At final plat.		Will be provided	To be addressed by Public Improvements.

Refer to UDC Section 3.8.3.D Waivers if applicable.

Applicant Response on Waiver:		
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DEVELOPMENT SERVICES ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Development on this site shall manage storm water drainage caused by the development of the property, drainage directed to the property by ultimate development, and drainage naturally flowing onto and through the property per UDC 8.2.8.B.2.	Okay	Addressed		
2	Plat	Provide definitions for Items A - G on the Street Cross Section	Added	Addressed		
3	Plat	Provide a 5-foot Public Utility Easement and the 5-foot Electrical Easement on lot fronts. Backlot Easements may be reduced to 7.5 feet on adjacent lots. Or provide a rational for the proposed easement layout.	Adjusted	Addressed		
4	Public Improvement Plans	Public Improvements Plans are required at Final Plat; submit a pdf copy of proposed public improvements along with a title sheet to PublicImprovements@cctexas.com for review and approval; this item is required prior to Final Plat Recordation. UDC 8.1.3.A	Provided	Not addressed. No Public Improvements were provided on this submittal. You may address at final plat	Will be provided after final plat	To be addressed by Public Improvements.
5	Utilities	Design information to be provided with Final Plat / Public Improvement plans. City may request additional information, as deemed necessary for future reviews and approvals.	Noted	Addressed		
6	SWQMP	Provide the following missing information: Legal Description of property, plat name, disturbed acreage, current on -site drainage, proposed drainage after development.	Provided	Addressed		

7	SWQMP	Confirm that rainfall intensity and run-off calculation coefficients are consistent with the Current Infrastructure Design Manual.	Adjusted	Not addressed. Missing calculations on SWQMP 1 and SWQMP 2 is blank with only the engineer seal	Information provided	Addressed.
8	SWQMP	Pre-, and post-development runoff is shown to be the same. Confirm this is correct or provide updated calculations.	Adjusted	Not addressed. Missing calculations. The SWQMP 1 is missing the info	Information provided	Addressed.
9	SWQMP	Sheet 3 of 3 of the plat notes the existing pond as a Detention Pond. Provide detention calculations.	Added	Not addressed. Missing calculations	Information provided	Addressed.
10	SWQMP	Provide estimated flows at each outfall with Final Plat/ Public Improvement Plans.	Provided	Not addressed. The estimated 5yr event flows were provided but since the pre and post calculation are missing we don't have the numbers to make sure they add up to the 5 yr event	Information provided	Addressed.
12	SWQMP	Excess runoff from the pond is shown draining to the east from the pond through a 20 foot wide drainage easement - provide a cross section of the proposed drainage pond/ditch from the exiting pond.	Provided	Addressed		
13	SWQMP	How is runoff conveyed through the adjacent property to Dove Lane, and how does the runoff get from this point to an exiting or proposed drainage structure? The provided routing map appears to show runoff crossing private property to get to the receiving waters.	The conveyance has been adjusted to continue south down Dove Lane and to Blossom Street and into the stormwater system.	Are you allowed to drain water through this property do you have an easement agreement? Please provide copy. Also The SWQMP 4 indicates you will be draining through a 20' drainage easement. We are unable to find the 20' easement on city maps. Please provide	Plat indicates a easement, plat is submitted for reference	Addressed. This applicant response did not suffice, but staff did research and found recordation of 20' easement on neighboring property's plat which is being sent to GIS to update the map. In the future, provide all related plats and easements to expedite review time, not just the proposed plat.

UTILITIES ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Water construction is required for platting (UDC 1.2.1.D & 8.2.6; Water Distribution Standards).	Will be provided	Addressed.		
2	Plat	Wastewater construction is required for platting (UDC 1.2.1.D & 8.2.7;Wastewater Collection System Standards).	Will be provided	Addressed.		

SOLID WASTE						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment.	N/A			

TRAFFIC ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No response.	N/A			

FLOODPLAIN						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment.	N/A			

FIRE DEPARTMENT - INFORMATIONAL, REQUIRED PRIOR TO BUILDING PERMIT						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution

1	Plat	Water Distribution Standards: Fire flow for residential areas require 750 GPM with 20 psi residual	Okay	Addressed.		
2	Plat	507.5.1 Exception 1: Group R-3 (one- or two-family dwellings): Fire hydrants to be located every 600 feet apart.	Okay	Addressed.		
3	Plat	3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.	Okay	Addressed.		
4	Plat	D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.	Okay	Addressed.		
5	Plat	503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.	Okay	Addressed.		
6	Note	Note: An accessible road and a suitable water supply is required once construction materials are brought on site. This will be strictly enforced.	Okay	Addressed.		
7	Plat	503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.	Okay	Addressed.		
8	Plat	D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.	Okay	Addressed.		
9	Plat	Note: The expression: “unobstructed” of the minimum required width of 20 feet means that no parking is allowed on both sides of the street. Where a fire hydrant is located on the street, the minimum road width is 26 feet unobstructed. In this instance, no parking is allowed on one side of the street. If a resident wants to park a vehicle on the street, the minimum width of the street shall be 32 feet.	Okay	Addressed.		
10	Plat	503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.	Okay	Addressed.		
11	Plat	503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:” Fire Lane-No Parking” at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, “Fire Lane-No Parking” at 15-foot intervals.	Okay	Addressed.		
12	Plat	503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.	Okay	Addressed.		
13	Plat	Table D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.	Okay	Addressed.		

GAS						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No response.	Okay	Addressed.		

PARKS

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment.	Okay	Addressed.		

REGIONAL TRANSPORTATION AUTHORITY						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	This preliminary plat is not located along an existing or foreseeably planned CCRTA service route.	Okay	Addressed.		

NAS-CORPUS CHRISTI						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Located just outside of APZ-2 at Truax Field. May be subjected to aircraft noise and occasional overflight.	Noted on plat	Addressed.		

CORPUS CHRISTI INTERNATIONAL AIRPORT						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	1.75 miles from Truax Field NASCC. Not within any approach or clear zones. But the site location is within the military compatibility area and the vertical obstruction subzone. Further discussion with Trax is recommended.	Beyond ACUIZ	Addressed.		

AEP-TRANSMISSION						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Airline-Naval Base 138kV LCRA line. Please reach out to Anne Manning anne.manning@lcra.org for comment.	Have contacted and provided required note as note 13	Addressed.		

AEP-DISTRIBUTION						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment.	N/A			

TXDOT						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Non-TXDOT R.O.W.	N/A			

NUECES ELECTRIC						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No response.	N/A			

INFORMATIONAL

Comments noted below apply to the preliminary site/utility/transportation plan and preliminary storm water quality management plan (SWQMP) as observations for information only.

These comments should be considered during subsequent site and public infrastructure development but may be required as a condition for plat consideration by the Planning Commission for approval.

Additional comments may be issued with the subsequent submittal plans associated with the property development.

LAND DEVELOPMENT

1. Prior to recordation, provide a tax certificate indicating that all taxes have a \$0.00 balance, along with the submittal of the original tracing.  
Will be provided



PRELIMINARY PLAT OF  
GRAHAM ESTATES

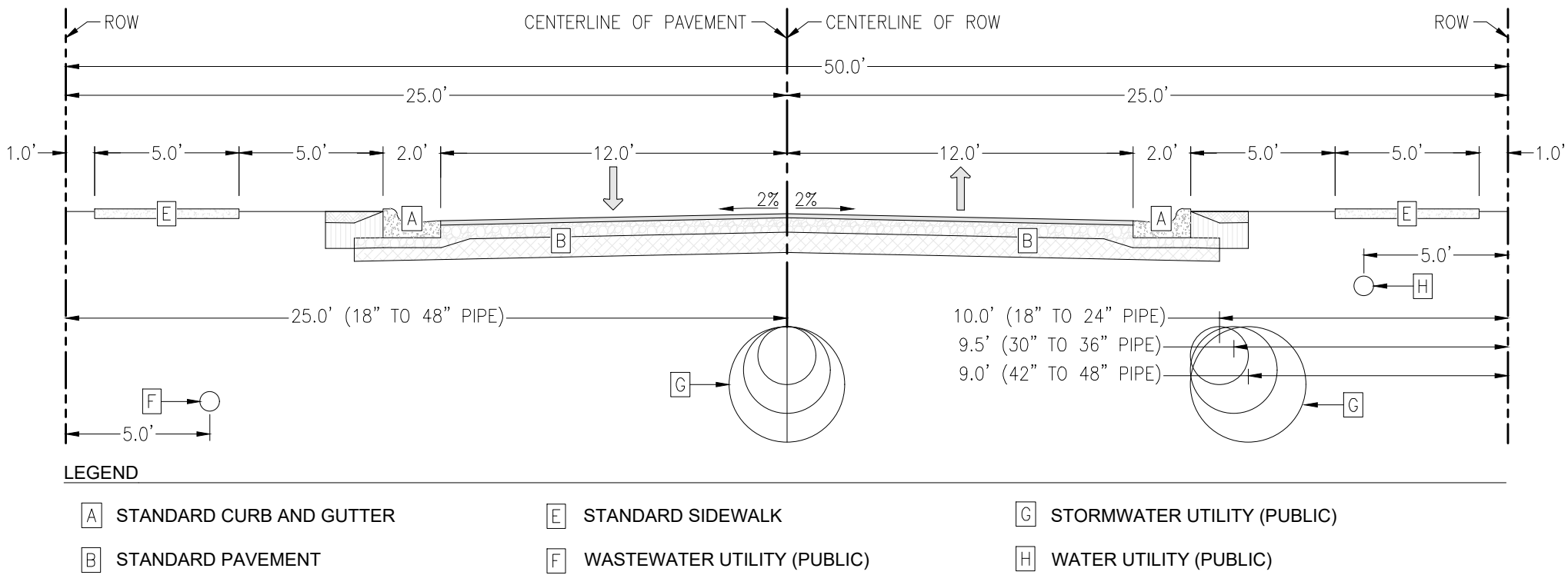
A 20.000 ACRE TRACT OF LAND DESCRIBED AS BLOCK FORTY-EIGHT, LOT TWENTY-TWO FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACTS AS SHOWN ON MAP VOLUME A PAGE 41 - 43, MAP RECORDS OF NUECES COUNTY, TEXAS



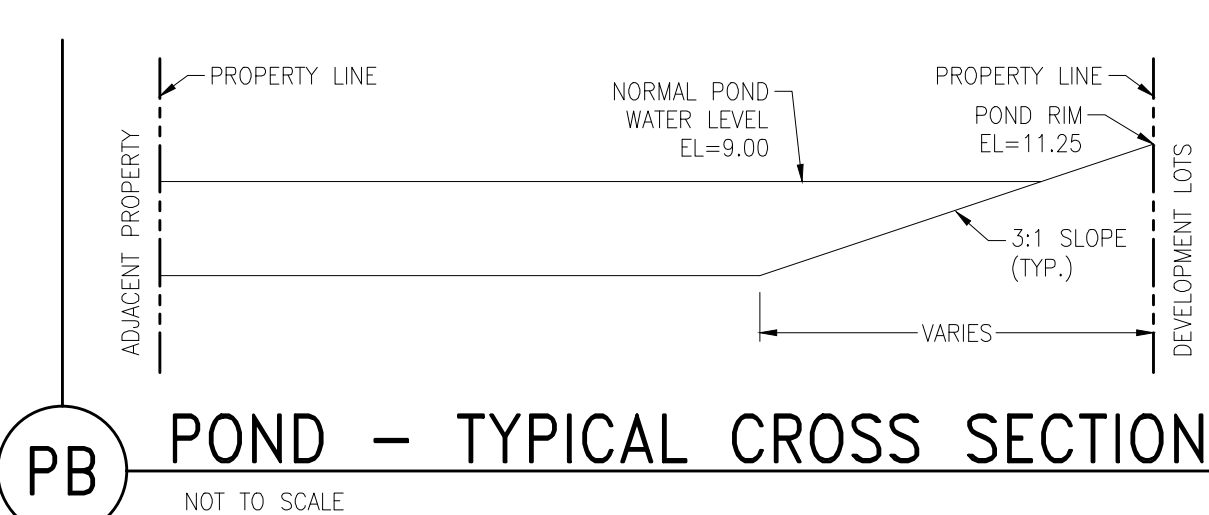
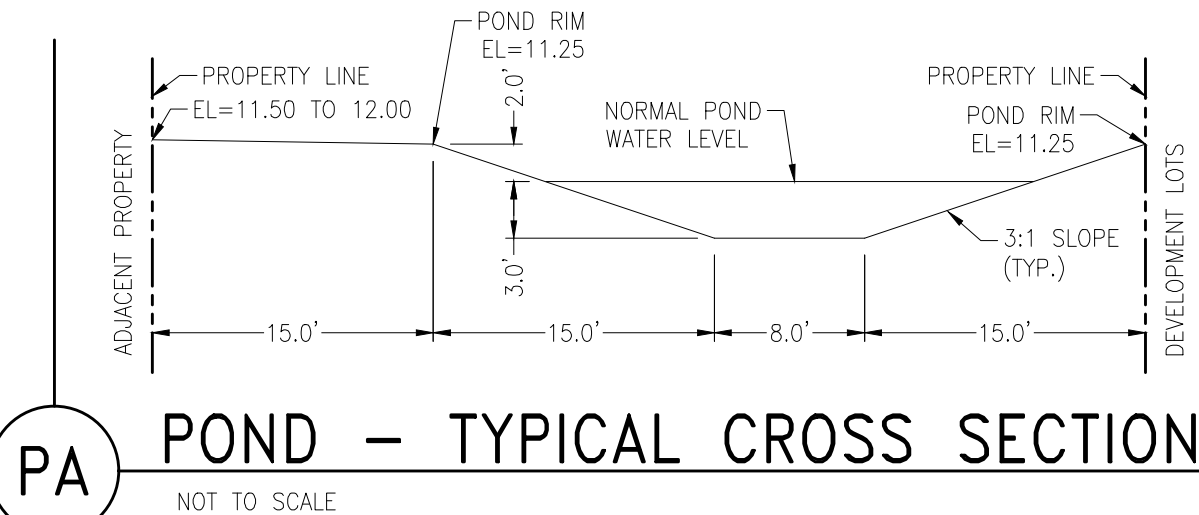
LOCATION MAP  
NOT TO SCALE

- TOTAL PLATTED AREA CONTAINS 20.000 ACRES OF LAND, INCLUDING RIGHT-OF-WAYS, STREET DEDICATION, AND EASEMENTS.
- FEMA INFORMATION  
EFFECTIVE:  
PLOTING THE PROPERTY BY SCALE ON FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. 48355C0545G, MAP REVISED OCTOBER 13, 2022, INDICATES THE PROPERTY IS LOCATED IN FLOOD ZONE X. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.
- RECEIVING WATERS  
THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS PROPERTY IS THE LAGUNA MADRE. THE TCEQ HAS CLASSIFIED THE AQUATIC LIFE USE FOR THE LAGUNA MADRE AS "EXCEPTIONAL" AND "OYSTER WATERS". TCEQ ALSO CATEGORIZED THE RECEIVING WATER AS "CONTACT RECREATION" USE.
- FOUND CORNERS ARE INDICATED WITH INFORMATION REGARDING THE CORNER.
- ALL BEARINGS ARE GRID BEARINGS BASED ON THE GLOBAL POSITIONING SYSTEM, TEXAS STATE PLAIN NAD 83 (93), TEXAS SOUTH ZONE 4205 AND ALL ELEVATIONS ARE BASED ON NAVD88.
- THE SURVEYOR CAN NOT CERTIFY AS TO UN-RECORDED EASEMENTS AND/OR RIGHT-OF-WAY THAT MAY IMPACT THE SUBJECT PROPERTY AND ARE NOT VISIBLE AND APPARENT.
- CAUTION MUST BE TAKEN WITH PIPELINE MARKERS INDICATING BURIED LINES NOT ON RECORD.
- THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 18-INCHES ABOVE THE CENTERLINE OF THE HIGHEST ADJACENT ROADWAY OR AS NOTED ON CONSTRUCTION DRAWINGS.
- THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT OF THE CITY OF CORPUS CHRISTI UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO CHANGE AS THE ZONING MAY CHANGE.
- PRIVATE ACCESS EASEMENTS, PRIVATE DRAINAGE EASEMENTS, AND PRIVATE UTILITY EASEMENTS WHEN INDICATED ON ANY LOT ARE TO BE OWNED BY THE HOA INDICATED IN THESE NOTES, IF AN HOA IS NOT INDICATED, THEN THE EASEMENT IS TO BE OWNED BY THE PROPERTY OWNER THAT THE EASEMENT IS ON.
- ELECTRICAL EASEMENTS (EE) ARE TO BE OWNED BY THE ELECTRICAL UTILITY COMPANY THAT IS PROVIDING THE ELECTRICAL PRIMARY AND SECONDARY LINES, ELECTRICAL TRANSFORMER, BOXES, PEDESTALS, POLES, AND ANY OTHER APPURTENANCES TO SUPPLY ELECTRICAL POWER TO THE LOT(S).
- THE PROPERTIES INDICATED WITHIN THIS PLAT IS LOCATED NEAR AIRFIELDS USED BY AIRPLANES AND MAY BE SUBJECT TO AIRCRAFT NOISE, OVER FLIGHT, AND VIBRATION.
- NO PRIVATE DRIVEWAY ACCESS IS ALLOWED TO GRAHAM ROAD FROM BLOCK 1, LOT 1 AND 51, BLOCK 2, LOT 1 - 6.
- NO PERMANENT STRUCTURES WILL BE CONSTRUCTED WITHIN THE LCRA EASEMENT. ANY IMPROVEMENT OR ACTIVITY WITHIN THE LCRA EASEMENT REQUIRES PRIOR LCRA APPROVAL.
- BLOCK 1, LOT 23, 24, 25, 30 - 34 CONTAIN A PORTION OF THE NATURAL LAKE, THE AREA INDICATED IS A NON-BUILDABLE AREA WITH THE EXCEPTION OF DOCKS THAT ARE LOCATED NO FURTHER THAN 30-FEET BEYOND THE EDGE OF THE NORMAL-WATER LEVEL AND THE DECK SURFACE IS NO GREATER THAN 2-FEET ABOVE THE HIGH-WATER LEVEL. MAXIMUM HEIGHT OF ANY STRUCTURE IS 12-FEET ABOVE THE DECK SURFACE. LAKE EDGE ALONG THE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER. AREA INDICATED MAY NOT BE FILLED OR ALTERED THAT WILL PREVENT THE AREA FROM HOLDING WATER. THE HATCHED AREA SHALL ALSO BE A PRIVATE ACCESS EASEMENT THAT IS ACCESSIBLE BY BLOCK 1, LOT 23, 24, 25, 30 - 34.
- BLOCK 1, LOT 23, 24, 25, 30 - 34 ARE CONTAIN A PORTION OF THE NATURAL LAKE WHICH MAY AFFECT THE LOT IN NUMEROUS WAYS THAT MAY MAKE PORTIONS OF THE LOT UNUSABLE AND MAY AFFECT THE LAKE EDGE. THESE AFFECTS ON THE LOT SHALL NOT CREATE LIABILITY ON THE PART OF SUPERIOR N&R DEVELOPMENT, LLC, THE ENGINEER, THE SURVEYOR, CITY OF CORPUS CHRISTI, LIEN HOLDER(S) AND ALL EMPLOYEES, SHARE HOLDERS, AFFILIATES, SUBSIDIARIES, ETC.
- THIS SUBDIVISION CONTAINS PRIVATE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FACILITIES AND EASEMENTS THAT HAVE NOT BEEN DEDICATED TO THE PUBLIC OR ACCEPTED BY THE CITY OF CORPUS CHRISTI OR ANY OTHER LOCAL GOVERNMENT AGENCY AS PUBLIC RIGHTS-OF-WAY. THE CITY OF CORPUS CHRISTI HAS NO OBLIGATION, NOR DOES ANY OTHER LOCAL GOVERNMENT AGENCY HAVE ANY OBLIGATION, TO MAINTAIN, REPAIR, INSTALL OR CONSTRUCT PRIVATE IMPROVEMENTS WITHIN THE SUBDIVISION AND SHALL AGREE TO INDEMNIFY, AGENCY FROM ALL CLAIMS, DAMAGES AND LOSSES ARISING OUT OF THE CONSTRUCTION, RECONSTRUCTION, MAINTENANCE AND OPERATION OF THE PRIVATE IMPROVEMENTS.

- PROPERTY OWNER:  
SUPERIOR N&R DEVELOPMENT, LLC
- DEVELOPER:  
SUPERIOR N&R DEVELOPMENT, LLC
- ENGINEER:  
MUNOZ ENGINEERING, LLC  
THOMAS B. TIFFIN, PE TxBPE# 111733
- SURVEYOR:  
BRISTER SURVEYING, LLC  
RONALD BRISTER, RPLS TxBPLS# 5407
- LOT INFORMATION:  
SINGLE-FAMILY = 93 LOTS 15.494 ACRES  
MULTI-FAMILY = 0 LOTS 0.000 ACRES  
COMMERCIAL = 0 LOTS 0.000 ACRES  
INDUSTRIAL = 0 LOTS 0.000 ACRES  
PUBLIC DEDICATION = 1 LOTS 4.506 ACRES  
TOTAL = 94 LOTS 20.000 ACRES
- PUBLIC STREET INFORMATION:  
L1-A = 50-FT ROW = 3,495 CENTER LINE LINEAR FEET
- PHASING:  
PHASE 1 = WILL BE DEVELOPED ONCE THE FINAL PLAT HAS BEEN APPROVED



L1A TYPE L1-A - TYPICAL STREET CROSS SECTION  
NOT TO SCALE



ENGINEER  
THOMAS TIFFIN, PE  
SURVEYOR  
RONALD BRISTER, RPLS  
OWNER  
SUPERIOR N&R  
ENGINEER  
MUNOZ ENGINEERING, LLC  
2000 S. BROWNLEE BOULEVARD  
CORPUS CHRISTI, TX 78404  
OFFICE: 361.946.4848  
TBPB'S FIRM F-12240  
DRAWING DATE  
12/20/2022

Brister Surveying  
4455 South Padre Island Drive Suite 51  
Corpus Christi, Texas 78411  
Office 361-850-1800  
Fax 361-850-1802  
bristersurveying@corpus-txwebc.com  
Firm Registration No. 10072800

MUNOZ ENGINEERING  
1608 S. BROWNLEE BOULEVARD  
CORPUS CHRISTI, TX 78404  
OFFICE: 361.946.4848  
TBPB'S FIRM F-12240  
CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT

PRELIMINARY PLAT OF  
GRAHAM ESTATES  
A 20.000 ACRE TRACT OF LAND DESCRIBED AS BLOCK FORTY-EIGHT, LOT TWENTY-TWO FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACTS AS SHOWN ON MAP VOLUME A PAGE 41 - 43, MAP RECORDS OF NUECES COUNTY, TEXAS  
NUECES COUNTY, TEXAS

PAGE  
1 OF 3



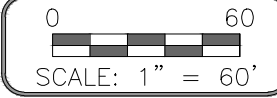
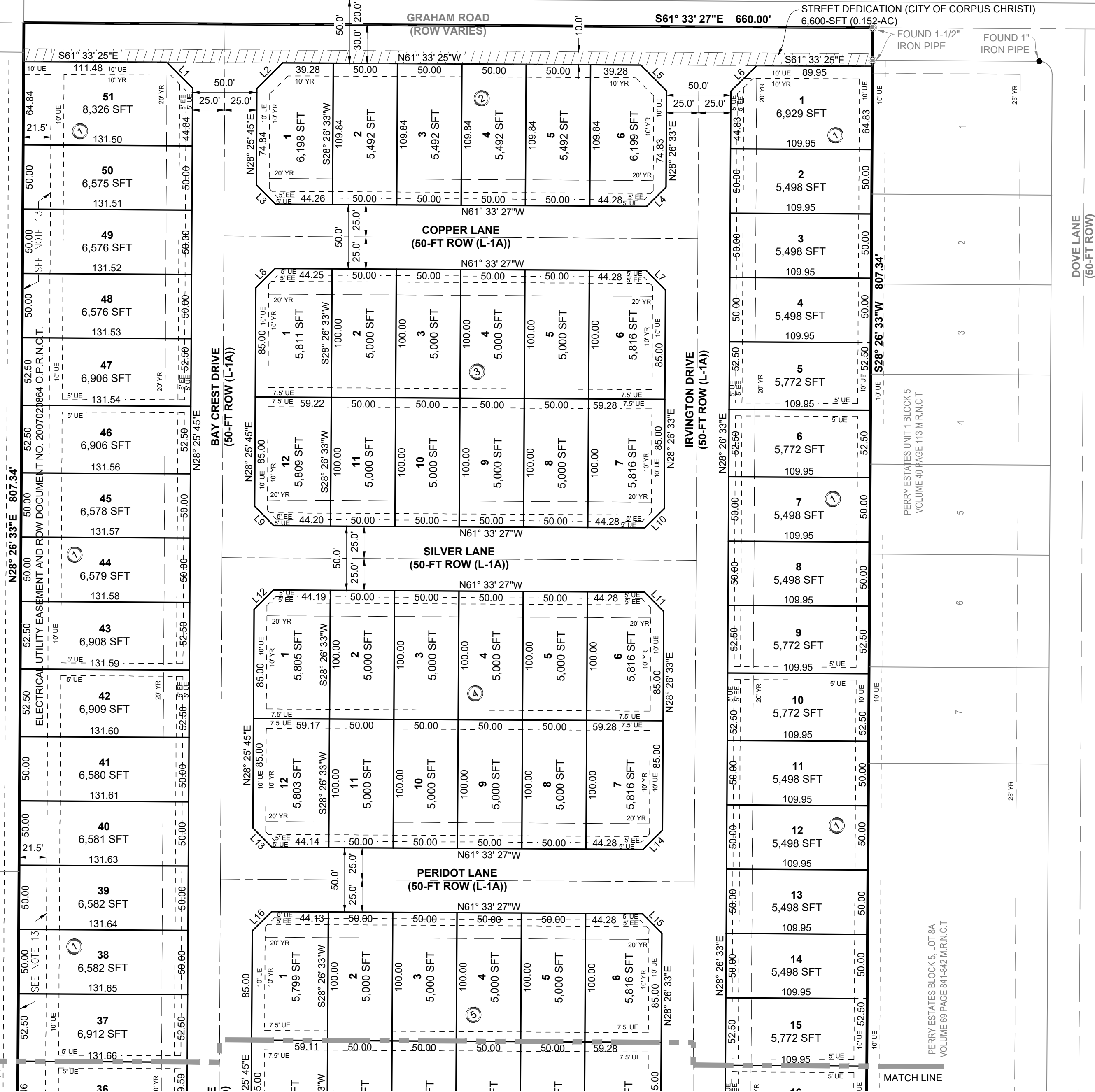
CURVE TABLE					
CURVE ID	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C14	14.45'	20.00'	41.41'	N49° 08' 03"E	14.14'
C1	5.14'	60.00'	4.91'	N30° 53' 48"E	5.14'
C2	33.11'	60.00'	31.61'	N49° 09' 28"E	32.69'
C3	61.08'	60.00'	58.33'	S85° 52' 11"E	58.48'
C4	50.92'	60.00'	48.62'	S32° 23' 31"E	49.40'
C5	38.11'	60.00'	36.40'	S10° 07' 03"W	37.48'
C6	90.38'	60.00'	86.30'	S71° 28' 03"W	82.07'
C7	22.56'	15.00'	86.18'	N71° 31' 52"E	20.49'
C8	10.11'	20.00'	28.96'	N76° 02' 06"W	10.00'
C9	32.49'	60.00'	31.02'	S75° 00' 03"E	32.09'
C10	38.13'	60.00'	36.41'	S41° 17' 03"E	37.49'
C11	38.11'	60.00'	36.40'	S4° 52' 54"E	37.48'
C12	46.16'	60.00'	44.08'	S35° 21' 13"W	45.03'
C13	13.03'	60.00'	12.45'	S63° 36' 55"W	13.01'

LINE TABLE		
LINE ID	LENGTH	BEARING
L1	28.29'	S16° 33' 49.85"E
L2	28.28'	S73° 26' 10.15"W
L3	21.22'	N16° 33' 50.81"W
L4	21.21'	N73° 26' 33.00"E
L5	28.28'	N16° 33' 26.05"W
L6	28.28'	S73° 26' 33.95"W
L7	21.21'	S16° 33' 27.00"E
L8	21.21'	S73° 26' 09.19"W
L9	21.22'	N16° 33' 50.81"W
L10	21.21'	S73° 26' 33.00"W
L11	21.21'	S16° 33' 27.00"E
L12	21.21'	S73° 26' 09.19"W
L13	21.22'	N16° 33' 50.81"W
L14	21.21'	S73° 26' 33.00"W
L15	21.21'	S16° 33' 27.00"E
L16	21.21'	S73° 26' 09.19"W
L17	21.22'	N16° 33' 50.81"W
L18	21.21'	S73° 26' 33.00"W
L19	21.21'	S16° 33' 27.00"E
L20	41.40'	N30° 19' 17.61"E
L21	47.53'	N80° 26' 53.38"E

FLOUR BLUFF AND ENCINAL FARM  
AND GARDEN TRACT  
6.82 ACRE TRACT OUT OF SECTION  
48 LOT 21, VOLUME A, PAGES 41-43  
M.R.N.C.T.  
WILLIAM STANFORD  
DOC#: 2002034738 D.R.N.C.T.

FLOUR BLUFF AND ENCINAL FARM AND GARDEN TRACT  
3.00 ACRE TRACT OUT OF SECTION 48  
CORNER LOT 21, VOLUME A, PAGES 41-43  
M.R.N.C.T.  
CALVIN SELF  
DOC#: 2006017557 D.R.N.C.T.

MATCH LINE



PRELIMINARY PLAT OF  
**GRAHAM ESTATES**  
A 20.000 ACRE TRACT OF LAND DESCRIBED AS BLOCK FORTY-EIGHT, LOT TWENTY-TWO FLOUR BLUFF AND ENCINAL FARM  
AND GARDEN TRACTS AS SHOWN ON MAP VOLUME A PAGE 41- 43, MAP RECORDS OF NUECES COUNTY, TEXAS

NUECES COUNTY, TEXAS

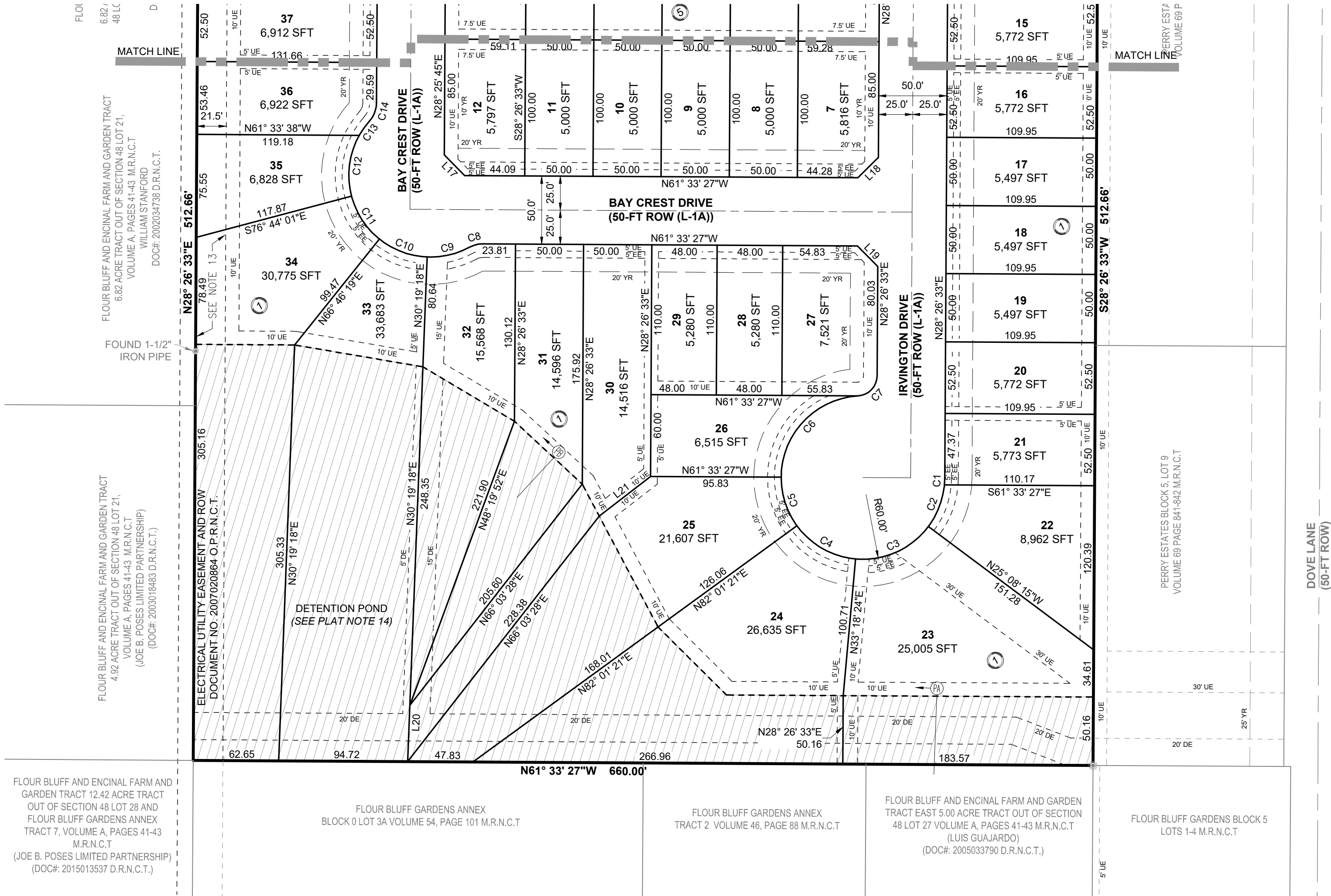
**MUNOZ ENGINEERING**  
1608 S. BROWNLEE BOULEVARD  
CORPUS CHRISTI, TX 78404  
OFFICE: 361.946.4848  
TBP/ELS FIRM F-12240

**ME**  
MUNOZ ENGINEERING  
CIVIL | STRUCTURAL | MARINE | LAND DEVELOPMENT

**Brister Surveying**  
4455 South Padre Island Drive Suite 51  
Corpus Christi, Texas 78411  
Office: 361-850-1800  
Fax: 361-850-1802  
bristersurveying@corpuswbcc.com  
Firm Registration No. 10072800

ENGINEER  
THOMAS TIEFFEN, PE  
SURVEYOR  
RONALD BRISTER, RPLS  
OWNER  
SUPERIOR N&R  
ENGINEER/PILOT SURVEYOR PID  
200300  
DRAFTER  
CHOD BY  
RB  
TT  
DRAWING DATE  
12/20/2022





PLAT SYMBOL AND LINE LEGEND (NOT ALL MAY BE USED)		
● PROPERTY CORNER	⊙ FOUND 5/8-INCH RE-BAR	Ⓢ BLOCK IDENTIFICATION
⊙ FOUND 1/2-INCH IRON PIPE	⊙ FOUND 1-INCH IRON PIPE	
○ SET 5/8" DIAMETER BY 18 INCH LONG RE-BAR		
— ADJACENT BOUNDARY LINE	— BOUNDARY LINE	
— ADJACENT PROPERTY LINE	— PROPERTY LINE	
— EXISTING ROW CENTER LINE	— ROW CENTER LINE	
— EXISTING EASEMENT	— EASEMENT	
— EXISTING YARD REQUIREMENT	— YARD REQUIREMENT	
— CURRENT FEMA BOUNDARY LINE	— PRELIMINARY FEMA BOUNDARY LINE	

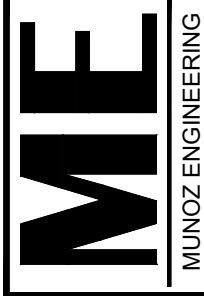
PLAT ABBREVIATION LEGEND (NOT ALL MAY BE USED)		
SEC - SECTION	AE - PUBLIC ACCESS EASEMENT	PAE - PRIVATE ACCESS EASEMENT
VOL - VOLUME	DE - PUBLIC DRAINAGE EASEMENT	PDE - PRIVATE DRAINAGE EASEMENT
PG - PAGE	UE - PUBLIC UTILITY EASEMENT	PUE - PRIVATE UTILITY EASEMENT
LT - LOT	WE - PUBLIC WATER EASEMENT	PWE - PRIVATE WATER EASEMENT
AC - ACRE	WWE - PUBLIC WASTEWATER EASEMENT	PWWE - PRIVATE WASTEWATER EASEMENT
SF - SQUARE FEET	EE - ELECTRICAL EASEMENT	FEMA - FEDERAL EMERGENCY
ROW - RIGHT-OF-WAY	TE - TEMPORARY EASEMENT (SEE NOTES)	MANAGEMENT AGENCY
NB - NON-BUILDABLE	D or DD - LOT DRIVEWAY LOCATION	RPLS - REGISTERED PROFESSIONAL
YR - YARD REQUIREMENT	GR - GARAGE SET BACK REQUIREMENT	LAND SURVEYOR
M.R.N.C.T. - MAP RECORDS NUECES COUNTY, TEXAS		LSLS - LICENSED STATE LAND SURVEYOR
D.R.N.C.T. - DEED RECORDS NUECES COUNTY, TEXAS		PE - PROFESSIONAL ENGINEER
O.P.R.N.C.T. - OFFICIAL PUBLIC RECORDS NUECES COUNTY, TEXAS		

PRELIMINARY PLAT OF  
**GRAHAM ESTATES**

A 20.000 ACRE TRACT OF LAND DESCRIBED AS BLOCK FORTY-EIGHT, LOT TWENTY-TWO FLOUR BLUFF AND ENCINAL FARM  
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Firm Registration No. 10072800

ENGINEER  
THOMAS TIEFFEL, PE  
SURVEYOR  
RONALD BRISTER, RPLS  
OWNER  
SUPERIOR N&R  
ENGINEER/PI  
200030  
DRAWN BY  
D.B.  
CHECKED BY  
R.B.  
APPROVED BY  
T.T.  
DRAWING DATE  
12/20/2022



**TECHNICAL REVIEW PLAT REQUIREMENTS  
REGULAR PLANNING COMMISSION MEETING  
January 11, 2023**

PROJECT: 22PL1174

CHAMBERLIN'S SUBDIVISION BLOCK 8 LOT 1R (REPLAT – .25 ACRES)

Located north of Agnes St. and east of King St.

Zoned: RM-3

Owner: M2J3 Construction ( Matthew Zavaglia)

Surveyor/Engineer: Brister Surveying - Ron Brister

The applicant proposes to plat the property to build multi-family units. The submitted plat satisfies the requirements of the Unified Development Code and State Law, and the Technical Review Committee recommends approval. All comments requiring resolution prior to Planning Commission approval have been addressed.

# TECHNICAL REVIEW COMMITTEE (TRC) PLAT REVIEW COMMENTS

Interdepartmental Staff and outside agencies have reviewed and prepared comments for the proposed plat. These comments are intended to be final. All plats must comply with applicable review criteria. All corrected plats must be submitted with a comment resolution (response) letter for staff review. **\*\*\*The application will be considered void after 180 days if no comments are submitted responding to distributed TRC comments.\*\*\***

Staff Only/District#: MZ / 1

App Received: 11/22/2022

TRC Meeting Date: 12/1/2022

TRC Comments Sent Date: 12/5/2022

Revisions Received Date (R1): 12/20/2022

Staff Response Date (R1): 1/5/2023

Revisions Received Date (R2):

Staff Response Date (R2):

Planning Commission Date: 1/11/2023

All comments addressed 1/5/2023

PC Date 1/11/2023

Major plats, in compliance with review criteria, are recommended for approval to the Planning Commission by the TRC. Development Services staff will determine when the plat is scheduled for Planning Commission.

Administrative plats, in compliance with review criteria, are approved by the Director on a rolling basis.

Project: 22PL1174

Chamberlin's Subdivision Block 8 Lot 1R (Replat – .25 ACRES)

Located north of Agnes St. and east of King St.

Zoned: RM-3

Owner: M2J3 Construction ( Matthew Zavaglia)

Surveyor: Brister Surveying - Ron Brister

The applicant proposes to plat the property to build multi-family units.

GIS						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Plat closes to acceptable engineering standards. (TSPS Manual of Practice Appendix A, Condition 3; Suburban Traverse Error of Closure)	Ok	Addressed		
2	Plat	Label the complete and correct legal description of the adjacent properties.	Updated adjoined info	Addressed		
LAND DEVELOPMENT						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Sidewalk required along King Street. A wavier may be submitted for the sidewalk.	will construct sidewalk	Addressed		
2	Plat	Agnes street is designated A2 on the UTP. A 100' ROW is required with half (50') being required for this plat.	Update ROW	Addressed		
3	Plat	Provide adjacent properties legal descriptions and acreage amounts.	Updated adjoiner info	Addressed		
4	Plat	Remove adjacent owners names from plat and provide correct legal descriptions.	Updated adjoiner info	Addressed		
5	Plat	Depict Y.R. for zoning district RM-3 Front Y.R. is 15' along Agnes and 20' along King.	Added 20' and 15' Y.R.	Addressed		
6	Plat	Depict 10' U/E along Agnes St.	Added 10' U.E.	Addressed		
7	Fees	Commercial or etc. Water Acreage Distribution Fees: .26 Ac. x 1,741.19 = \$452.71	Ok	Prior to recordation		
8	Fees	Commercial or etc. Wastewater Acreage Fees: .26 Ac. x 1,900.91= \$494.24	Ok	Prior to recordation		
9	Fees	Pro Rata Fees Water: 225 L/F x 12.74 = \$2,866.50	Ok	Prior to recordation		

10	Fees	Pro Rata Fees Wastewater: 225 L/F x 14.74 = <b>\$3,316.50</b>	Ok	Prior to recordation		
<b>PLANNING/Environment &amp; Strategic Initiatives (ESI)</b>						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment	No response	Addressed		

DEVELOPMENT SERVICES ENGINEERING		
Action	Yes	No
Public Improvements Required?		
Water		No, existing
Fire Hydrants		No, existing
Wastewater		No, existing
Manhole		No, existing
Stormwater		No, existing
Sidewalks	Yes, along King St. or request wavier.	
Streets		No, existing

Refer to UDC Section 3.8.3.D Waivers if applicable.

<b>Applicant Response on Waiver:</b>	No will construct sidewalk
--------------------------------------	----------------------------

DEVELOPMENT SERVICES ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Agnes is designated as an A2 with a 100' ROW. Update ROW from 37.5' to 50'.	Updated ROW	Accepted		
2	Utility Plan	No comments.	No response	Accepted		
UTILITIES ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No water construction is required.	Ok	Addressed		
2	Plat	No wastewater construction is required.	Ok	Addressed		

TRAFFIC ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Infor.	Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7)	Ok	Addressed		

FLOODPLAIN						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment	No response	Addressed		

FIRE DEPARTMENT - INFORMATIONAL, REQUIRED PRIOR TO BUILDING PERMIT						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Infor.	Note: All code reference is based on currently adopted International Fire Code (IFC) 2015 and Corpus Christi Water Distribution Standards.	Ok	Addressed		
2	Infor.	Multi-family-Apartment Complex. Commercial Development shall have a fire flow of 1,500 GPM with 20 psi residual Fire hydrant every 300 feet and operational.	Ok	Addressed		

3	Infor.	507.5.1 (amendment) Where Required: All premises, other than one-family detached dwellings, where buildings or portions of buildings are located more than 150 feet from a fire hydrant shall be provided with approved on-site hydrants and water mains capable of supplying the fire flow require by the fire official. The minimum arrangement being so as to have a hydrant available for distribution of hose to any portion of building on the premises at distances not exceeding 300 feet. Exception: For buildings equipped with an approved automatic sprinkler system, the distance requirement shall be 500 feet.	Ok	Addressed	
4	Infor.	507.5.4 Obstruction. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. Note: Hose lay from a hydrant will not cross an arterial street.	Ok	Addressed	
5	Infor.	912.2.3 (amendment) Proximity to Hydrant: Fire department connections (FDC) for each sprinkler system or standpipe system shall be located not more than 100 feet from the nearest fire hydrant connected to an approved water	Ok	Addressed	
6	Infor.	503.1.1 (amendment) Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall allow access to three (3) sides of buildings in excess of fifteen thousand (15,000) square feet and all sides for buildings in excess of thirty thousand (30,000) square feet.	Ok	Addressed	
7	Infor.	3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.	Ok	Addressed	
8	Infor.	D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.	Ok	Addressed	
9	Infor.	503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.	Ok	Addressed	
10	Infor.	<b>Note: An accessible road and a suitable water supply is required once construction materials are brought on site.</b>	Ok	Addressed	
11	Infor.	503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.	Ok	Addressed	
12	Infor.	D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.	Ok	Addressed	
13	Infor.	Note: The expression: "unobstructed" of the minimum required width of 20 feet means that no parking is allowed on both sides of the street. Where a fire hydrant is located on the street, the minimum road width is 26 feet unobstructed. In this instance, no parking is allowed on one side of the street. If residential parking is provided, the minimum width of the fire access lanes shall be 32 feet.	Ok	Addressed	

14	Infor.	D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater	Ok	Addressed	
15	Infor.	D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.	Ok	Addressed	
16	Infor.	D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.	Ok	Addressed	
17	Infor.	D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.	Ok	Addressed	
18	Infor.	503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.	Ok	Addressed	
19	Infor.	503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words: "Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.	Ok	Addressed	
20	Plat	Table D103.4 Requirements for Dead-end fire apparatus access roads. Turnaround provisions shall be provided with a 96-foot diameter cul-de-sac.	Ok	Addressed	
21	Plat	503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.	Ok	Addressed	
22	Infor.	D103.5 Fire apparatus access road gates. Gates securing the fire apparatus access roads shall comply with all the following criteria: Single gate width shall not be less than 20 feet. 12 feet gate width is required for a divided roadway. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official. Note: The use of a Knox Gate Switch is currently required by the Fire Official. Methods of locking shall be submitted for approval by the fire code official. Note: The Knox Padlock is currently required by the Fire Official. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed, and installed to comply with the requirements of ASTM F 2200.	Ok	Addressed	
23	Plat	D106.1 Projects having more than 100 dwelling units. Multiple-family residential projects having more than 100 dwelling units shall be equipped throughout with <b>two separate and approved fire apparatus access roads.</b>	Ok	Addressed	
24	Note	Note: The above cited references are for the purpose of providing minimal access into commercial property that will have sufficient width and will support the weight of fire apparatus.	Ok	Addressed	
25	Infor.	Commercial development of the property will require further Development Services review.	Ok	Addressed	

GAS					
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response

Staff Resolution

1	Plat	No comment	No response	Addressed		
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#### PARKS

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Add the following standard "Public Open Space" standard note: "If any lot is developed with residential uses, compliance with the open space regulation will be required during the building permit phase."	Added note #7	Addressed		

#### REGIONAL TRANSPORTATION AUTHORITY

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	This replat is not located along an existing or foreseeably planned CCRTA service route.	Ok	Addressed		

#### NAS-CORPUS CHRISTI

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment	Ok	Addressed		

#### CORPUS CHRISTI INTERNATIONAL AIRPORT

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	5.75 miles from the nearest airport (Cabaniss Field). The proposed plat location is not within any approach path, clear zone, or military compatibility area of the airport.	Ok	Addressed		

#### AEP-TRANSMISSION

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment	No response	Addressed		

#### AEP-DISTRIBUTION

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment	No response	Addressed		

#### TXDOT

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment	No response	Addressed		

#### NUECES ELECTRIC

No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No comment	No response	Addressed		

#### INFORMATIONAL

Comments noted below apply to the preliminary site/utility/transportation plan and preliminary storm water quality management plan (SWQMP) as observations for information only.

These comments should be considered during subsequent site and public infrastructure development but may be required as a condition for plat consideration by the Planning Commission for approval.

Additional comments may be issued with the subsequent submittal plans associated with the property development.

#### LAND DEVELOPMENT

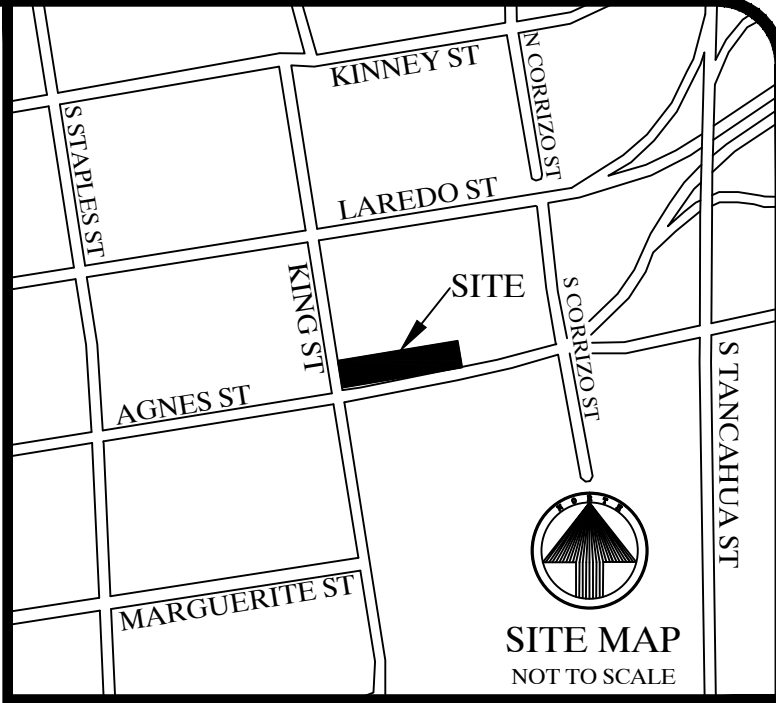
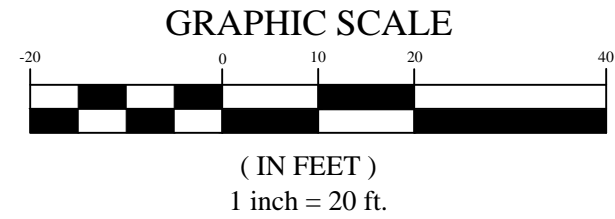
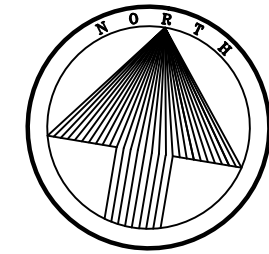
1. Prior to recordation, provide a tax certificate indicating that all taxes have a \$0.00 balance, along with the submittal of the original tracing.



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Corpus Christi, Texas 78411  
Office 361-850-1800  
Fax 361-850-1802  
bristersurveying@corpus.twcba.com  
Firm Registration No. 10072800

# PLAT OF CHAMBERLIN'S SUBDIVISION BLOCK 8, LOT 1R

BEING A PLAT OF A 0.258 ACRE TRACT DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2022013376, OFFICIAL RECORDS NUECES COUNTY, TEXAS. SAID 0.258 ACRE TRACT BEING OUT OF A 0.54 ACRE TRACT AS DESCRIBED IN A DEED RECORDED IN DOCUMENT NO. 2019027659, DEED RECORDS NUECES COUNTY, TEXAS AND ALSO BEING OUT OF LOTS 1, 2, 3, 4, AND 5, BLOCK 8, "CHAMBERLIN'S SUBDIVISION" AS SHOWN ON THE PLAT RECORDED IN VOLUME A, PAGE 16, MAP RECORDS NUECES COUNTY, TEXAS.



0.28 ACRES BEING  
REMAINDER OF 0.54 ACRES  
DOC. NO. 2019027659, O.R.N.C.T.  
BEING NORTH 55' OF LOTS 1-5, BLOCK 8  
CHAMBERLIN'S SUBDIVISION, AND  
PORTION OF R.B. CURRY TRACT, WHICH  
IS PART OF 100 ACRE SCHATZEL TRACT

0.15 ACRES DESCRIBED IN  
DOC. NO. 2004005632, O.P.R.N.C.T.  
BEING PORTION OF TRACT  
CONVEYED TO W.A. McCORD  
VOL. 32, PG. 206, D.R.N.C.T.

0.18 ACRES DESCRIBED IN  
VOL. 2232, PG. 773, D.R.N.C.T.  
BEING THE SOUTH 45'  
OF A 105' X 175' TRACT  
DESCRIBED IN VOL. 136,  
PGS. 336 - 337, D.R.N.C.T.

STATE OF TEXAS  
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS  
APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, PLANNING  
COMMISSION, OF THE CITY OF CORPUS CHRISTI, TEXAS.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

KAMRAN ZARGHOUNI  
CHAIRMAN

AL RAYMOND III, A.I.A.  
SECRETARY

STATE OF TEXAS  
COUNTY OF NUECES

THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS  
APPROVED BY THE DEVELOPMENT SERVICES ENGINEER OF THE  
CITY OF CORPUS CHRISTI, TEXAS.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

BRIA A. WHITMIRE, P.E., CFM, CPM  
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS  
COUNTY OF NUECES

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES  
COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING  
INSTRUMENT DATED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022, WITH ITS  
CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY  
OFFICE THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 AT \_\_\_\_\_ O'CLOCK \_\_\_\_M IN  
SAID COUNTY IN VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_ MAP RECORDS.

WITNESS MY HAND AND SEAL OF THE COUNTY COURT, IN AND FOR  
SAID COUNTY AT MY OFFICE, IN CORPUS CHRISTI, TEXAS, THE DAY  
AND YEAR LAST WRITTEN.

NO. \_\_\_\_\_  
FILED FOR RECORD

KARA SANDS, CLERK  
NUECES COUNTY, TEXAS

AT \_\_\_\_\_ O'CLOCK \_\_\_\_M

STATE OF TEXAS  
COUNTY OF NUECES

I, RONALD E. BRISTER, A REGISTERED PROFESSIONAL LAND  
SURVEYOR OF BRISTER SURVEYING, HAVE PREPARED THE  
FOREGOING MAP FROM A SURVEY MADE ON THE GROUND UNDER  
MY DIRECTION AND IT IS TRUE AND CORRECT TO THE BEST OF MY  
KNOWLEDGE, INFORMATION AND BELIEF.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

RONALD E. BRISTER  
REGISTERED PROFESSIONAL LAND SURVEYOR

DATE OF MAP: 20 DECEMBER 2022

C1  
R = 10.00'  
L = 15.71'  
TAN = 10.00'  
Δ = 90° 00' 16"  
CB = N54° 26' 58"W, 14.14'

STATE OF TEXAS  
COUNTY OF NUECES

WE, M2J3 TEXAS CONSTRUCTION, LLC, DO HEREBY CERTIFY THAT  
WE ARE THE OWNERS OF THE PROPERTY SHOWN HEREON, WE  
HAVE HAD SAID LAND SURVEYED AS SHOWN ON THE FOREGOING  
MAP. THIS MAP HAS BEEN PREPARED FOR THE PURPOSE OF  
DESCRIPTION AND DEDICATION.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

MATTHEW ZAVAGLIA  
MANAGER

STATE OF TEXAS  
COUNTY OF NUECES

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY  
PERSONALLY APPEARED BEFORE ME, MATTHEW ZAVAGLIA, THE  
PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING  
INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED  
THE SAME AS THE ACT AND DEED OF SAID LANDS FOR THE  
PURPOSE AND CONSIDERATION THEREIN EXPRESSED, AND IN THE  
CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

NOTARY PUBLIC

NOTES (CONT.):

4. SET 5/8" RE-BAR = STEEL RE-BAR SET WITH YELLOW PLASTIC  
CAP LABELED BRISTER SURVEYING.

5. THE TOTAL PLATTED AREA IS 0.258 ACRES, INCLUDING STREET  
DEDICATION.

6. THE YARD REQUIREMENT, AS DEPICTED, IS A REQUIREMENT  
OF THE UNIFIED DEVELOPMENT CODE AND IS SUBJECT TO  
CHANGE AS THE ZONING MAY CHANGE.

7. IF ANY LOT IS DEVELOPED WITH RESIDENTIAL USES,  
COMPLIANCE WITH THE OPEN SPACE REGULATION WILL BE  
REQUIRED DURING THE BUILDING PERMIT PHASE.

NOTES:

1. THE RECEIVING WATER FOR THE STORM WATER RUNOFF FROM THIS  
PROPERTY IS THE CORPUS CHRISTI BAY. THE TCEQ HAS CLASSIFIED THE  
AQUATIC LIFE USE FOR THE CORPUS CHRISTI BAY AS "EXCEPTIONAL" AND  
"OYSTER WATERS". TCEQ ALSO CATEGORIZED THE CORPUS CHRISTI BAY  
AS "CONTACT RECREATION" USE.

2. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" ON THE  
FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48355C 0320 G, WHICH  
BEARS AN EFFECTIVE DATE OF OCTOBER 13, 2022 AND IS NOT IN A SPECIAL  
FLOOD HAZARD AREA.

3. MEASURED BEARINGS ARE BASED ON GLOBAL POSITIONING SYSTEM NAD 83  
(93) 4205 DATUM.

LEGEND:  
CL = CENTERLINE  
M.R.N.C.T. = MAP RECORDS OF NUECES COUNTY, TEXAS  
PG. = PAGE  
S.F. = SQUARE FEET  
VOL. = VOLUME

⊙ = FOUND 5/8" RE-BAR (FRONTIER)  
● = FOUND 5/8" RE-BAR  
⦿ = SET 5/8" RE-BAR

**TECHNICAL REVIEW PLAT REQUIREMENTS  
REGULAR PLANNING COMMISSION MEETING  
January 11, 2023**

PROJECT: 22PL1166

SMT CORPUS LOKEY SUBDIVISION LOT 2 TRACT A & B (7.07 - ACRES)

Located north of Holly Rd. and east of Staples

Zoned: IL

Owner: Bells of Holly / Richard O. Serna

Surveyor/Engineer: Melden and Hunt, Inc.

The applicant proposes to plat the property to develop property. The submitted plat satisfies the requirements of the Unified Development Code and State Law, and the Technical Review Committee recommends approval. All comments requiring resolution prior to Planning Commission approval have been addressed.



**TECHNICAL REVIEW COMMITTEE (TRC) PLAT REVIEW COMMENTS**

Interdepartmental Staff and outside agencies have reviewed and prepared comments for the proposed plat. These comments are intended to be final.  
 All plats must comply with applicable review criteria. All corrected plats must be submitted with a comment resolution (response) letter for staff review.  
**\*\*\*The application will be considered void after 180 days if no comments are submitted responding to distributed TRC comments.\*\*\***

Staff Only/District#: MZ / 3  
 App Received: 11/8/2022  
 TRC Meeting Date: 11/17/2022  
 TRC Comments Sent Date: 11/21/2022  
 Revisions Received Date (R1): 12/7/2022  
 Staff Response Date (R1): 12/7/2022  
 Revisions Received Date (R2):  
 Staff Response Date (R2):  
 Planning Commission Date: 1/11/2023

PC Date 1/11/2023  
 All comments addressed

Major plats, in compliance with review criteria, are recommended for approval to the Planning Commission by the TRC. Development Services staff will determine when the plat is scheduled for Planning Commission.  
 Administrative plats, in compliance with review criteria, are approved by the Director on a rolling basis.

Project: 22PL1166

**SMT Corpus Lokey Subdivision Lot 2 Tract A & B 7.07 Ac.**  
 Located north of Holly Rd. and east of Staples

**Zoned: IL**

**Owner: Bells of Holly / Richard O. Serna**  
**Surveyor: Melden and Hunt, Inc.**

The applicant proposes to plat the property to develop property.

GIS					
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response
1	Plat	Plat closes to acceptable engineering standards. (TSPS Manual of Practice Appendix A, Condition 3; Suburban Traverse Error of Closure)		Addressed	
2	Plat	Lot and block number is required for platted area.	There is only 1 Lot therefore no need to have a block No.	Addressed	
LAND DEVELOPMENT					
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response
1	Plat	Please revise plat as per the Platting - Land Development templates found on the DS website.	Done. See revision to plat.	Addressed	
2	Plat	Provide legal description for lots being platted.	Done. See revision to plat.	Addressed	
3	Plat	Change PC chairman name to Kamran Zarghouni	Done. See revision to plat.	Addressed	
4	Plat	Change Dev. Ser. Engineer name to Bria Whitmire P.E., CFM, CPM	Done. See revision to plat.	Addressed	
5	Plat	Depict and label tracts, lots, and easements (U.E., DE, etc.) on the plat. Provide a 10' UE along Holly Road.	Done. See revision to plat.	Addressed	
6	Plat	Provide the square footage for each tract or lot under the Lot label.	Done. See revision to plat.	Addressed	
7	Plat	Depict yard requirements along Holly Road and other road on the plat as per the zoning district. A street name may need to be labeled if there has not been a recording showing a named street.	Done. See revision to plat.	Addressed	
8	Plat	Remove the elevations from the plat.	Done. See revision to plat.	Addressed	
9	Plat	Change sheet numbers to read 1 of 1 (if plat is one page).	Done. See revision to plat.	Addressed	
10	Plat	In the ownership certification, SMT Corpus is stated as owner, the current owner is Bells of Holly LLC as per the submitted deed. Please correct the ownership or provide updated Deeds.	Name of the Plat is SMT Corpus Land. Landowner is correctly depicted in the signature line.	Addressed	
11	Infor.	What type of development is going onto the property?	Stand Alone Battery Energy Storage	Addressed	
12	Plat	Mobility plans call for Multi-use Trail along rear of property.	Public sidewalk easement added to plat. SMT Energy plans to apply for a Deferment Agreement.	Prior to recordation.	
13	Plat	Delineate the south boundary without the Drainage Easement and correct the square footage to the Lot label only. Provide a plat note, "Total square footage with storm dedication is 6.881 acres.	Lot is shown as entire property owned by Bells of Holly. Note depicting net acreage is located on Note #11.	Addressed	
14	Fees	Commercial or etc. Water Acreage Distribution Fees: 7.08 Ac x 1,741.19 = \$12,327.63	Thank you	To be paid prior to recordation	
15	Fees	Commercial or etc. Wastewater Acreage Fees: 7.08 Ac. x 1,900.01 = \$13,458.44	Thank you	To be paid prior to recordation	
PLANNING/Environment & Strategic Initiatives (ESI)					
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response
1	Plat	No comment recieved.			

DEVELOPMENT SERVICES ENGINEERING		
Action	Yes	No
Public Improvements Required?		
Water		No
Fire Hydrants		No
Wastewater	Yes, in order to connect	
Manhole		No

Stormwater		No
Sidewalks		No
Streets		No

Refer to UDC Section 3.8.3.D Waivers if applicable.

<b>Applicant Response on Waiver:</b>		
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DEVELOPMENT SERVICES ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Change the name of the engineer from Gabriel Hinojosa, P.E. to Bria Whitmire, P.E., CFM, CPM.	Redundant with comment above	Accepted.		
2	Plat	Public Improvements Plans are required for wastewater; submit a .PDF copy of proposed Public Improvements along with a title sheet to Publicimprovmnts@CCTexas.com for review and approval prior to Final Plat Recordation, UDC 8.1.3.A	No wastewater required for this project. No offices or restrooms to be on site. This is an unmanned battery energy storage facility.	See wavier		
3	Utilities	Please provide details that show how they are going to connect to the city main or write a comment referring the city of corpus Christi pertaining standard. Standard Specifications <a href="https://www.cctexas.com/promo/standard-specifications">https://www.cctexas.com/promo/standard-specifications</a> Standard Details <a href="https://www.cctexas.com/promo/standard-details">https://www.cctexas.com/promo/standard-details</a>	See Tapping Sleeve and Valve Installation Detail.	Accepted.		
4	Utilities	Label 8" waterline as private with valve at property line. A dead end line longer than 100' requires to be looped to ensure water flow and avoid stagnation that can cause disinfection issues. Confirm layout with Utilities.	No wastewater required for this project. No offices or restrooms to be on site. This is an unmanned battery energy storage facility.	See wavier		
5	Utility Plan	The Utility Plan indicates an 8" water line will cross Holly in order to connect to another 8" water line. Crossing Holly is not allowed and there is a 12" water line in front of the lot that could possibly be tapped into, confirm with CCW	Please see revision indicating connection to new 12" water line.	Accepted.		
6	Utility Plan	Holly Road is an 95 ft arterial road. Crossing of Arterials to connect is not allowed. The wastewater line will need to be developed along the front of the lot as part of the platting process and an alternative path of connection to the wastewater system will be necessary. Confirm layout with Utilities.	No wastewater required for this project. No offices or restrooms to be on site. This is an unmanned battery energy storage facility.	See wavier		
7	Utility Plan	Per Section 3.04 b. d & e of the Infrastructure Design Manual, the minimum pipe size for storm sewer pipe is 18 inches. Confirm the 8" SD is to control max flow.	8" is required to control the max flow. Still shown as 8".	Accepted.		
8	SWQMP	Please submit a Storm Water Management Plan (SWQMP) civil drawing sheets separately the ones on the report Appendix B were very blurry and could be read.	SWQMP still subject to change because site plan has not been finalized. Suggest to submit civil plans at a later date due to potential equipment location changes.	Accepted.		
9	SWQMP	Storm water detention facilities shall be designed to release the post-development storm water runoff from a site at a controlled rate, which does not exceed the pre-developed peak runoff rate. IDMC 3.05.b Pre-Developed Peak Runoff	Project is using a reduced outfall pipe size (8" instead of 18") to control the max flow rate and ensure water runoff does not exceed the pre-developed peak runoff rate. See revision to SWQMP.	Accepted.		
10	SWQMP	Provide contours or flow direction arrows to document pre-, and post- Development flow patterns (onsite and offsite to the final receiving waters). And state how off-site flow contributions are to be managed. (MC - 1002, 1003, UDC 8.2.8.B)	See additional sheets showing contours and flow direction arrows. Project is using a reduced outfall pipe size (8" instead of 18") to control the max flow rate and ensure water runoff does not exceed the pre-developed peak runoff rate. See revision to SWQMP.	Accepted.		
11	SWQMP	Provide a brief description of the Project to include current land use, proposed land use and density, existing drainage structures on or near the site and proposed drainage structures to be constructed with the development. (MC14-1002)	Please see updated description in Section 1.0, Page 6.	Accepted.		
12	SWQMP	Cite the source and rational for selection of rainfall intensity and runoff coefficient values. (MC 14-1002)	Done. See revision to plat.	Accepted.		

UTILITIES ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	No water construction is required for platting. There is an existing 12" PVC water line that extends along the south side of Holly Rd and fronting the subject property. Water service connection should be made to the 12" line and not across the street as shown on the Utility Layout.	Please see revision indicating connection to new 12" water line.	Addressed		
2	Plat	Wastewater construction may be required for platting (UDC 1.2.1.D & 8.2.7; Wastewater Collection System Standards). Nearest point of connection appears to be an 8" sanitary sewer line crossing Holly Rd at Briarwood St.	No wastewater required for this project. No offices or restrooms to be on site. This is an unmanned battery energy storage facility.	See wavier		

TRAFFIC ENGINEERING						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Proposed driveway access to a public City Street shall conform to access management standards outlined in Article 7 of the UDC (UDC 7.1.7)	Done. See revision to plat.	Addressed		

FLOODPLAIN						
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution
1	Plat	Please provide floodplain information as per the latest FEMA maps.	See community panel number at top of General Plat notes.	Addressed		

FIRE DEPARTMENT - INFORMATIONAL, REQUIRED PRIOR TO BUILDING PERMIT					
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No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution		
1	Infor	Note: All code reference is based on currently adopted International Fire Code (IFC) 2015 and Corpus Christi Water Distribution Standards.	Informational	Addressed				
2	Infor	Commercial Development shall have a fire flow of 1,500 GPM with 20 psi residual Fire hydrant every 300 feet and operational.	Informational	Addressed				
3	Infor	If the property use is commercial, the fire flow requirements shall be a minimum of 1,500 GPM at 20 PSI residual. If the property use is industrial, the fire flow requirements shall be a minimum of 3,000 GPM with 20 psi residual. The requirement for each shall be resolved at the Development Service or Building phase of the project.	Informational	Addressed				
4	Note	A water flow survey should be conducted to determine if the water infrastructure will suffice to obtain the necessary fire flow requirements if the use is determined to be industrial.	Informational	Addressed				
5	Infor	507.5.1 (amendment) Where Required: All premises, other than one-family detached dwellings, where buildings or portions of buildings are located more than 150 feet from a fire hydrant shall be provided with approved on-site hydrants and water mains capable of supplying the fire flow require by the fire official. The minimum arrangement being so as to have a hydrant available for distribution of hose to any portion of building on the premises at distances not exceeding 300 feet. Exception: For buildings equipped with an approved automatic sprinkler system, the distance requirement shall be 500 feet.	Informational	Addressed				
6	Infor	912.2.3 (amendment) Proximity to Hydrant: Fire department connections (FDC) (if required) for each sprinkler system or standpipe system shall be located not more than 100 feet from the nearest fire hydrant connected to an approved water supply. If a water-based extinguishment system is installed.	Informational	Addressed				
7	Infor	503.1.1 (amendment) Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall allow access to three (3) sides of buildings in excess of fifteen thousand (15,000) square feet and all sides for buildings in excess of thirty thousand (30,000) square feet. During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.	Informational	Addressed				
8	Infor	3310.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.	Informational	Addressed				
9	Infor	D102.1 Access and loading. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.	Informational	Addressed				
10	Infor	503.1.1 (amendment) Buildings and facilities: During construction, when combustibles are brought on to the site in such quantities as deemed hazardous by the fire official, access roads and a suitable temporary supply of water acceptable the fire department shall be provided and maintained.	Informational	Addressed				
11	Note	An accessible road and a suitable water supply is once construction materials are brought on site.	Informational	Addressed				
12	Infor	503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches.	Informational	Addressed				
13	Infor	D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.	Informational	Addressed				
14	Infor	The minimum required width of 20 feet means clear unobstructed path that allows the passage of fire apparatus. A street that is constructed to the minimum of 20 feet means that no parking can be allowed on both sides of the street. Where a fire hydrant is located on the street, the minimum road width is 26 feet unobstructed. In this instance, no parking is allowed on one side of the street. If parking is allowed along a street, the minimum width required is 32 feet. Any obstruction can seriously affect emergency service response.	Informational	Addressed				
15	Infor	503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in sections D103 shall always be maintained.	Informational	Addressed				

16	Infor	503.3 Marking: Where required by the fire code official, approved signs, or other approved notices the include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads to prohibit the obstruction thereof. The designation of a fire lane can be marked with conspicuous signs which have the words:" Fire Lane-No Parking" at 50-foot intervals. In lieu of signs, fire lanes may be marked along curbing with the wording, "Fire Lane-No Parking" at 15-foot intervals.	Informational	Addressed					
17	Infor	503.2.5 Dead ends. Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus.	Informational	Addressed					
18	Infor	Commercial or Industrial development of the property will require further Development Services and Fire Department review.	Informational	Addressed					
<b>GAS</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	No comment	No response required	Addressed					
<b>PARKS</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	Add the following standard "Public Open Space" standard note: "If any lot is developed with residential uses, compliance with the open space regulation will be required during the building permit phase."	Done. See revision to plat.	Addressed					
<b>REGIONAL TRANSPORTATION AUTHORITY</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	This final plat is not located along an existing or foreseeably planned CCRTA service route.	No response required	Addressed					
<b>NAS-CORPUS CHRISTI</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	No comments	No response required	Addressed					
<b>CORPUS CHRISTI INTERNATIONAL AIRPORT</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	No comment	No response required	Addressed					
<b>AEP-TRANSMISSION</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	AEP requests to see centerline of Transmission Line as well as referencing the volume and page of Transmission Line. Once that first step is done we will follow up with our comments for required ROW widths.	See "TL" noted along Holly Rd. See Document No. 20220515006 added to easement description.	Addressed					
<b>AEP-DISTRIBUTION</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	AEP distribution is requesting to identify and encompass the underground distribution in an AEP electric easement.	Existing distribution will be abandoned.	Addressed					
<b>TXDOT</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	No comment		Addressed					
<b>NUECES ELECTRIC</b>									
No.	Sheet	Comment	Applicant Response	Staff Resolution	Applicant Response	Staff Resolution			
1	Plat	No comment		Addressed					

#### INFORMATIONAL

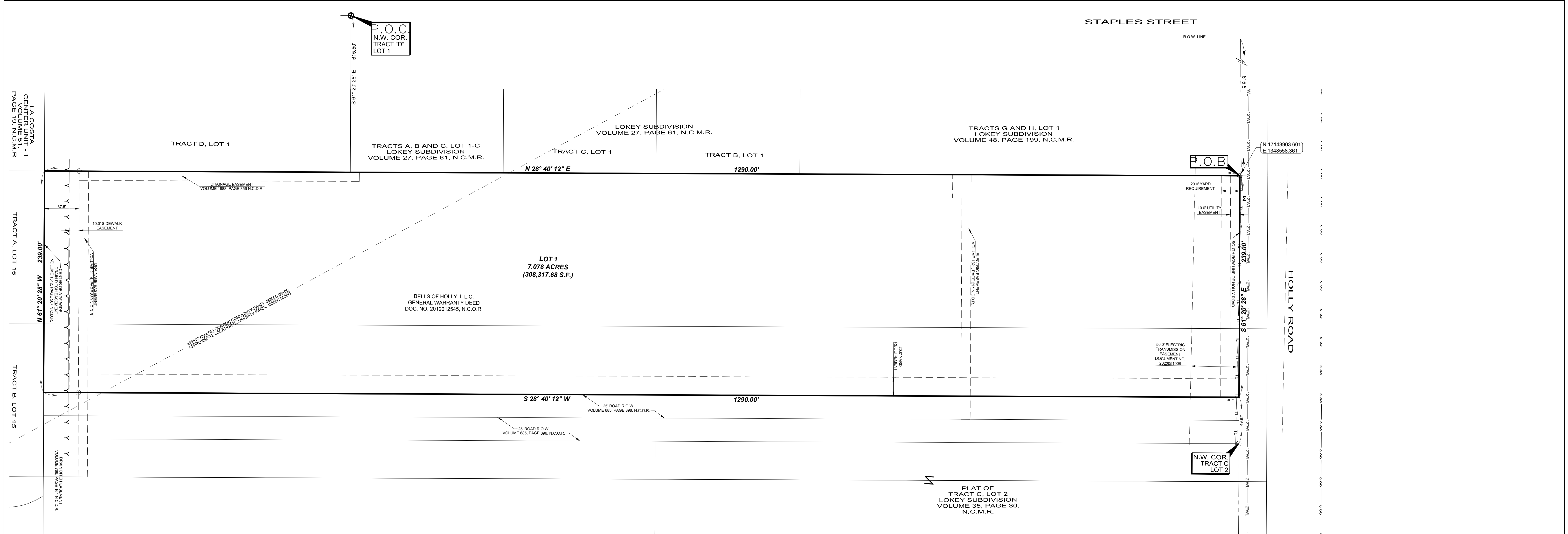
Comments noted below apply to the preliminary site/utility/transportation plan and preliminary storm water quality management plan (SWQMP) as observations for information only.

These comments should be considered during subsequent site and public infrastructure development but may be required as a condition for plat consideration by the Planning Commission for approval.

Additional comments may be issued with the subsequent submittal plans associated with the property development.

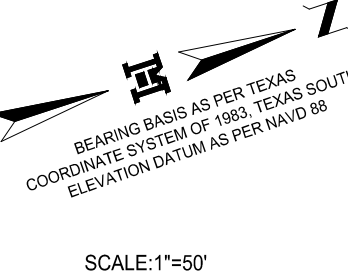
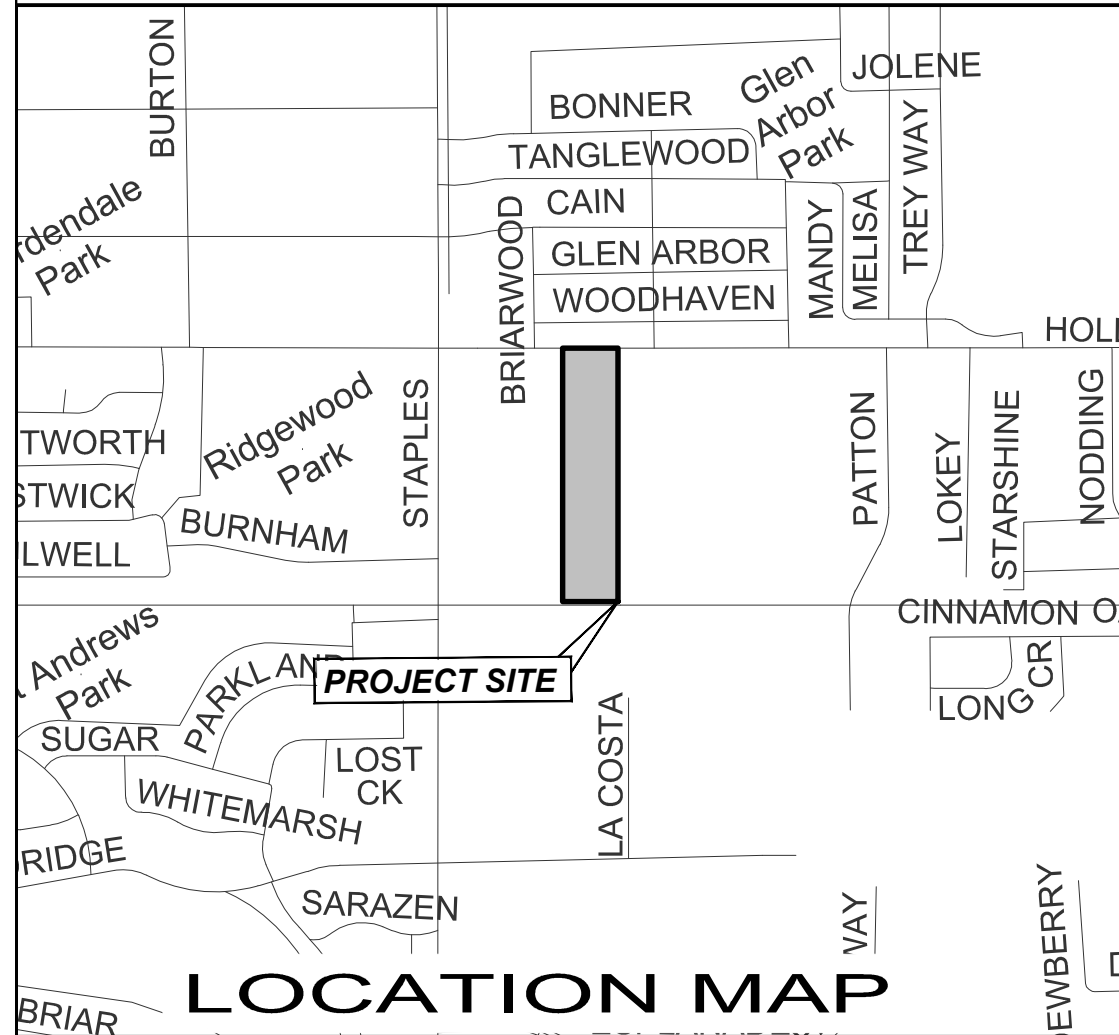
#### LAND DEVELOPMENT

1. Prior to recordation, provide a tax certificate indicating that all taxes have a \$0.00 balance, along with the submittal of the original tracing.



# FINAL PLAT SMT CORPUS

BEING 7.078 ACRES OUT OF TRACTS A AND B, LOT 2, LOKEY  
SUBDIVISION, VOLUME 7, PAGE 16, CORPUS CHRISTI, NUECES  
COUNTY MAP RECORDS



- LEGEND**
- FOUND No. 4 REBAR
  - ▲ FOUND COTTON PICKER SPINDLE
  - FOUND PK NAIL
  - SET No. 4 REBAR WITH PLASTIC
  - CAP STAMPED MELDEN & HUNT
  - SET NAIL
  - A.A. - EDGE OF ASPHALT TO EDGE OF ASPHALT
  - R.O.W. - RIGHT-OF-WAY
  - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
  - S.W. COR. - SOUTHWEST CORNER
  - DOC No. - DOCUMENT NUMBER
  - ( ) - DEED CALLS



DRAWN BY: GABRIEL F. / JOSH F. DATE: 12-05-22  
SURVEYED, CHECKED DATE: \_\_\_\_\_  
T. PG. DATE: \_\_\_\_\_  
FINAL CHECK DATE: \_\_\_\_\_

**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

- GENERAL PLAT NOTES & RESTRICTIONS.
- FLOOD ZONE STATEMENT: ZONE "C". ZONE "C" ARE AREAS OF MINIMAL FLOODING.
- COMMUNITY-PANEL NUMBER: 48355C 0510G & 48355C 0530 G, MAP REVISED: 10/13/2022
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS, AS PER NAVD 88 [ GEOID 128 ]:  
BENCH MARK No.1-
  - IN ACCORDANCE WITH THE NUECES COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF .67,565 CUBIC-FEET (1,551 ACRE-FEET) OF STORM WATER RUNOFF.
  - THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, AT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS OF THIS SUBDIVISION.
  - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWP) REQUIREMENTS.
  - ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A REQUIRED OR CALCUATED SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH NUECES COUNTY CONSTRUCTION.
  - ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE NUECES COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
  - THERE ARE NO VISIBLE WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
  - PROPOSED DRIVEWAYS SHALL CONFORM TO ACCESS MANAGEMENT STANDARDS.
  - IF ANY LOT IS DEVELOPED WITH RESIDENTIAL USES, COMPLIANCE WITH OPEN SPACE REGULATION WILL BE REQUIRED DURING THE BUILDING PERMIT PHASE.
  - 20 FOOT YARD REQUIREMENT ALONG PUBLIC ROADS
  - TOTAL NET ACREAGE OF LOT 1 IS 6.881 ACRES (299,736.36 SQUARE FEET) EXCLUDING THE DRAINAGE EASEMENT.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OR IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE COUNTY OF HIDALGO, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ROBERTO N. TAMEZ, R.P.L.S. No. 6238  
STATE OF TEXAS

DATE SURVEYED: 08-08-2022  
T. PG. \_\_\_\_\_  
SURVEY JOB # 22129 08



PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	RICHARD O. SERNA	4810 EVERHART RD.	CORPUS CHRISTI, TX 78411-2738	C/O(956)381-0981	C/O(956)381-1839
ENGINEER:	KELLEY A. HELLER-VELA	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERT TAMEZ	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

## METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 7.078 ACRES SITUATED IN THE CITY OF CORPUS CHRISTI, COUNTY OF NUECES, TEXAS, BEING OUT OF TRACTS A AND B, LOT 2, LOKEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7, PAGE 16, NUECES COUNTY MAP RECORDS, SAID 7.078 ACRES ARE OUT OF A 8.757 ACRE TRACT CONVEYED TO BELLS OF HOLLY, LLC, BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2012012545, NUECES COUNTY OFFICIAL RECORDS, SAID 7.078 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING, AT A NO. 5 REBAR FOUND AT THE NORTHEAST CORNER OF TRACT D, LOT 1, SAID LOKEY SUBDIVISION AND EXISTING EAST RIGHT-OF-WAY LINE OF STAPLES STREET;

THENCE, S 61° 20' 28" E, ALONG THE NORTH LINE OF SAID TRACT D, LOT 1, AT A DISTANCE OF 10.00 FEET PASS THE SOUTHWEST CORNER OF TRACTS A, B AND C, LOT 1-C, LOKEY SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 27, PAGE 61, NUECES COUNTY MAP RECORDS, CONTINUING A TOTAL DISTANCE OF 615.50 FEET TO THE NORTHEAST CORNER OF SAID TRACT D, LOT 1, AND THE WEST LINE OF SAID TRACT A, LOT 1, AND THE WEST LINE OF SAID TRACT A, LOT 2;

THENCE, N 28° 40' 12" E, ALONG THE WEST LINE OF SAID TRACT A, LOT 2, A DISTANCE OF 960.00 FEET TO THE EXISTING SOUTH RIGHT-OF-WAY LINE OF HOLLY ROAD, FOR THE POINT OF BEGINNING, AND THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 61° 20' 28" E, ALONG THE EXISTING SOUTH RIGHT-OF-WAY LINE OF HOLLY ROAD, AT DISTANCE OF 165.00 FEET PASS THE EAST LINE OF SAID TRACT A, LOT 2 AND THE WEST LINE OF TRACT B, LOT 2, CONTINUING A TOTAL DISTANCE OF 239.00 FEET TO A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF A 25-FOOT ROAD RIGHT-OF-WAY RECORDED IN VOLUME 685, PAGE 396, NUECES COUNTY DEED RECORDS, FROM WHICH THE NORTHWEST CORNER OF TRACT C, LOT 2 OF THE TRACT C, LOT 2, LOKEY SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 35, PAGE 30, NUECES COUNTY MAP RECORDS, BEARS S 61° 20' 28" E, A DISTANCE OF 50.00 FEET, FOR THE NORTHEAST CORNER OF THIS TRACT;

2. THENCE, S 28° 40' 12" W, ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF SAID 25-FOOT ROAD RIGHT-OF-WAY, AT A DISTANCE OF 1,242.45 FEET PASS A NO. 4 REBAR SET ON THE NORTH EASEMENT LINE OF A DRAINAGE EASEMENT RECORDED IN VOLUME 2114, PAGE 889, NUECES COUNTY DEED RECORDS, CONTINUING A TOTAL DISTANCE OF 1,290.00 FEET TO THE CENTER OF SAID DRAINAGE DITCH, FOR THE SOUTHEAST CORNER OF THIS TRACT;

3. THENCE, N 61° 20' 28" W, AT A DISTANCE OF 74.00 FEET PASS THE WEST LINE OF SAID TRACT B, LOT 2 AND THE EAST LINE OF SAID TRACT A, LOT 2, CONTINUING A TOTAL DISTANCE OF 239.00 FEET TO A POINT IN THE CENTER OF SAID DRAIN DITCH, FOR THE SOUTHWEST CORNER OF THIS TRACT;

4. THENCE, N 28° 40' 12" E, AT A DISTANCE OF 47.5 FEET PASS A NO. 4 REBAR SET ON THE NORTH LINE OF SAID DRAINAGE EASEMENT, CONTINUING A TOTAL DISTANCE OF 1,290.00 FEET, TO THE POINT OF BEGINNING AND CONTAINING 7.078 ACRES OF WHICH 0.197 OF ONE ACRE LIES IN THE DRAIN DITCH EASEMENT, LEAVING A NET OF 6.881 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS §  
COUNTY OF NUECES §  
THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY WAS APPROVED ON BEHALF OF THE CITY OF CORPUS CHRISTI, TEXAS BY THE PLANNING COMMISSION.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

KAMRAN ZARGHOUNI  
CHAIRMAN

AL RAYMOND, III, AIA, CBO  
SECRETARY

STATE OF TEXAS §  
COUNTY OF NUECES §  
THIS FINAL PLAT OF THE HEREIN DESCRIBED PROPERTY APPROVED BY THE DEPARTMENT OF THE DEVELOPMENT SERVICES OF THE CITY OF CORPUS CHRISTI, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BRIA WHITMIRE, P.E., CFM, CFM  
DEVELOPMENT SERVICES ENGINEER

STATE OF TEXAS  
COUNTY OF NUECES

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT, DESIGNATED HEREIN AS SMT CORPUS LAND TO THE CITY OF CORPUS CHRISTI, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

RICHARD O. SERNA  
BELLS OF HOLLY LLC  
4810 EVERHART RD.  
CORPUS CHRISTI, TX 78411-2738

DATE \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF NUECES §

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

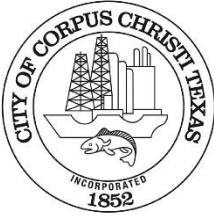
NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF NUECES §

I, KARA SANDS, CLERK OF THE COUNTY COURT IN AND FOR NUECES COUNTY, TEXAS, HEREBY CERTIFY THAT THE FORE GOING INSTRUMENT DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022, WITH THIS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. AND DULY RECORDED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., IN VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_ (M.R.N.C.T.).

WITNESS MY HAND AND SEAL OF OFFICE IN CORPUS CHRISTI, TEXAS. THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

KARA SANDS, COUNTY CLERK



## AGENDA MEMORANDUM

Planning Commission Meeting of January 11, 2023

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**DATE:** January 11, 2023

**TO:** Al Raymond, Director of Development Services

**FROM:** Bria A. Whitmire, Engineer V, Development Services  
briaaw@cctexas.com  
(361) 826-3268

### **SMT Corpus**

Request for a plat waiver for the wastewater infrastructure requirements  
in Sections 3.30.1.A, 3.30.2.C, 8.1.4 and 8.2.7 of the Unified Development Code

### **BACKGROUND:**

I, James Leabman, on behalf of SMT Energy owner of the referenced property, would like to request waiver for the construction of the wastewater line.

The subject property, known as the proposed **SMT Corpus** (6.881 acres +/-), located south of Holly Road. The land is zoned "IL" District. The original subdivision (Vol 7 Page 16) was approved by the Commissioners Court of Nueces County and recorded in 1940. The City of Corpus Christi annexed the area in 1962. Holly Road is not on the wastewater Master Plan.

The current lot is vacant, and water and stormwater lines are running in front of the property but there is no wastewater line.

**The waiver request** is for the construction of the wastewater line from the closest manhole to the east edge of the property to meet the UDC plat requirements. The distance for the wastewater line is approximately 200 feet, which would require a total of 450 feet to include the full frontage.

### **STAFF ANALYSIS and FINDINGS:**

UDC Section 3.30.1.A, 3.30.2.C, 8.1.4 and 8.2.7 requires construction of a wastewater line as part of the platting process as long there is an existing collection line of adequate capacity within 1,000 ft. of the property.

The waiver may be approved, approved with conditions, or denied after consideration of the following factors:

1. The granting of the waiver shall not be detrimental to the public health, safety or general welfare, or be injurious to other property in the area, or to the City in administering this Unified Development Code;
2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity.
3. Application of a provision of this Unified Development Code will render subdivision of land unfeasible; or
4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of this Unified Development Code.

### **Factors in Support of the waiver request for the construction of the wastewater infrastructure**

1. The granting of the waiver shall not be detrimental to the public health, safety or general welfare, or be injurious to other property in the area, or to the City in administering this Unified Development Code.
2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity.
3. Application of a provision of this Unified Development Code will render subdivision of land unfeasible.
4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of this Unified Development Code.
5. This project is a utility only and will have no facilities onsite, thus no need a septic system or wastewater connectivity going forward. All other surrounding properties are already connected to the City's wastewater system.

### **Factors weighing against the waiver request for the construction of wastewater infrastructure**

1. Wastewater service is reasonably accessible for this area as the nearest wastewater connectivity is around 200 feet away, which would be a 450 foot installation to include the full frontage. Per UDC section 8.2.7.d.ii:

*"Collection Lines of adequate capacity to service the proposed development are within 1,000 feet of the subdivision and can be extended in accordance with Subsection 8.2.7.A of this Code."*

2. Similar case: AT&T utility site without onsite facilities built the required wastewater infrastructure per the UDC without going through the waiver process.

**STAFF RECOMMENDATION:**

Staff recommends **approval of the waiver** request for the construction wastewater line to meet UDC plat requirements.

Planning Commission may choose to follow or decline Staff's recommendation, and Planning Commission may approve, approve with conditions, or deny the waiver request.

**LIST OF SUPPORTING DOCUMENTS:**

Exhibit A – Final Plat

Exhibit B – Waiver Request Letter

Exhibit C – Cost Estimate

Exhibit D – PowerPoint Presentation-Waiver from Wastewater, Street and Public Improvements  
Sidewalk Requirement



## Exhibit A

[illegible]

## Exhibit B



December 20, 2022

**Submitted by:**

James Leabman  
Director of Development, SMT Energy  
Phone: 781.801.2317  
Email: [James@smtenergy.com](mailto:James@smtenergy.com)

**Submitted to:**

Mr. Mark Zans  
City Planner, Corpus Christi  
Phone: 361.826.3553  
Email: [MarkZ2@cctexas.com](mailto:MarkZ2@cctexas.com)

**Re: 22PL1166 SMT Corpus LLC - Standalone Energy Storage Project – Plat Wastewater Waiver**

Mr. Zans,

I am writing to formally request a waiver of subdivision requirements specified by the Corpus Christi, Texas Unified Development Code ("UDC"). Specifically, SMT Energy requests a waiver of requirements under UDC 8.2.7 in accordance with UDC 3.8.3.D. Because the proposed development has zero wastewater needs, the waiving of requirements under UDC 8.2.7 will not be detrimental to public health, safety or general welfare.

UDC 3.8.3.D lists the following conditions determining the validity of a waiver request for a Preliminary Plat:

1. The granting of the waiver shall not be detrimental to the public health, safety or general welfare, or be injurious to other property in the area, or to the City in administering this Unified Development Code;
2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity;
3. Application of a provision of this Unified Development Code will render subdivision of land unfeasible; **or**
4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of this Unified Development Code

SMT Energy's request meets these conditions for the following reasons:

The requested waiver meets **condition 1** because the proposed use is an unmanned battery energy storage system with zero wastewater discharge. Therefore, waiving requirements under UDC 8.2.7 will not be detrimental to public health, safety or general welfare, or be injurious to other property in the area.



The requested waiver meets **condition 2** because it solely pertains to case 22PL1166

The requested waiver meets **condition 4** because it would not conflict with the Comprehensive Plan or the purposes of the UDC in any way. UDC 1.2.1 states that [its purpose is] "*to improve and protect the public health, safety, and welfare.*" As an unmanned use, the facility would not discharge wastewater. Therefore, waiving the wastewater requirement would not pose any danger to public health, safety, or welfare.

Thank you for your consideration.

Sincerely,  
James Leabman

## Exhibit C



### Exhibit A – Wastewater Connection Path and Budget

The proposed wastewater connection path would consist of 250 feet of subgrade construction, would originate from the northwest corner of the site and terminate at the wastewater manhole on the south side of Holly Road. The expected construction budget is \$100,000 due to significant excavation required and does not include ongoing maintenance requirements. Please see the map below for more details.





# **SMT Corpus**

## **Request for Plat Waiver for Wastewater Infrastructure**

Planning Commission Meeting  
January 11, 2023







# SMT Corpus



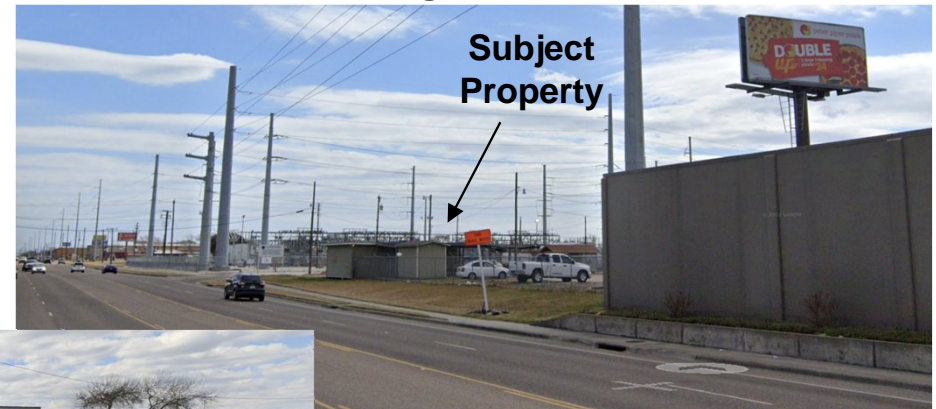


# Existing Conditions

Looking West



Looking East



Front







# Nearest Wastewater Connectivity





# Construction Cost Estimate



## Exhibit A – Wastewater Connection Path and Budget

The proposed wastewater connection path would consist of 250 feet of subgrade construction, would originate from the northwest corner of the site and terminate at the wastewater manhole on the south side of Holly Road. The expected construction budget is \$100,000 due to significant excavation required and does not include ongoing maintenance requirements. Please see the map below for more details.





# Plat Requirements

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UDC 3.30.1.A: requires installation of improvements, or financial guarantee, during platting

UDC 3.30.2.C: Required improvements include sanitary sewage disposal system

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## Plat Waiver UDC 3.8.3.D

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- Need for waiver shall be demonstrated to Planning Commission's satisfaction
  - The waiver may be approved, approved with conditions or denied after consideration of the following factors:
    1. Not detrimental to public health, safety, or general welfare, or be injurious to other property in area, or to the City;
    2. The conditions that create the need for the waiver shall not generally apply to other property in the vicinity;
    3. Application of the provision will render subdivision of land unfeasible; or
    4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of the UDC
-



# Factors In Support of Waiver

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1. Approval of the waiver is not detrimental to public health, safety, or general welfare, or be injurious to other property in area, or to the City;
  2. The conditions that create the need for the waiver do not generally apply to other property in the vicinity;
  3. Application of a provision of this Unified Development Code will render subdivision of land unfeasible; or
  4. The granting of the waiver would not substantially conflict with the Comprehensive Plan and the purposes of the UDC
  5. This project is a utility only and will have no facilities onsite, thus no need a septic system or wastewater connectivity going forward. All other surrounding properties are already connected to the City's wastewater system.
-



## Factors Against Waiver

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1. Wastewater service is reasonably accessible for this area as the nearest wastewater connectivity is around 200 feet away, which would be a 450 foot installation to include the full frontage. Per UDC section 8.2.7.d.ii:

*“Collection Lines of adequate capacity to service the proposed development are within 1,000 feet of the subdivision and can be extended in accordance with Subsection 8.2.7.A of this Code.”*

2. Similar case: AT&T utility site without onsite facilities built the required wastewater infrastructure per the UDC without going through the waiver process.
-



## Staff Recommendation

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Staff recommends approval of the waiver for the construction of wastewater infrastructure for SMT Corpus.

Planning Commission may choose to follow or decline Staff's recommendation, and Planning Commission may approve, approve with conditions, or deny the waiver request.

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# ZONING REPORT

Case # 0123-01

Applicant & Subject Property			
<b>City Council District:</b> 2 <b>Owner:</b> Bella Holdings, LLC <b>Applicant:</b> ALAFJO, LLC <b>Address:</b> 3104, 3118 South Alameda Street, located along the east side of South Alameda, north of Glazebrook Street and south of Mc Call Street. <b>Legal Description:</b> Lots 9, 10, and 11, Block 1, Alameda Place <b>Acreage of Subject Property:</b> 0.51 acres <b>Pre-Submission Meeting:</b> November 28, 2022			
Zoning Request			
<b>From:</b> "ON" Neighborhood Office District <b>To:</b> "CN-1" Neighborhood Commercial District <b>Purpose of Request:</b> To allow for the conversion of defunct professional office space for bakery and restaurant uses.			
Land Development & Surrounding Land Uses			
	Zoning District	Existing Land Use	Future Land Use
<b>Site</b>	"ON" Neighborhood Office	Professional Office	Commercial
<b>North</b>	"ON" Neighborhood Office	Low Density Residential Professional Office,	Medium Density Residential, Commercial
<b>South</b>	"ON" Neighborhood Office	Professional Office, Commercial	Commercial
<b>East</b>	"RS-6" Single-Family 6	Low Density Residential	Medium Density Residential
<b>West</b>	"CG-2" General Commercial	Low Density Residential, Commercial	Medium Density Residential, Commercial
<b>Plat Status:</b> The properties are platted. <b>Military Compatibility Area Overlay District (MCAOD, Effective August 22, 2022):</b> No <b>Code Violations:</b> None			
Transportation and Circulation			
South Alameda Street	Designation-Urban Street	Section Proposed	Section Existing
	"A2" Arterial Street	4 Lanes, 100 feet	5 Lanes, 100 feet
<b>Transit:</b> The Corpus Christi RTA provides service to the subject property via routes 17 Carroll/Southside, 5 Alameda A and B, and 5S Sunday Alameda Malls.			



<b>Bicycle Mobility Plan:</b> The subject property is approximately 500 feet away from a proposed Bike Boulevard on Glazebrook Street.	
<b>Utilities</b>	
<b>Gas:</b> 2" WS line along the rear property line. <b>Stormwater:</b> 30" storm pipe on the west side of South Alameda Street. <b>Wastewater:</b> 6" clay service line along the rear property line. <b>Water:</b> 4" CIP line along the rear property line and a 12" PVC line on the east side of South Alameda.	
<b>Corpus Christi Comprehensive Plan</b>	
<b>Plan CC:</b> Provides a vision, goals, and strategies, to guide, regulate, and manage future development and redevelopment within the corporate limits and extraterritorial jurisdiction (ETJ) was adopted in 2016. <b>Area Development Plan (ADP):</b> According to Plan CC the subject property is located within the Southeast Area Development Plan (Adopted on July 11, 1995). <b>Water Master Plan:</b> No improvements have been proposed. <b>Wastewater Master Plan:</b> No improvements have been proposed. <b>Stormwater Master Plan:</b> No improvements have been proposed.	
<b>Public Notification</b>	
Number of Notices Mailed	<ul style="list-style-type: none"> <li>• 28 within a 200-foot notification area</li> <li>• 1 outside 200-foot notification area</li> </ul>
In Opposition	<ul style="list-style-type: none"> <li>• 1 inside the notification area</li> <li>• 0 inside the notification area</li> <li>• 4.04% in opposition within the 200-foot notification area (1 individual property owner)</li> </ul>
<b>Public Hearing Schedule</b>	
<b>Planning Commission Hearing Date:</b> January 11, 2023 <b>City Council 1<sup>st</sup> Reading/Public Hearing Date:</b> February 21, 2023 <b>City Council 2<sup>nd</sup> Reading Date:</b> February 28, 2023	

**Comprehensive Plan Consistency:**

- **Plan CC:** The proposed rezoning is consistent with the following Goals and Strategies for Decision Makers:
  - Resilience & Resource Efficiency
    - Encourage the preservation and adaptive reuse of existing structures to reduce construction waste and conserve energy and materials.
  - Future Land Use, Zoning, and Urban Design
    - Promote the stabilization, revitalization, and redevelopment of older neighborhoods.
    - Promote a balanced mix of land uses to accommodate continued growth and promote the proper location of land uses based on compatibility, locational needs, and characteristics of each use.

- Promote interconnected neighborhoods with appropriate transitions between lower-intensity and higher-intensity land uses.
- Transportation & Mobility
  - Support the partnership with the Corpus Christi Regional Transportation Authority to increase ridership and reduce single-occupancy vehicle use while helping to reduce air pollution.
- **Future Land Use Map:** The proposed rezoning is consistent.
  - Designated Future Land Use: Commercial.
- **Area Development Plan (Southeast):** The proposed rezoning is consistent with the following:
  - Principle Objectives: Designate appropriate land uses and a transportation network to adequately serve existing and future land uses.
  - Land Use: Place low-intensity activities next to single-family uses.
  - Future Land Use Suitable Table: Neighborhood commercial uses are acceptable in commercial districts.

**Staff Analysis:**

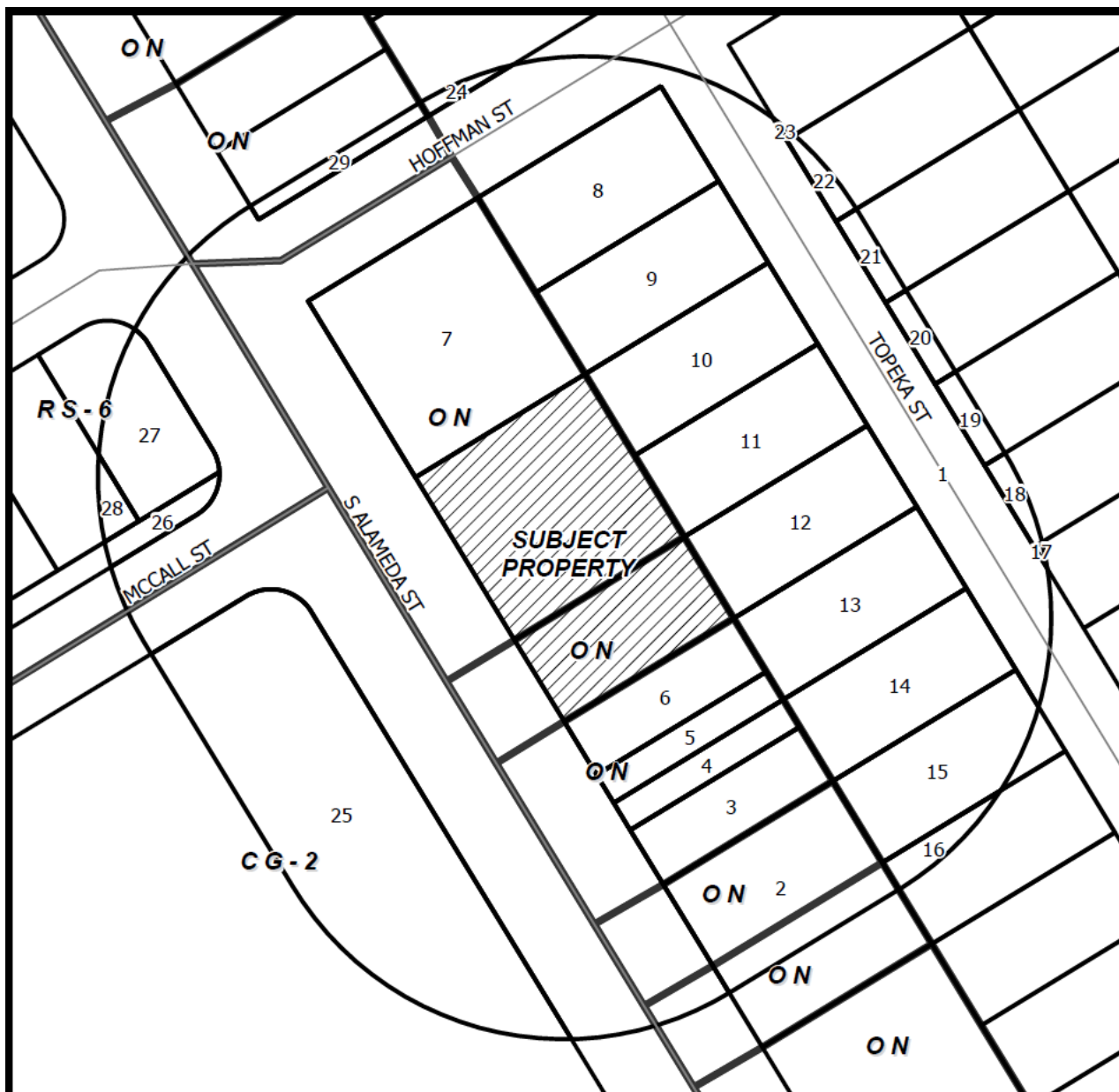
“While the comprehensive plan is consulted when making decisions about rezoning. It does not justify the denial of a plat or the development of land.” (Plan CC). Staff reviewed the subject property’s background information and the applicant’s purpose for the rezoning request and conducted research into the property’s land development history to include platting, zoning, existing surrounding land uses, and potential code violations. Staff compared the proposed zoning’s consistency with the applicable elements of the comprehensive plan. As a result of the above analysis, staff notes the following:

- The current “ON” Neighborhood Office District limits eating establishments to 3,000 square feet of gross floor area whereas the requested zoning district of “CN-1” Neighborhood Commercial will allow for 5,000 square feet of the gross floor area of the restaurant and bakery uses, as requested by the applicant.
- The proposed conversion of the vacant professional office space is a superb example of adaptive reuse.
- Redevelopment of vacant properties helps to decrease the possibility of crime. The owner has experienced various crimes within the vacant office building property.
- The proposed use is in keeping with the character of the neighborhood and compatible with adjacent land uses.
- The proposed rezoning is consistent with the Future Land Use Map and is consistent with many broader elements of the City of Corpus Christi Comprehensive Plan.

After evaluation of case materials provided and subsequent staff analysis including land development, surrounding uses and zoning, transportation and circulation, utilities, Comprehensive Plan consistency, and considering public input, staff recommends approval of the change of zoning.

**Staff Recommendation:** Approval of the change of zoning from the “ON” Neighborhood Office District to the “CN-1” Neighborhood Commercial District.

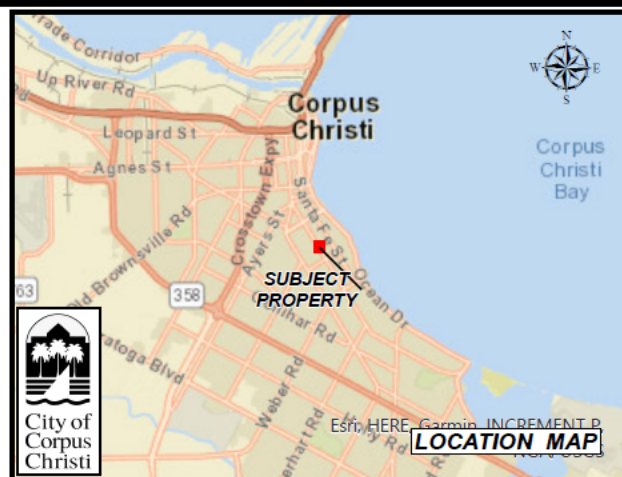
# ATTACHMENT A: EXISTING ZONING AND NOTICE AREA



## CASE: 0123-01 Zoning and notice Area

RM-1 Multifamily 1	IL Light Industrial
RM-2 Multifamily 2	IH Heavy Industrial
RM-3 Multifamily 3	PUD Planned Unit Dev. Overlay
ON Professional Office	RS-10 Single-Family 10
RM-AT Multifamily AT	RS-6 Single-Family 6
CN-1 Neighborhood Commercial	RS-4.5 Single-Family 4.5
CN-2 Neighborhood Commercial	RS-TF Two-Family
CR-1 Resort Commercial	RS-15 Single-Family 15
CR-2 Resort Commercial	RE Residential Estate
CG-1 General Commercial	RS-TH Townhouse
CG-2 General Commercial	SP Special Permit
CI Intensive Commercial	RV Recreational Vehicle Park
CBD Downtown Commercial	RMH Manufactured Home
CR-3 Resort Commercial	
FR Farm Rural	
H Historic Overlay	
BP Business Park	

Subject Property with 200' buffer  
 Owners in favor  
 Owners within 200' listed on attached ownership table  
 Owners in opposition





ATTACHMENT B: RETURNED NOTICED IN OPPOSITION

Persons with disabilities planning to attend this meeting, who may require special services, are requested to contact the Development Services Department at least 48 hours in advance at (361) 826-3240. Personas con incapacidades, que tienen la intención de asistir a esta junta y que requieren servicios especiales, se les suplica que den aviso 48 horas antes de la junta llamando al departamento de servicios de desarrollo, al número (361) 826-3240.

If you wish to address the Commission during the meeting, and you are limited by the Development Services Department at (361) 826-3240 at least 48 hours in advance, please contact the Development Services Department at (361) 826-3240 at least 48 hours in advance. Si usted desea dirigirse a la comisión durante la junta, favor de llamar al número (361) 826-3240 a menos 48 horas antes de la junta para solicitar ser presente durante la junta.

**CITY PLANNING COMMISSION  
PUBLIC HEARING NOTICE  
Rezoning Case No. 0123-01**

**Bella Holdings, LLC** has petitioned the City of Corpus Christi to consider a change of zoning from the **"ON" Neighborhood Office District** to the **"CN-1" Neighborhood Commercial District**, not resulting in a change to the Future Land Use Map. The property to be rezoned is described as:

**A property located at or near 3104 South Alameda Street, and described as Lots 9, 10 and 11, Block 1, Alameda Place Subdivision, located along the east side of South Alameda Street, north of Glazebrook Street, and south of McCall Street.**

The Planning Commission may recommend to City Council approval or denial, or approval of an intermediate zoning classification and/or Special Permit. Approval of a change of zoning, if inconsistent with the City's Comprehensive Plan, will also have the effect of amending the Comprehensive Plan to reflect the approved zoning.

The Planning Commission will conduct a public hearing for this rezoning request to discuss and formulate a recommendation to the City Council. The public hearing will be held on **Wednesday, January 11, 2023**, during one of the Planning Commission's regular meetings, which begins at **5:30 p.m.** in the City Council Chambers, 1201 Leopard Street. You are invited to attend this public hearing to express your views on this rezoning request. For more information, please call (361) 826-3240.

TO BE ON RECORD, THIS FORM MUST BE FILLED OUT, SIGNED BY THE CURRENT PROPERTY OWNER(S) AND MAILED IN ITS ENTIRETY TO THE DEVELOPMENT SERVICES DEPARTMENT, P. O. BOX 9277, CORPUS CHRISTI, TEXAS 78469-9277. ANY INFORMATION PROVIDED BELOW BECOMES PUBLIC RECORD.

NOTE: In accordance with the Planning Commission By-Laws, no discussion shall be held by a member or members of this Commission with an applicant or appellant concerning an application or appeal, either at home or office, or in person, by telephone call or by letter.

NAME: Dr. Joseph Eberhard and Dr. Sabeen Rani (Rani Pediatrics)

ADDRESS: 3130 S. Alameda St. Corpus Christi, TX 78404 PHONE: \_\_\_\_\_

( ) IN FAVOR ☒ IN OPPOSITION

REASON: Proximity to schools and adjacent to long established "ON" businesses. There is concern about the potential of establishing businesses that would negatively impact these schools and existing professional services.

SIGNATURE

SEE MAP ON REVERSE SIDE  
INFOR Case No.: 22ZN1041  
Property Owner ID: 2

Case No. 0123-01  
Case Manager: Elena Buentello  
Email: [elenao@cctexas.com](mailto:elenao@cctexas.com)  
361-826-

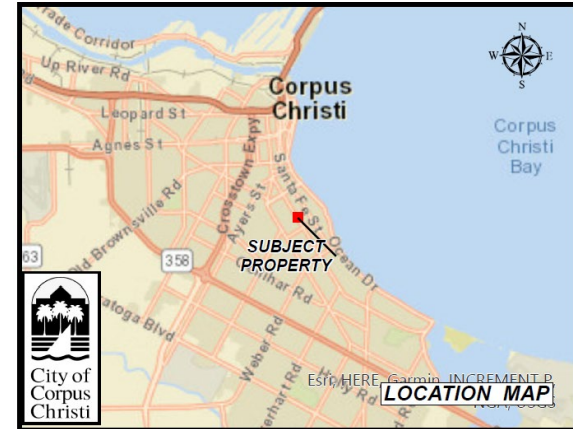


# Zoning Case 0123-01



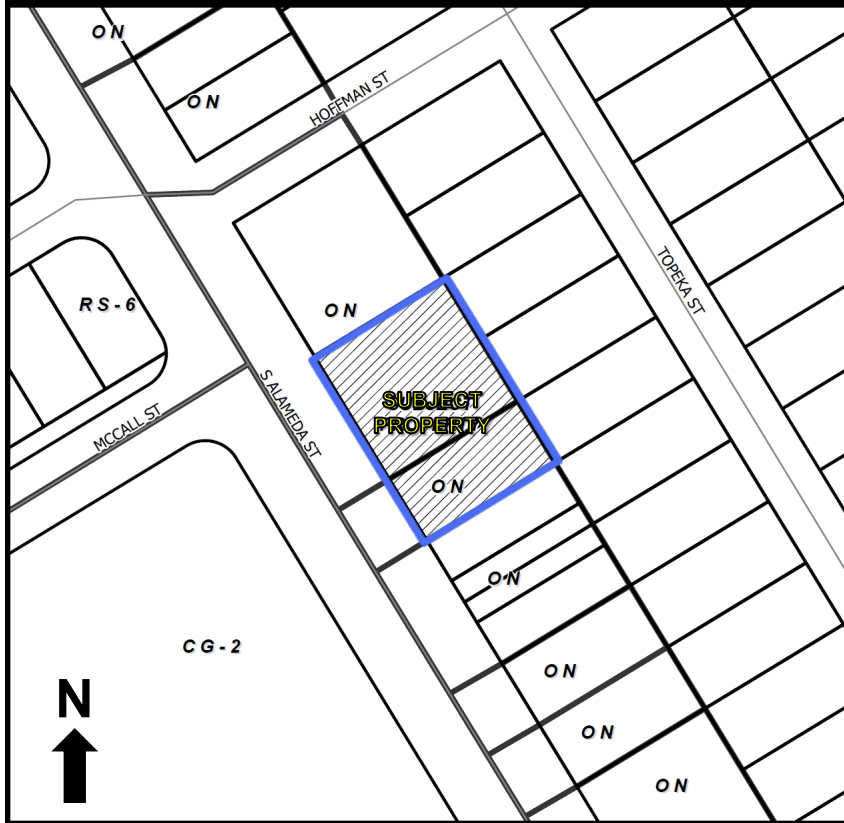
**Bella Holdings, LLC**  
**DISTRICT 2**

**Rezoning for a property at  
3104 & 3118 S. Alameda Street  
From "ON" to "CN-1"**



Planning Commission  
January 11, 2023

# Zoning and Land Use



## **Proposed Use:**

To allow for the conversion of defunct professional office space for bakery and restaurant uses.

## **Area Development Plan:**

Southeast (Adopted June 11, 1995)

## **Future Land Use Map:**

Commercial

## **Existing Zoning:**

"ON" Neighborhood Office District

## **Adjacent Land Uses:**

- North: Low-Density Residential, Professional Office (Zoned: ON)
- South: Professional Office, Commercial (Zoned: ON)
- East: Low-Density Residential (Zoned: RS-6)
- West: Low-Density Residential, Commercial (Zoned: CG-2)

# Public Notification

28 Notices mailed inside 200' buffer  
1 Notice(s) mailed outside 200' buffer

## Notification Area

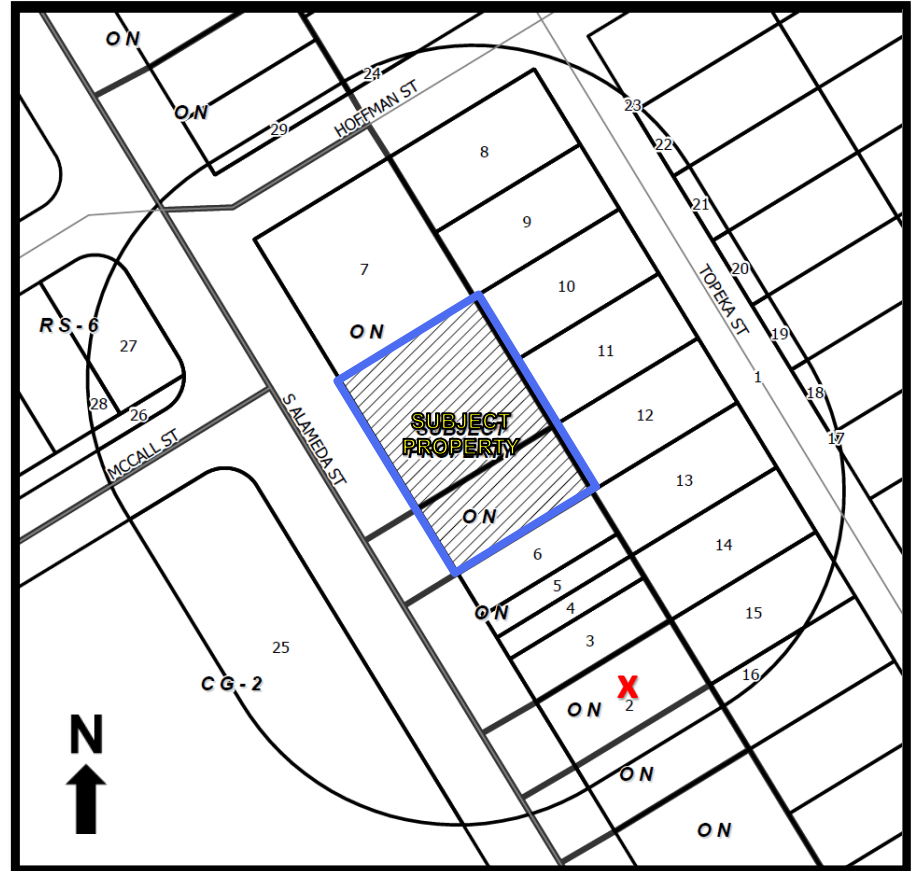
Opposed: 1 (4.04%)  
*Separate Opposed Owners: 1*



In Favor: 0 (0.00%)



\*Notified property owner's land in SQF/ Total square footage of all property in the notification area = Percentage of public opposition.



# Staff Analysis And Recommendation

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- The current “ON” Neighborhood Office District limits eating establishments to 3,000 square feet, whereas the requested zoning district of “CN-1” Neighborhood Commercial will allow for 5,000 square feet of restaurant and bakery uses, as requested by the applicant.
- The proposed conversion of the former professional office space is a great example of the adaptive reuse of an existing structure.
- The redevelopment of the property will help to decrease the vagrancy currently being experienced by the defunct professional office space.
- The proposed use is in keeping with the character of the neighborhood and adjacent land uses.
- The proposed rezoning is consistent with the Future Land Use Map and is consistent with many broader elements of the City of Corpus Christi Comprehensive Plan.

**STAFF RECOMMENDATION: Approval of the rezoning request from the “ON” Neighborhood Office District to the “CN-1” Neighborhood Commercial District.**